



Gladstone Ports Corporation
Growth, Prosperity, Community.

DECISION NOTICE – DA 2015/12

Application:	Port Application (Operational Works) for Boat Display Area and Carpark Modifications
Applicant Name and address:	Gladstone Marine Centre Bryan Jordan Drive GLADSTONE QLD 4680
Owner:	Gladstone Ports Corporation Limited
Subject Land:	Part of Lot 210 SP120888
Location:	Gladstone Marina
Present Zoning	Strategic Port Land
Proposed Use:	Boat display and car park
Application Received:	26 October 2015

This development application was assessed on: 12 November 2015

1. Details Of The Approval

Development Permit:

Boat display area and carpark modifications.

2. Assessment Manager's Conditions

In general the facilities are in compliance with the requirements of Gladstone Ports Corporation. It is to be noted that the following conditions will be complied with in the granting of this Development Application.

GENERAL

1. The proposed development must be carried out generally in accordance with the plans and documents as lodged with the application except where modified by conditions of this permit.
2. Unless otherwise stated, all conditions must be completed prior to the commencement of the use.
3. Where additional "approval" is required under these conditions by the Gladstone Ports Corporation for drawings or documentation, the proponent must submit for review, amend to the satisfaction of, and obtain written acceptance from the Gladstone Ports Corporation. Only in this manner can compliance with the condition be achieved.
4. The proponent must inform the GPC of completion of works within 14 days and undertake a site inspection with GPC.

5. The proponent must at its cost and expense, keep and maintain the subject area, including existing services, in a state that is satisfactory to the Port.

ENGINEERING

6. The proponent is to apply to GPC for approval to remove or install lights/light posts in association with this application at least 10 business days prior to works commencing.
7. The proponent is to notify GPC of damage caused to any port roads in Port Central as a result of this activity. Depending upon the nature and location of the damage, GPC may undertake the repairs at the expense of the proponent or direct the proponent to undertake the repairs immediately at their expense.
8. No loose materials or mud are to be tracked onto Bryan Jordan Drive.
9. The proponent must maintain the property in a clean and tidy manner, mowing any grassed areas regularly.

ENVIRONMENT

10. The holder of this permit shall carry out site operations in accordance with a Construction Environmental Management Plan (CEMP). The CEMP must ensure that management of stormwater on site and water quality leaving the site is consistent with the requirements of the GPC Development Codes Port Code and Stormwater Management Guideline.
11. GPC's Environment Manager is to be notified of the occurrence of any incident resulting in environmental nuisance or harm (to air, land, water, flora or fauna) as a result of the activity/s specific to this approval and its associated works, according to the following methods and timeframes:
 - a. Verbal notification immediately after occurrence of incident
 - b. Written notification within 24 hours of occurrence of incident
12. GPC's Environment Manager is to be notified of the occurrence of any reportable release/spill of contaminants (e.g. fuels, oils, chemicals or other hazardous substance etc.), as a result of the activity/s specific to this consent and its associated works, according to the following methods and timeframes:
 - a. Verbal notification immediately after occurrence of incident
 - b. Written notification within 24 hours of occurrence of incident
13. Any spillage of wastes, contaminants or other materials must be cleaned immediately. Such spillage must not be cleaned up by hosing, sweeping or otherwise releasing such materials to any stormwater drainage system, roadside gutters or waters.
14. The holder of this permit will conduct an investigation in the event a noise complaint is received and implement any noise mitigation measures necessary to address the environment nuisance or harm.

3. The Approved Plans –

The approved plans and/or documents forming part of this decision notice are listed in the following table:

Document Reference	Plan / Document Name	Date
Email 1	Site Layout and Fence Type	26/10/2015

4. When the Development Approval Takes Effect –

If the application is approved, or approved subject to conditions, the decision notice, or if a negotiated decision notice is given, the negotiated decision notice, is taken to be the development approval and has effect on the date that the notice is signed by an authorised delegate of the Gladstone Ports Corporation.

5. When Approval Lapses if Development Not Started

The relevant periods stated below apply to each aspect of development in this approval, as outlined below:-

- 4 years

6. Other Necessary Development Approvals

Listed below are the other development permits that are necessary to allow the development to be carried out:

- Nil

7. Appeal Rights

No legislated appeal rights are afforded with this decision notice as the application was not made under the provisions of The Sustainable Planning Act 2009.

If you have concerns or queries regarding the conditions, please contact GPC's Planning Officer.

8. Assessment Manager Certification



Sarah Hunter
Senior Planning Officer
12 November 2015

Judy Horsfall

From: Daniel Toy <dan@eastcoastmaritime.com.au>
Sent: Monday, 26 October 2015 12:00 PM
To: Judy Horsfall
Cc: stephanie@fodico.com.au; dennis@fodico.com.au; 'Lindsay Toy'
Subject: Gladstone Marine Centre carpark modifications.
Attachments: GMC parking-fence sketch.jpg

Hi Judy,

As discussed we wish to install some security fencing and enlarge the car park slightly at the Entrance to the Gladstone Marine Centre. Please see attachment for rough locations.

The carpark will have the kerbing reinstated and be resurfaced with Asphalt with no measurable impact on stormwater runoff or drainage. The fence design is as the image below.



We will of course seek drawings and or have the site surveyed to determine the location of all services before any excavation works.

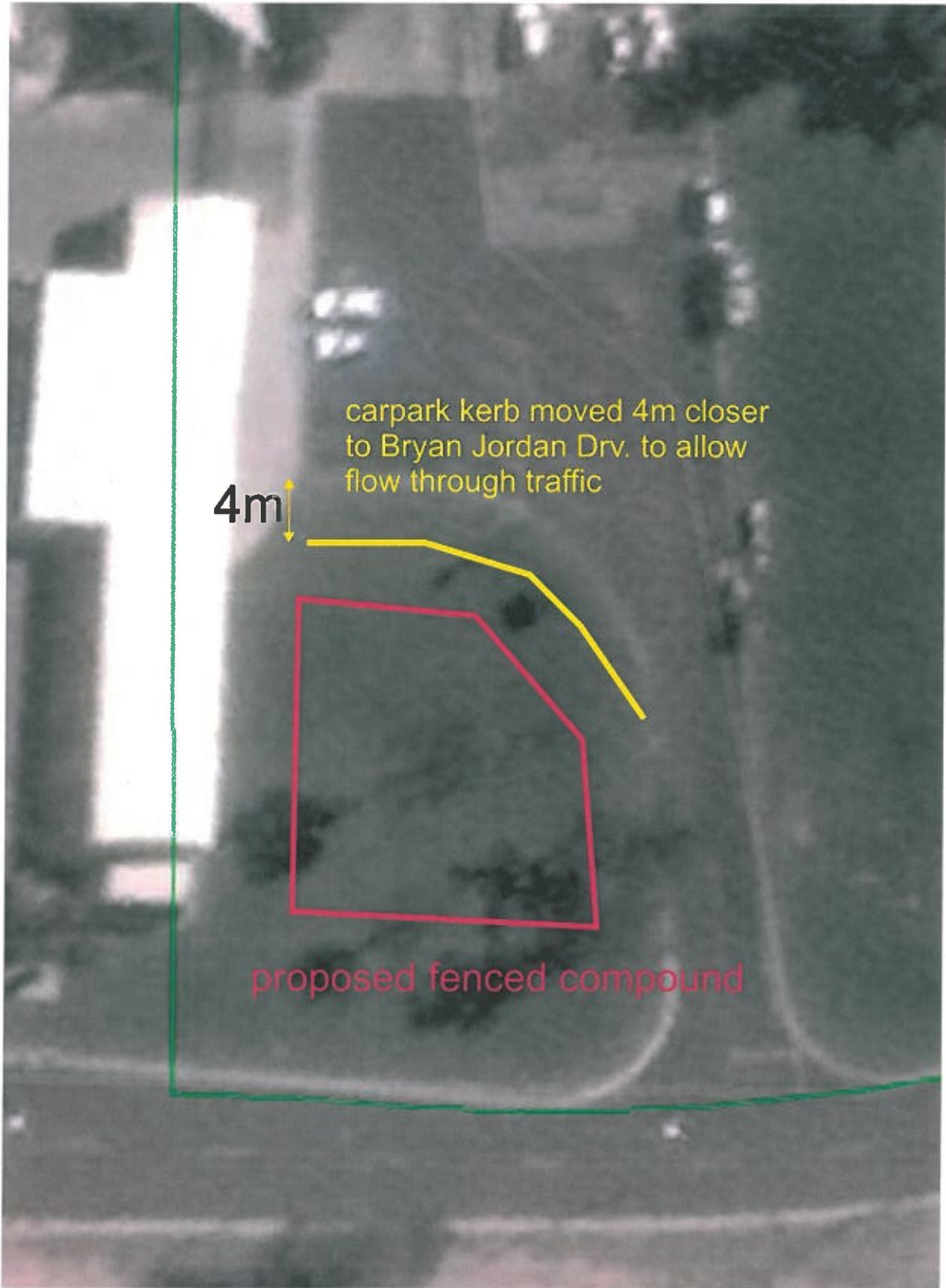
Can you please supply the latest drawing you have on file regarding these services? I believe the light poles were disconnected from the power when the lease was extended however I would like to get confirmation of this also. Is there someone I can contact regarding this?

Regards,

Daniel Toy | Director

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carpark kerb moved 4m closer to Bryan Jordan Drv. to allow flow through traffic

4m

proposed fenced compound