Gladstone Ports Corporation

Growth, Prosperity, Community.

GPC Document No. 1418944
GPC Ref: DA2017/11
Your Ref.: 201517

10 July 2018

Paynter Dixon on behalf of Central Queensland University
NorthGroup Consulting
3a/32 Billabong Street
STAFFORD QLD 4053

Attention: Mr Paul Hanly

Email: phanly@northgroup.com.au; kellie.brinckman@paynter.com.au

Dear Mr Hanly

NEGOTIATED DECISION NOTICE – DA2017/11

(GIVEN UNDER S76(3) PLANNING ACT 2016 AND PROVISIONS OF GLADSTONE PORTS CORPORATION LAND USE PLAN 2012)

The Gladstone Ports Corporation received your change representations under section 75 of the Planning Act 2016 on 10 July 2018. This negotiated decision notice replaces the decision notice dated 26 April 2018.

The changes agreed to are:

Condition No.	Agreed Change
3	Where additional "approval" is required under these conditions by GPC for drawings or documentation, the proponent must submit for review, amend to the satisfaction of, and obtain written acceptance from the Gladstone Ports Corporation. Only in this manner can compliance with the condition be achieved. The Port will require 10 business days to assess any documentation requiring further approval. GPC will endeavour to assess all documentation in a shorter period of time, if practical.
4	All other relevant regulatory approvals must be obtained before commencement of respective works or operation of the facility e.g. building approval under the *Building Act 1975* or plumbing and drainage work approval when required.
5	The proponent must inform GPC of completion of works within 14 days of practical completion and undertake a site inspection with GPC. The proponent must also provide certification that the development has been constructed in accordance with the approved plans i.e. RPEQ certification for all civil works and the appropriate certification for all building and plumbing works.
8	The proponent is required to obtain from GPC a Permit to Dig/Excavate for each stage of development prior to commencing any excavation or digging for each stage. Contact GPC's Port Infrastructure Asset Manager, Mr Owen Barton on 4976 1332 or bartono@gpcl.com.au.

Condition No.	Agreed Change
11	The proponent must provide details of all proposed signage associated with the development, including signs on buildings and posts, to GPC for approval prior to procurement of the relevant sign. It is the responsibility of the proponent to determine whether building approval is required for any proposed external signs and obtain necessary approvals.
12	Prior to respective works commencing, the proponent must supply to GPC for approval "For Construction" plans which illustrate the location and design of all roads, car parking and access and pedestrian pathways, including pavement markings and associated drainage and fencing to be installed on Port land. Prior to works commencing, the proponent must provide to GPC for approval details of the proposed measures to protect all services located beneath Carpark 03.
15	Condition 15 deleted.
16	CQU is to nominate the location of and design a pedestrian access around carpark 03 to ensure unobstructed public pedestrian access through GPC's marina parkland is maintained. The timing of the design, construction and costs associated with the pathway will be negotiated under the lease agreement between Gladstone Port Corporation and CQUniversity. Added Drawing No. CQU-GLD-605-00-ARC-1002 to the list of approved drawings for the purpose of approving the nominated footpath location only.
17	Condition 17 deleted.
18	CQU must provide sufficient car parking spaces for all users associates with the approved development and manage CQU related parking such that GPC's marina public car parking areas are not utilised by CQU, their staff, students and visitors. Prior to commencement of operations the proponent is to provide to GPC for approval a management plan for CQU's operational traffic and parking that documents strategies for ensuring all users associated with CQU facilities do not encroach upon GPC's marina public car parking areas and grassed parklands.
19	Prior to respective irrigation works commencing, CQU is to provide to GPC for approval "For Construction" Existing Features and Services plans including irrigation water and control wiring.
20	Prior to respective works commencing, CQU is to provide to GPC for approval a detailed irrigation plan including "For Construction" drawings, for the design of the irrigation system for landscaping associated with stages of development in this approval. This plan is to be prepared in consultation with GPC and GPC's consultant to ensure integration and consistency with the existing irrigation network of the parklands as well as protection of existing and new infrastructure.
21	Prior to respective works commencing, CQU is to provide to GPC for approval a detailed temporary diversion plan including drawings of water services and control wiring showing how irrigation will be temporarily maintained during construction of the project.
25	Prior to respective works commencing, the proponent must supply to GPC for approval "For Construction" plans which illustrate the location and design of all proposed lighting for carpark, street and pedestrian infrastructure to be installed on Port land including underground services.
34	Construction operating hours are to be 6.30am to 6.30pm Monday – Friday and 6.30am to 2.00pm Saturday (as required). No works are to occur on Sundays or public holidays unless otherwise approved in writing by GPC. As agreed to by CQU, GPC may, with 5 days' notice, temporarily restrict operating hours or some construction activities, to mitigate construction impacts upon particular community events and uses of the marina parklands.
39	Prior to works commencing on the ETTC building, the proponent is required to conduct further assessment of potential intermittent noise emissions including

	proposed workshop/training activities, assessed against the EPP (Noise) Acoustic quality objectives. For NSR 1, specifically LAeq,adj,(1hour) 45 dBA criteria for "retail activities" should be used, with appropriate justification for the factor used to correct between outside and inside of the building. For emissions to the public park areas, again assessment against the acoustic quality objectives being to preserve the amenity of the existing park or garden should be used. a) In assessing the above, consider multiple noise sources occurring/operating simultaneously. This may comprise a description of all equipment, component sound levels and time weighting correction. Assess the expected worst 1 hour period. b) Sound values should ideally be predicted in one-third octave or octave bands with corrections applied to the component levels in recognition of the annoyance generally associated with tonal or impulsive characteristics. Refer methods QEHP Noise Measurement Manual and the QLD Planning for Noise Control Guideline. For example, tonality could be expected to be applied to items such as saws and impulsive corrections to items such as hammers on steel. c) Consider reflection and amplification effects from the proposed building. For example, reflections from walls and roofs over external covered bays, and reverberation effects in internal areas within the building. d) Provide an assessment of mechanical ventilation plant and compressor plant emissions against the criteria listed in EPP Noise Section 10 controlling background creep. Detail required acoustic performance specification should noise emissions from mechanical plant need to be controlled to achieve compliance with the noise limits. e) Identify minimum required acoustic treatments and include on final "For Construction" design plans for the ETTC building including: • Performance specification values for internal sound dampening treatments such as absorptive ceilings, eg NRC 0.8; • Sound isolation performance indices for façade walls, roof/ceiling, roller doors, personnel access doors, glazing, and ventilation openings. Performance listed in either Rw or transmission loss; and • Details of any required administrative controls such as maximum permissible number of tools operating at once, timing limits, and/or placement requirements such as tools to be positioned away from building openings and no tools outside of the building. The additional assessment report and final "For Construction" design plans for the ETTC Building must be submitted to GPC for approval prior to works commencing. Where it can be demonstrated within the additional assessment report that the assessment criteria specified in this condition is less onerous or not specifically relevant, this condition will be considered to be complied with upon GPC approval of the assessment report and final "For Construction" design plans.

1. Application Details

This development application was **properly made** to the Gladstone Ports Corporation Limited on **8 December 2017**.

Application Number:	**DA2017/11**
Applicant Name:	**Paynter Dixon on behalf of Central Queensland University**
Applicant Contact Details:	**Mr Paul Hanly** **NorthGroup Consulting** **3a/32 Billabong Street** **STAFFORD QLD 4053** **& Kellie Brinckmann (Paynter Dixon)** **Email: phanly@northgroup.com.au** **Kellie.brinckman@paynter.com.au**
Approvals Sought:	**Material Change of Use for extension of education facility**
Details of Proposed Development:	**ETTC Building, H&B Building, DMF Building and Carparks**
Location Street Address:	**Bryan Jordan Drive** **CALLEMONDAH QLD 4680**
Location Real Property Description:	**Part of 210 on SP120888**
Land Owner:	**Gladstone Ports Corporation Limited**
Present Zoning & Precinct	**Strategic Port Land – Parkland & Education**

2. Details Of Proposed Development

Proposed development includes:

1. Engineering and Trade Training Centre (ETTC) building
2. Hair and Beauty Building (HBB)
3. Facilities Management building (DFM)
4. Carpark 01 and 03 and associated streets
5. Construction compound

3. Details Of Decision

This development application was **decided** on **10 July 2018**.

This development application is **approved in full with conditions**. These conditions are set out in Attachment 1 and are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

4. Details Of Approval

This development approval is a **Development Permit** given for:

a) Material Change of Use for extension of an education facility - *Planning Regulation 2017* reference:
   - Schedule 10, part 13 - Ports, division 5 - Strategic Port Land, subdivision 1, section 20 and
- Schedule 10, part 9 - Infrastructure, division 4 - State Transport Infrastructure, subdivision 1, table 1).

5. Conditions

This development approval is subject to the conditions in Attachment 1 - Part 1 and Part 2.

6. Further Development Permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

1. Operational Works permit from Gladstone Regional Council
2. Plumbing and Drainage Works from Gladstone Regional Council
3. Building certification

7. Properly made submissions

Not applicable – No part of the application required public notification.

8. Referral Agencies for the Application

The referral agencies for this application are:

For an application involving	Name of referral agency	Advice agency or concurrence agency	Address
MCU for extension of an education facility	Department of State Development, Manufacturing, Infrastructure and Planning	Concurrence	State Assessment and Referral Agency PO Box 113 ROCKHAMPTON QLD 4700

9. Approved Plans and Specifications –

Copies of the following plans, specifications or drawings are enclosed in **Attachment 2**:

Drawing/report title	Prepared by	Date	Reference no.	Version
Aspect of development: Material Change of Use				
Cover Sheet Locality Plan & Drawing Schedule	Premise	11/2017	CQU-GLD-000-00-CIV-C001	B
Bio-retention Basin Layout	Premise	11/2017	CQU-GLD-000-00-CIV-C800	B
Building H&B TTC Notes & Legend	Premise	06/12/2017	CQU-GLD-602-00-ARC-0000	H
Building H&B TTC 3D Views	Premise	28/03/2018	CQU-GLD-602-00-ARC-0001	Q
Building H&B TTC 3D Views	Premise	28/03/2018	CQU-GLD-602-00-ARC-0002	Q
Building H&B TTC Site Plan	Premise	06/12/2017	CQU-GLD-602-00-ARC-1001	H
Building H&B TTC Ground Floor Plan	Premise	06/12/2017	CQU-GLD-602-GN-ARC-2001	H
Building H&B TTC Roof Plan	Premise	06/12/2017	CQU-GLD-602-RF-ARC-2101	H
Building H&B TTC Elevations	Premise	06/12/2017	CQU-GLD-602-GN-ARC-3001	H
Building ETTC Notes & Legend	Premise	06/12/2017	CQU-GLD-605-00-ARC-0000	H
Building ETTC 3D Perspectives	Premise	28/03/2018	CQU-GLD-605-00-ARC-0001	P

Drawing/report title	Prepared by	Date	Reference no.	Version
Building ETTC 3D Perspectives	Premise	28/03/2018	CQU-GLD-605-00-ARC-0002	P
Building ETTC 3D Perspectives	Premise	28/03/2018	CQU-GLD-605-00-ARC-0003	P
Building ETTC Mood Board	Premise	06/12/2017	CQU-GLD-605-00-ARC-0012	H
Building ETTC Site Plan	Premise	06/12/2017	CQU-GLD-605-00-ARC-1001	H
Building ETTC Site Plan: Proposed New Carpark (03)	Premise	28/03/2018	CQU-GLD-605-00-ARC-1002	Q
Building ETTC Existing Carpark alteration	Premise	28/03/2018	CQU-GLD-605-00-ARC-1003	Q
Building ETTC Site Survey Plan	Premise	06/12/2017	CQU-GLD-605-00-ARC-1005	H
Building ETTC Elevations	Premise	06/12/2018	CQU-GLD-605-GN-ARC-3001	H
Building ETTC Elevations	Premise	06/12/2018	CQU-GLD-605-GN-ARC-3002	H
Building ETTC Roof Part Plan - South	Premise	06/12/2018	CQU-GLD-605-RF-ARC-2101	H
Building ETTC Roof Part Plan - North	Premise	06/12/2018	CQU-GLD-605-RF-ARC-2102	H
Building ETTC Ground E&D Plan	Premise	28/03/2018	CQU-GLD-605-00-ARC-1201	P
Building DFM Shed Site Plan	Premise	28/03/2018	CQU-GLD-613-00-ARC-1001	M
Building DFM Shed Site & Demolition Plan	Premise	28/03/2018	CQU-GLD-613-00-ARC-1201	M
Bulk Earthworks Layout Plan Sheet 1	Premise	11/17	CQU-GLD-000-00-CIV-C200	B
Bulk Earthworks Layout Plan Sheet 2	Premise	11/17	C201	1
Bulk Earthworks Layout Plan Sheet 3	Premise	11/17	CQU-GLD-000-00-CIV-C202	B
Bulk Earthworks Layout Plan Sheet 4	Premise	11/17	CQU-GLD-000-00-CIV-C203	B
Bulk Earthworks Layout Plan Sheet 5	Premise	11/17	CQU-GLD-000-00-CIV-C204	B
Bulk Earthworks Notes and Details	Premise	11/17	CQU-GLD-000-00-CIV-C205	B
Erosion and Sediment Control Layout Sheet 1	Premise	11/17	CQU-GLD-000-00-CIV-C700	B
Erosion and Sediment Control Layout Sheet 2	Premise	11/17	C701	1
Erosion and Sediment Control Layout Sheet 3	Premise	11/17	CQU-GLD-605-00-CIV-C702	B
Erosion and Sediment Control Layout Sheet 4	Premise	11/17	CQU-GLD-605-00-CIV-C703	B
Erosion and Sediment Control Layout Sheet 5	Premise	11/17	C704	1

Drawing/report title	Prepared by	Date	Reference no.	Version
Erosion and Sediment Control Notes and Details	Premise	11/17	CQU-GLD-000-00-CIV-C706	B
Specification for Landscaping Works at CQU Gladstone Marina Campus – Hair & Beauty Building	Jeremy Ferrier Landscape Architect	28/03/2018		C
HBB - Grading and Finishes Plan	Jeremy Ferrier	28/03/2018	CQU-GLD-602-GN-LSS-2001	F
HBB - Planting Plan	Jeremy Ferrier	28/03/2018	CQU-GLD-602-GN-LSS-4001	B
HBB - Landscape Details	Jeremy Ferrier	28/03/2018	CQU-GLD-602-GN-LSS-5001	B
HBB - Indicative Plant Palette	Jeremy Ferrier	05/12/2017	CQU-GLD-602-GN-LSS-6001	A
Specification for Landscaping Works at CQU Gladstone Marina Campus – DFM Shed	Jeremy Ferrier Landscape Architect	28/03/2018		C
DFM Shed - Key Plan: Legend & Notes	Jeremy Ferrier	28/03/2018	CQU-GLD-613-GN-LSS-1001	B
DFM Shed - Grading & Finishes Plan	Jeremy Ferrier	28/03/2018	CQU-GLD-613-GN-LSS-2001	D
DFM Shed - Grading & Finishes Plan	Jeremy Ferrier	28/03/2018	CQU-GLD-613-GN-LSS-2002	B
DFM Shed - Planting Plan	Jeremy Ferrier	28/03/2018	CQU-GLD-613-GN-LSS-4001	B
DFM Shed - Planting Plan	Jeremy Ferrier	28/03/2018	CQU-GLD-613-GN-LSS-4002	B
DFM Shed - Landscape Details	Jeremy Ferrier	28/03/2018	CQU-GLD-613-GN-LSS-5001	B
Specification for Landscaping Works at CQU Gladstone Marina Campus – ETC Building	Jeremy Ferrier Landscape Architect	28/03/2018		C
ETC - Key Plan: Legend & Notes	Jeremy Ferrier	28/03/2018	CQU-GLD-605-GN-LSS-1001	B
ETC - Grading & Finishes Plan	Jeremy Ferrier	28/03/2018	CQU-GLD-605-GN-LSS-2001	D
ETC - Grading & Finishes Plan	Jeremy Ferrier	28/03/2018	CQU-GLD-605-GN-LSS-2002	B
ETC - Grading & Finishes Plan	Jeremy Ferrier	28/03/2018	CQU-GLD-605-GN-LSS-2003	B
ETC - Planting Plan	Jeremy Ferrier	28/03/2018	CQU-GLD-605-GN-LSS-4002	B
ETC - Planting Plan	Jeremy Ferrier	28/03/2018	CQU-GLD-605-GN-LSS-4003	B
ETC - Landscape Details	Jeremy Ferrier	28/03/2018	CQU-GLD-605-GN-LSS-5001	B
Specification for Landscaping Works at CQU Gladstone Marina Campus –101 Space Carpark	Jeremy Ferrier Landscape Architect	28/03/2018		C

Drawing/report title	Prepared by	Date	Reference no.	Version
101 - Key Plan: Legend & Notes	Jeremy Ferrier	28/03/2018	CQU-GLD-000-GN-LSS-1001	B
101 - Grading & Finishes Plan	Jeremy Ferrier	28/03/2018	CQU-GLD-000-GN-LSS-2001	E
101 - Grading & Finishes Plan	Jeremy Ferrier	28/03/2018	CQU-GLD-000-GN-LSS-2002	B
101 - Grading & Finishes Plan	Jeremy Ferrier	28/03/2018	CQU-GLD-000-GN-LSS-2003	B
101 - Planting Plan	Jeremy Ferrier	28/03/2018	CQU-GLD-000-GN-LSS-401	B
101 - Planting Plan	Jeremy Ferrier	28/03/2018	CQU-GLD-000-GN-LSS-4002	B
101 - Planting Plan	Jeremy Ferrier	28/03/2018	CQU-GLD-000-GN-LSS-4003	B
101 - Landscape Details	Jeremy Ferrier	28/03/2018	CQU-GLD-000-GN-LSS-5001	B
Traffic Impact Assessment	Premise	01/03/2018	MIS0354/R01	B
Proposed ETC Building (12.5m) Service Vehicle Manoeuvring	Premise	11/2017	CQU-GLD-605-GN-CIV-SKC910	A
Proposed ETC Building (8.8m) Service Vehicle Manoeuvring	Premise	11/2017	CQU-GLD-605-GN-CIV-SKC920	A
Site Based Stormwater Management Plan	Premise	01/03/2018	MIS-0354	2
Site Establishment Plan – Phase 1 of 2	Paynter Dixon	17/11/2017	CEQU0402 SK A1-01	B
Site Establishment Plan – Phase 2 of 2	Paynter Dixon	17/11/2017	CEQU0402 SK A1-02	B
Acid Sulfate Soils Management Plan	Cardno	07/12/2017	P328Pd CQUGMASSMP	
Proposed new carpark 03 – footpath location only	Paynter Dixon	18/06/2018	CQU-GLD-605-00-ARC-1002	R

10. Currency Period for the Approval

This development approval will lapse at the end of the periods set out below:

- For Material Change of Use this approval lapses 6 years after this approval decision date – reference section 85 of the *Planning Act 2016*.

11. Rights of Appeal

The rights of applicants to appeal to a tribunal or the Planning and Environment Court against decisions about a development application are set out in chapter 6, part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).

Attachment 3 is an extract from the *Planning Act 2016* that sets down the applicant's appeal rights and the appeal rights of a submitter.

For further information please contact Sarah Hunter, Principal Planning Advisor, on 07 4976 1287 or via email hunters@gpcl.com.au.

Yours sincerely

Craig Walker
Port Strategy & Development General Manager
10 July 2018

Cc: relevant local government

SARA

Enc. Attachment 1: Conditions of Approval
Part 1 – Conditions imposed by the assessment manager
Part 2 – Conditions required by the referral agency response
a) Department of State Development, Manufacturing, Infrastructure and Planning, 18 April 2018

Attachment 2: Approved plans and specifications

Attachment 3: Extract of appeal provisions

ATTACHMENT 1: CONDITIONS OF APPROVAL

PART 1: ASSESSMENT MANAGER CONDITIONS

In general the development proposal is in compliance with the requirements of Gladstone Ports Corporation Limited (GPC). This development approval is subject to each of the following conditions which are stated by GPC, the assessment manager.

Part 1a: Approval sought under *Planning Act 2016* – MCU for extension of education facility

GENERAL

1. The proposed development must be carried out generally in accordance with the plans as lodged with the application except where modified by conditions of this permit.
2. Unless otherwise stated, all conditions must be completed prior to the commencement of the use.
3. Where additional "approval" is required under these conditions by GPC for drawings or documentation, the proponent must submit for review, amend to the satisfaction of, and obtain written acceptance from the Gladstone Ports Corporation. Only in this manner can compliance with the condition be achieved. The Port will require 10 business days assess any documentation requiring further approval. GPC will endeavour to assess all documentation in a shorter period of time, if practical.
4. All other relevant regulatory approvals must be obtained before commencement of respective works or operation of the facility e.g. building approval under the *Building Act 1975* or plumbing and drainage work approval when required.
5. The proponent must inform GPC of completion of works within 14 days of practical completion and undertake a site inspection with GPC. The proponent must also provide certification that the development has been constructed in accordance with the approved plans i.e. RPEQ certification for all civil works and the appropriate certification for all building and plumbing works.

ENGINEERING & PLANNING

6. Upon completion of the works, the proponent must supply GPC with RPEQ certified "As Constructed" plans in both hard copy (2 of) and electronic (CAD format) which illustrates all infrastructure and services installed on Port land associated with the activity including but not limited to detailed positions of new underground services.
7. The proponent is to supply GPC with a copy of certification of all building and plumbing and drainage works upon completion of works.
8. The proponent is required to obtain from GPC a Permit to Dig/Excavate for each stage of development prior to commencing any excavation or digging for each stage. Contact GPC's Port Infrastructure Asset Manager, Mr Owen Barton on 4976 1332 or bartono@gpcl.com.au.
9. The proponent is to ensure their contractor obtains from GPC a Consent to Enter for the purpose of a construction compound on Port land prior to commencing works. Contact GPC's Property Advisor, Mr Clive Gibson on 4976 1334 or gibsonc@gpcl.com.au.

Street Identification and Signage

10. The street address of the development must be clearly visible and discernible from the primary frontage of the site by the provision of a street name and, where appropriate, the building/business name.
11. The proponent must provide details of all proposed signage associated with the development, including signs on buildings and posts, to GPC for approval prior to procurement of the relevant sign. It is the responsibility of the proponent to determine

whether building approval is required for any proposed external signs and obtain necessary approvals.

Roads, Parking and Access

12. Prior to respective works commencing, the proponent must supply to GPC for approval "For Construction" plans which illustrate the location and design of all roads, car parking and access and pedestrian pathways, including pavement markings and associated drainage and fencing to be installed on Port land.

    Prior to works commencing, the proponent must provide to GPC for approval details of the proposed measures to protect all services located beneath Carpark 03.

13. The final carpark 01 "For Construction" drawings must provide for similar quality and standard to the existing carpark including asphalt pavement, fence type and sufficient lighting. In addition the drawings must also illustrate the agreed RV parking area.

14. All carparks, roads and access ways, which are to remain the property of and be maintained by GPC, are to have a dense graded asphalt wearing surface of 25mm minimum thickness (nominal depth) to be consistent with other CQU and marina roads and carparks. An appropriate prime/seal treatment is required between the pavement top course and wearing surface.

~~15. In the event GPC deems additional deterrents are required to reduce vehicle incursions onto landscaped/grassed areas from new carparks and roads, CQU will install at their cost deterrents e.g. bollards, car stoppers, additional landscaping etc. upon the request of GPC.~~

16. CQU is to nominate the location of and design a pedestrian access around carpark 03 to ensure unobstructed public pedestrian access through GPC's marina parkland is maintained. The timing of the design, construction and costs associated with the pathway will be negotiated under the lease agreement between Gladstone Port Corporation and CQU.

~~17. In the event GPC deems traffic risk mitigation works e.g. a median strip on Bryan Jordan Drive identified in the Traffic Assessment Report No. MIS0354/RO1 Rev: B are necessary on port roads to ensure the safety of port road users in relation to increased CQU traffic, CQU will carry out the works at their expense upon the request of GPC.~~

18. CQU must provide sufficient car parking spaces for all users associates with the approved development and manage CQU related parking such that GPC's marina public car parking areas are not utilised by CQU, their staff, students and visitors. Prior to commencement of operations the proponent is to provide to GPC for approval a management plan for CQU's operational traffic and parking that documents strategies for ensuring all users associated with CQU facilities do not encroach upon GPC's marina public car parking areas and grassed parklands.

19. All CQU related vehicles are to be accommodated on site. Delivery trucks are not to queue off site.

Landscaping

19. Prior to respective irrigation works commencing, CQU is to provide to GPC for approval "For Construction" Existing Features and Services plans including irrigation water and control wiring.

20. Prior to works commencing, CQU is to provide to GPC for approval a detailed irrigation plan including "For Construction" drawings, for the for the design of the irrigation system for landscaping associated with stages of development in this approval. This plan is to be prepared in consultation with GPC and GPC's consultant to ensure integration and consistency with the existing irrigation network of the parklands as well as protection of existing and new infrastructure.

21. Prior to respective works commencing, CQU is to provide to GPC for approval a detailed temporary diversion plan including drawings of water services and control wiring showing how irrigation will be temporarily maintained during construction of the project.

22. Prior to works commencing, CQU is to provide to GPC for approval amended drawing no. CQU-GLD-605-GN-LSS-4001 B showing plant species *Rhapis excelsa* is removed from the approved planting list. The only palm approved for use in the marina parklands is *Livistona* sp.

Water and Sewer

23. Connection to Gladstone Regional Council's sewer infrastructure is to be installed by Gladstone Regional Council with the cost borne by CQU. Sewerage works are subject to a separate development application and operational works approval from Gladstone Regional Council.

24. Provision of a new connection to Gladstone Ports Corporations existing water infrastructure is to be installed by GPC with the cost borne by CQU.

Lighting

25. Prior to respective works commencing, the proponent must supply to GPC for approval "For Construction" plans which illustrate the location and design of all proposed lighting for carpark, street and pedestrian infrastructure to be installed on Port land including underground services.

26. Street lighting must be provided for all new roads, access ways and carparks in accordance with the relevant Australian standards. Street lights removed due to changes made to existing roads and installation of new infrastructure e.g. in relation to Road 02 must be replaced to ensure sufficient lighting is maintained.

27. All new dedicated pedestrian pathways must be provided with sufficient lighting in accordance with the relevant Australian standards.

28. Any site lighting used during construction should not impact on the visibility of Navigational Aids utilised for the primary shipping channels nor illuminate a landward glare beyond the site boundary. Lighting must be continually reviewed during construction and operations with respect to navigation and will be revised as required in response to negative impacts as they arise.

Construction Management

29. A final Construction Traffic Management Plan (CTMP) must be provided to GPC for approval at least 10 business days prior to the commencement of work. All activities associated with construction must be carried out in accordance with the approved CTMP.

30. The construction compound, including offices, laydown areas and employee car parking, is to be contained within the area of Carpark 03 as indicated on Draw. No. CEQU0402 SK A1-01 B unless otherwise approved in writing by GPC.

31. In the event acid sulphate soils are disturbed/excavated and require treatment on site, a site specific acid sulphate management plan is to be submitted to GPC for approval prior to such works commencing.

32. The proponent must take all practical and reasonable steps to protect all GPC infrastructure and services on site including but not limited to existing kerbs (e.g. the use of dunnage), signage, grass, landscaping, and irrigation infrastructure. Any damage to GPC grass, landscaping, services or infrastructure caused as a result of construction must be remediated upon completion of works to the satisfaction of GPC.

33. No mud, dirt or other debris is to be tracked onto public roads from the construction site.

34. Construction operating hours are to be 6.30am to 6.30pm Monday – Friday and 6.30am to 2.00pm Saturday (as required). No works are to occur on Sundays or public holidays unless otherwise approved in writing by GPC. As agreed to by CQU, GPC may, with 5 days' notice, temporarily restrict operating hours or some construction activities, to mitigate construction impacts upon particular community events and uses of the marina parklands.

35. The proponent is responsible for liaising with GPC's Corporate & Community Relations Specialist, Ms Carly Mafrici on 07 4976 1193 or mafricic@gpcl.com.au to enable co-

operative planning of potentially conflicting activities prior to the activities occurring. The proponent must supply GPC with:

- contact details for a nominated liaison;
- information to inform public communication to the marina and/or wider Gladstone community regarding construction and operational activities as necessary to mitigate adverse impacts and reduce complaints.

ENVIRONMENT

Environmental Management Plans

36. Prior to construction works commencing on site, a Construction Environmental Management Plan (CEMP) specific to these works is to be submitted to GPC for approval. The activity must be undertaken in accordance with the approved CEMP that ensures:

    - environmental risks are identified, managed and continually assessed in relation to the activity (this includes construction and rehabilitation as applicable); and
    - that staff are trained and aware of their obligations under the CEMP; and
    - that reviews of environmental performance are undertaken at least annually; and
    - any amendments to the CEMP are to be submitted to GPC for review and approval.

37. Prior to operations commencing on site, an Operational Environmental Management Plan (OEMP) specific to these works is to be submitted to GPC for approval. The activity must be undertaken in accordance with the approved OEMP that ensures:

    - Operational environmental risks are identified, managed and continually assessed in relation to the activity; and
    - that staff are trained and aware of their obligations under the OEMP; and
    - that reviews of environmental performance are undertaken at least annually; and
    - any amendments to the OEMP are to be submitted to GPC for review and approval.

Incident Notification

38. Gladstone Ports Corporation Environment Hotline (07) 4976 1617) is to be notified of the occurrence of any;

    - release/spill of contaminants (e.g. fuels/chemicals/sewerage) greater than 250L;
    - environmental complaints received by the holder of this approval or their contractors; and
    - non-compliance with conditions of this approval or any other environmental approval obtained in relation to the approved activity.

Noise

39. Prior to works commencing on the ETTC building, the proponent is required to conduct further assessment of potential intermittent noise emissions including proposed workshop/training activities, assessed against the EPP (Noise) Acoustic quality objectives. For NSR 1, specifically LAeq,adj,(1hour) 45 dBA criteria for "retail activities" should be used, with appropriate justification for the factor used to correct between outside and inside of the building. For emissions to the public park areas, again assessment against the acoustic quality objectives being to preserve the amenity of the existing park or garden should be used.

    f) In assessing the above, consider multiple noise sources occurring/operating simultaneously. This may comprise a description of all equipment, component sound levels and time weighting correction. Assess the expected worst 1 hour period.

    g) Sound values should ideally be predicted in one-third octave or octave bands with corrections applied to the component levels in recognition of the annoyance generally associated with tonal or impulsive characteristics. Refer methods QEHP Noise Measurement Manual and the QLD Planning for Noise Control Guideline. For

example, tonality could be expected to be applied to items such as saws and impulsive corrections to items such as hammers on steel.

h) Consider reflection and amplification effects from the proposed building. For example, reflections from walls and roofs over external covered bays, and reverberation effects in internal areas within the building.

i) Provide an assessment of mechanical ventilation plant and compressor plant emissions against the criteria listed in EPP Noise Section 10 controlling background creep. Detail required acoustic performance specification should noise emissions from mechanical plant need to be controlled to achieve compliance with the noise limits.

j) Identify minimum required acoustic treatments and include on final "For Construction" design plans for the ETTC building including:

- Performance specification values for internal sound dampening treatments such as absorptive ceilings, eg NRC 0.8;
- Sound isolation performance indices for façade walls, roof/ceiling, roller doors, personnel access doors, glazing, and ventilation openings. Performance listed in either Rw or transmission loss; and
- Details of any required administrative controls such as maximum permissible number of tools operating at once, timing limits, and/or placement requirements such as tools to be positioned away from building openings and no tools outside of the building.

The additional assessment report and final "For Construction" design plans for the ETTC Building must be submitted to GPC for approval prior to works commencing. Where it can be demonstrated within the additional assessment report that the assessment criteria specified in this condition is less onerous or not specifically relevant this condition will be considered to be complied with upon GPC approval of the assessment report and final "For Construction" design plans.

40. During the commissioning stages of the ETTC building the proponent will undertake compliance testing of the building to fine tune acoustic treatments e.g. the placement of screening. The commissioning stage acoustic testing will comprise:

a) Tests of a range of activities with adequate justification that these scenarios are representative of worst case noise emissions.

b) Measurement of sound levels at the Gladstone Marina Visitor Information Centre and adjacent Parklands area over a suitable time period.

c) Details of the testing scenarios, procedure, methodology including information in accordance with that listed in DEHP Noise Measurement Manual.

d) Accompanying certification that building elements were witnessed to have been constructed and installed in accordance with the performance requirements listed in the approved acoustic report and drawings in condition 39.

The proponent will submit the compliance testing report to GPC for approval.

41. Strategies for noise abatement identified in conditions 39 and 40 must be incorporated into the OEMP.

ADVICES

Water and Sewerage

A. Ground water was encountered in test holes at a depth between 1.2m and 2.6m below ground level. Consideration of the materials proposed for the provision of water and sewerage infrastructure is to be undertaken in accordance with the Water Services Association of Australia (WSAA) to ensure longevity of the infrastructure.

B. Connections to council's live water or sewerage networks must be carried out by Gladstone Regional Council. The cost of these works is to be borne by CQU.

C. The design of Carpark 03 must ensure that sufficient cover over the sewer rising main is maintained.

D. The increase in the sewerage demand on the site due to the development should not adversely impact the existing sewerage network.

E. The location of proposed Building 602 in Stage 3 should comply with Council's Building Over or Adjacent to Council Infrastructure Policy, due to the proximity of this building to Council's existing sewerage infrastructure.

Coastal Hazards

F. Consideration should be made to ensure that infrastructure and building foundations are designed and constructed to resist hydrostatic and hydrodynamic forces as a result of storm tide inundation.

G. The Overall Outcomes of the Coastal Hazard Overlay Code of the Our Place Our Plan Gladstone Regional Council Planning Scheme, Version 2 requires development to address sea level rise and requires any potential risks to be mitigated to achieve an acceptable or tolerable level. The site is identified as being located within the medium Storm Tide Inundation are and in accordance with the code, floor levels of non-habitable rooms (other than Class 10 buildings) are to be located above the medium storm tide inundation level, or allow for the flow through of coastal waters on the ground floor. Ensure that the floor levels of the non-habitable rooms are above the medium storm tide inundation level.

H. Hazardous chemicals proposed to be located within the Engineering and Trade Training Centre (ETTC) and the Hair and Beauty Building (H&B) are to be stored to prevent the intrusion of flood waters.

Traffic Assessment

I. The use of an American standard (i.e. ITE 2012) in the Traffic Impact Assessment for a different type of education system that has been applied for is not considered to be a suitably accurate representation of the expected traffic to be generated by the development.

J. The percentage split in the morning peak hour of 75% entering and 26% exiting is not considered to be are presentation of expected traffic splits. It is expected that a higher percentage of vehicles would be entering the site during this peak due to the expected hours of operation of the development.

K. Revision of the traffic distribution of the development traffic on the surrounding road network should be considered, as 45% on Central Lane € is considered to be too high due to the class and layout of this road and 0% on Lord Street (NT) is considered to be too low due to the catchment of this road for the development including multiple suburbs such as Gladstone Central, South Gladstone and Barney Point.

PART 2: REFERRAL AGENCY CONDITIONS

Referral Agency Name: **Department of State Development, Manufacturing, Infrastructure and Planning**

RA9-N

Queensland Government

Department of
State Development, Manufacturing, Infrastructure and Planning

Our reference: 1801-3285 SRA
Your reference: DA2017/11

18 April 2018

Port of Gladstone Ports Corporation Limited
PO Box 259
Cairns Qld 4870
hunters@gpcl.com.au

Attention: Sarah Hunter

Dear Sir/Madam

Late referral agency response—No requirements
(Given under section 28 of the Development Assessment Rules)

The development application described below was properly referred to the Department of State Development, Manufacturing, Infrastructure and Planning on 9 January 2018.

Applicant details

Applicant name:	Paynter Dixon on behalf of Central Queensland University
Applicant contact details:	c/- Paul Hanly North Group Consulting 3a/32 Billabong Street Stafford QLD 4017 phanly@northgroup.com.au

Location details

Street address:	268 Alf O'Rourke Drive, Callemondah
Real property description:	210SP120888
Local government area:	Gladstone Regional Council

Application details

Development permit	Material change of use for extension of an education facility (in 4 stages)

Referral triggers
The development application was referred to the department under the following provisions of the Planning Regulation 2017:

- 10.9.4.1.1.1 Infrastructure - state transport infrastructure

Fitzroy/Central regional office
Level 2, 209 Bolsover Street,
Rockhampton
PO Box 113, Rockhampton QLD 4700

Late referral agency response
The department was unable to provide a referral agency response under section 56 of the *Planning Act 2016* within the referral agency assessment period. The department obtained the applicant's written agreement (enclosed) to give a late referral agency response under section 28 of the Development Assessment Rules.

No requirements
Under section 56(1)(a) of the *Planning Act 2016*, the department advises it has no requirements relating to the application.

A copy of this response has been sent to the applicant for their information.

For further information please contact Carl Porter, Principal Planning Officer, on 07 4924 2918 or via email RockhamptonSARA@dilgp.qld.gov.au who will be pleased to assist.

Yours sincerely

Graeme Kenna
Manager (Planning)

cc Mr Paul Hanly, phanly@northgroup.com.au

enc Applicant's written agreement to late referral agency response

ATTACHMENT 2: APPROVED PLANS AND SPECIFICATIONS

CQU GLADSTONE MARINA
CAMPUS CONSOLIDATION

GENERAL NOTES

1. ALL DIMENSIONS GIVEN ON THESE DRAWINGS ARE IN METRES UNLESS NOTED OTHERWISE.
2. ALL NEW WORK AND MATERIALS SHALL COMPLY WITH THE PROJECT DRAWING SPECIFICATION AND CURRENT RELEVANT COUNCIL STANDARDS AND SPECIFICATIONS.
3. ALL WORK SHALL BE JOINED NEATLY TO EXISTING CONSTRUCTION.
4. THE CONTRACTOR IS TO LOCATE, IDENTIFY AND ESTABLISH THE CONNECTIVITY OF ALL EXISTING SERVICES WITHIN THE LIMITS OF PROPOSED WORKS AND CONFIRM THIS INFORMATION WITH THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MEASURING DEVICES, SAFETY EQUIPMENT AND MACHINERY REQUIRED TO CARRY OUT INSPECTIONS/MEETINGS AS SPECIFIED OR REQUESTED BY THE ENGINEER.
6. PROOF ROLLING NOMINATED SHALL BE CARRIED OUT USING A SINGLE AXLE HIGHWAY TRUCK WITH A REAR AXLE LOAD NOT LESS THAN 10 TONNES AND TYRES INFLATED TO 550kPa OR APPROVED EQUIVALENT. EQUIPMENT LABOUR AND LOADING REQUIRED FOR PROOF ROLLING IS TO BE PROVIDED BY THE CONTRACTOR.
7. THESE NOTES SHALL APPLY TO ALL PORTIONS OF WORK.
8. THE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS. ANY POINT OF CONFLICT WILL BE RESOLVED BY THE SUPERINTENDENT.

NOISE

1. ALL PLANT AND EQUIPMENT SHALL BE CONTROLLED TO MINIMISE NOISE EMISSION IN ACCORDANCE WITH AS2436 (GUIDE TO NOISE CONTROL ON CONSTRUCTION, MAINTENANCE AND DEMOLITION). THE SITE WORKING HOURS SHOULD BE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS. WHERE NOT SPECIFIED THE HOURS SHALL BE:

MONDAY - SATURDAY	7:00am to 6:00pm
SUNDAY OR PUBLIC HOLIDAY	NO WORK PERMITTED

PRE-CONSTRUCTION & APPROVALS

1. NO LOCATING/ POTHOLING OF EXISTING SERVICES HAS BEEN CARRIED OUT. THE CONTRACTOR IS TO DETERMINE THE LOCATION AND DEPTH OF ALL EXISTING SERVICES WHICH AFFECT THE WORKS AND REPORT ANY POTENTIAL CLASHES TO THE SUPERINTENDENT PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION WORKS.
2. THE CONTRACTOR IS RESPONSIBLE FOR ARRANGING WITH THE APPROPRIATE AUTHORITY FOR LOCATING EXISTING SERVICES AND FOR ANY MODIFICATIONS TO EXISTING SERVICES REQUIRED AS A RESULT OF THE WORKS.
3. THE CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING SERVICES FROM DAMAGE.
4. ANY WORKS DAMAGED AS A RESULT OF CONSTRUCTION ARE TO BE REINSTATED TO RELEVANT AUTHORITY'S REQUIREMENTS AT THE CONTRACTORS COST.
5. FINISHED SURFACE LEVELS ARE TO BE GRADED UNIFORMLY BETWEEN LEVELS INDICATED ON THE DRAWINGS.

WORKPLACE HEALTH AND SAFETY

1. THE CONTRACTOR SHALL BE THE PRINCIPAL CONTRACTOR AS DESIGNATED BY THE WORK HEALTH AND SAFETY ACT (2011).
2. THE CONTRACTOR SHALL PREPARE AND IMPLEMENT A WORKPLACE HEALTH AND SAFETY PLAN AS REQUIRED BY THE WORK HEALTH AND SAFETY ACT (2011).

SETOUT NOTES

1. CO-ORDINATE SETOUT PROVIDED ON THESE DRAWINGS IS BASED ON AN ARBITRARY CO-ORDINATE BASE. REFERENCE MARKS AND CORRESPONDING CO-ORDINATES ARE PROVIDED ON THIS DRAWING.
2. THE LEVEL DATUM FOR WORKS IS A.H.D (AUSTRALIAN HEIGHT DATUM).
3. SETOUT SHALL BE MADE BY DIGITAL ENGINEERING DATA AND CONFIRMED ONSITE PRIOR TO CONSTRUCTION BY A SURVEYOR.

LOCALITY PLAN

0 50 100 150m
SCALE 1:2500 (A1)

Premise

Sheet List Table	
Sheet Number	Sheet Title
C001	COVER SHEET LOCALITY PLAN & DRAWING SCHEDULE
C010	EXISTING FEATURES AND SERVICES - SHEET 1
C011	EXISTING FEATURES AND SERVICES - SHEET 2
C012	EXISTING FEATURES AND SERVICES - SHEET 3
C013	EXISTING FEATURES AND SERVICES - SHEET 4
C014	EXISTING FEATURES AND SERVICES - SHEET 5
C100	ROADWORKS AND DRAINAGE LAYOUT PLAN - SHEET 1
C101	ROADWORKS AND DRAINAGE LAYOUT PLAN - SHEET 2
C102	ROADWORKS AND DRAINAGE LAYOUT PLAN - SHEET 3
C103	ROADWORKS AND DRAINAGE LAYOUT PLAN - SHEET 4
C104	ROADWORKS AND DRAINAGE LAYOUT PLAN - SHEET 5
C200	BULK EARTHWORKS LAYOUT PLAN - SHEET 1
C201	BULK EARTHWORKS LAYOUT PLAN - SHEET 2
C202	BULK EARTHWORKS LAYOUT PLAN - SHEET 3
C203	BULK EARTHWORKS LAYOUT PLAN - SHEET 4
C204	BULK EARTHWORKS LAYOUT PLAN - SHEET 5
C205	BULK EARTHWORKS NOTES AND DETAILS
C300	ROADWORKS NOTES AND DETAILS
C301	ROAD LONGITUDINAL SECTIONS
C302	ROAD CROSS SECTIONS
C310	PAVEMENT MARKINGS AND SIGNAGE LAYOUT - SHEET 1
C311	PAVEMENT MARKINGS AND SIGNAGE LAYOUT - SHEET 2
C312	PAVEMENT MARKINGS AND SIGNAGE LAYOUT - SHEET 3
C500	SEWERAGE RETICULATION LOCALITY PLAN & NOTES
C501	SEWERAGE RETICULATION LAYOUT PLAN
C502	SEWERAGE RETICULATION LONG SECTION
C700	EROSION AND SEDIMENT CONTROL LAYOUT - SHEET 1
C701	EROSION AND SEDIMENT CONTROL LAYOUT - SHEET 2
C702	EROSION AND SEDIMENT CONTROL LAYOUT - SHEET 3
C703	EROSION AND SEDIMENT CONTROL LAYOUT - SHEET 4
C704	EROSION AND SEDIMENT CONTROL LAYOUT - SHEET 5
C706	EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

INDEMNITY - EXISTING SERVICES

NOT WITHSTANDING THAT EXISTING SERVICES MAY OR MAY NOT BE SHOWN ON THESE DRAWINGS, NO RESPONSIBILITY IS TAKEN BY THE ENGINEER OR THE PRINCIPAL FOR THIS INFORMATION WHICH HAS BEEN SUPPLIED BY OTHERS. THE DETAILS ARE PROVIDED FOR INFORMATION ONLY. THE CONTRACTOR SHALL ASCERTAIN THE POSITION OF ALL UNDERGROUND SERVICES PRIOR TO EXCAVATION AND SHALL BE RESPONSIBLE FOR THE COST OF REPAIRS TO DAMAGES CAUSED AS A RESULT OF THE WORKS.

SURVEY ORIGIN

TBM - PM 117338
R.L - 2.230m A.H.D

SITE AREA

408.1ha

REAL PROPERTY DESCRIPTION

LOTS 210 on RP 120888

APPROVED

PRELIMINARY

NOTES

VERIFY ALL DIMENSIONS AND CHECK LEVELS ON SITE BEFORE COMMENCING WORK. DO NOT SCALE FROM THESE DRAWINGS. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE UNIVERSITY AND SHALL NOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF THE UNIVERSITY

AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	24/01/17	PRELIMINARY ISSUE	
B	30/02/18	TITLE BLOCK AMENDED	

REVISION HISTORY

University AUSTRALIA

PAYNTER DIXON
BUILDING YOUR BUSINESS

Premise
BRISBANE OFFICE
LEVEL 1, 100 BRUNSWICK STREET
PO BOX 361
FORTITUDE VALLEY, QLD 4006
PH: (07) 3255 2222
WEB: www.premise.com.au

PROJECT DIRECTOR DATE
RPEQ DATE

CONSULTANTS:

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer:
Umow Lai

Landscape Architect:
Jeremy Ferrier

Building Certifier:
Building Certifiers Australia

Town Planning:
Northgroup Consulting

Acoustic Engineer:
Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Bera

CAMPUS:

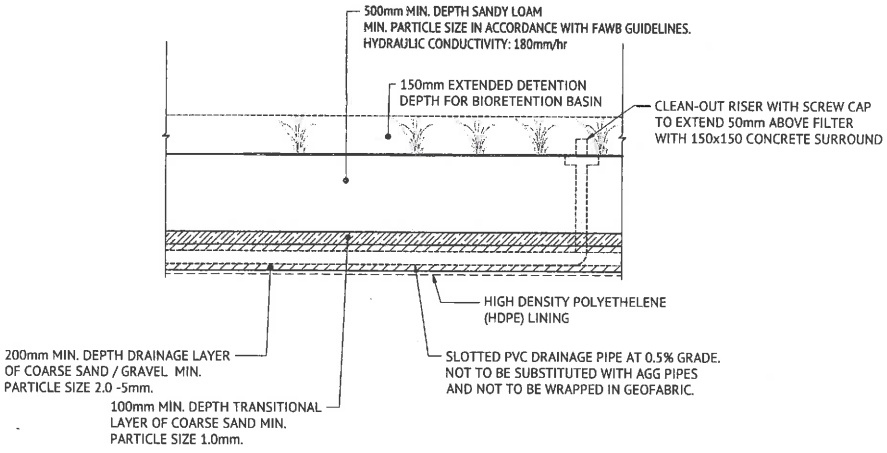
PROJECT:
CQU GLADSTONE MARINA
CAMPUS CONSOLIDATION

DISCIPLINE: CIVIL

DESCRIPTION:
COVER SHEET LOCALITY PLAN
& DRAWING SCHEDULE

DATE	SCALE (A1)	DRAWN
11/17	1:100	RPB
CQU PROJECT MANAGER		CHECKED EK
JOB NO MIS-0354		APPROVED

CQU PROJECT NO. CEQU0402
DRAWING NO. CQU-GLD-000-00-CIV-C001
REVISION B



BIO-RETENTION BASIN STAGED CONSTRUCTION

BIORETENTION BASIN WILL BE CONSTRUCTED IN ACCORDANCE WITH OPTION 4 OF THE HEALTHY WATERWAYS CONSTRUCTION AND ESTABLISHMENT GUIDELINES

STAGE 1 - CIVIL CONSTRUCTION
STAGE 1 INVOLVES THE CIVIL WORKS TO CREATE THE FORM OF THE BIORETENTION SYSTEM AND INSTALL STRUCTURES FOLLOWING WHICH THE SYSTEM IS ALLOWED TO OPERATE AS A SEDIMENT BASIN.

STAGE 2 - BUILDING PHASE PROTECTION
THE BIORETENTION SYSTEM IS ALLOWED TO OPERATE AS THE SEDIMENT BASIN DURING THE BUILDING PHASE

STAGE 3 - CIVIL CONSTRUCTION AND LANDSCAPE ESTABLISHMENT
ONCE THE BUILDING PHASE IS COMPLETE, THE BIORETENTION SYSTEM IS CLEANED OUT OF ACCUMULATED SEDIMENT.

A) THE BIORETENTION BASIN IS TO BE CONSTRUCTED IN ACCORDANCE WITH HEALTHY **WATERWAYS "CONSTRUCTION AND ESTABLISHMENT GUIDELINES" SIGN OFF** FORMS (INCLUDING THE PRE-START MEETING FORM AND FORMS A-G). COPIES OF THESE FORMS ARE LOCATED IN THE APPENDICIES OF THE SITE BASED STORMWATER QUALITY MANAGEMENT PLAN.
B) SLOTTED 100MM DIA. UPVC PIPES WITHIN THE DRAINAGE LAYER OF THE BIORETENTION BASIN MUST NOT BE SUBSTITUTED WITH AGGI PIPES NOR WRAPPED IN GEOFABRIC.
C) THE SOIL SPECIFICATIONS FOR FILTER MEDIA FOR THE BIORETENTION BASIN MUST BE IN ACCORDANCE WITH FAWB GUIDELINES VERSION 1 JUNE 2009.
D) LANDSCAPING OF THE BIORETENTION BASIN IS TO BE IN ACCORDANCE WITH APPENDIX A OF THE WATER SENSITIVE URBAN DESIGN TECHNICAL GUIDELINES (WSUD TDG).

BIO-RETENTION BASIN NOTES

1. BASIN TO OPERATE AS SEDIMENT BASIN (NO FILTER MEDIA OR DRAINAGE LAYERS INSTALLED) UNTIL ALL SITE EARTHWORKS AND ROADS COMPLETED.
2. CONSTRUCTION HOLD POINT FOR RPEQ AND BCC TO INSPECT BASIN OUTLETS/INLETS, RETAINING WALLS, HDPE LINER AND SUBSOILS.
3. BASIN DRAINAGE LAYERS AND FILTER IS TO BE PLACED AND TEMPORARILY PROTECTED USING GEOTEXTILE PLACED OVER FILTER WITH 75mm TOP SOIL AND TURFED. BASIN BATTERS ARE TO BE PLANTED IN ACCORDANCE WITH LANDSCAPE PLANS.
4. BASIN TO BE LEFT IN PROTECTED STAGE FOR 24 MONTHS (MAINTENANCE PERIOD FOR ALL BCC OWNED BASINS) TO ALLOW SUBSTANTIAL AMOUNT OF BUILDING WORK TO BE COMPLETED IN THE CATCHMENT.
5. PRIOR TO OFF MAINTENANCE INSPECTION THE PROTECTIVE LAYER/S ARE REMOVED AND A MINIMUM OF THREE (3) IN-SITU INFILTRATION TESTS ARE PROVIDED THAT DEMONSTRATE THAT THE HYDRAULIC CONDUCTIVITY MEETS OR EXCEEDS THE DESIGN HYDRAULIC CONDUCTIVITY (TYPICALLY >120mm/hr).
6. UPON SUCCESSFUL HYDRAULIC CONDUCTIVITY TESTS AND OFF-MAINTENANCE INSPECTION THE FILTER IS TO BE PLANTED OUT IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLANS. A FURTHER 12 MONTHS MAINTENANCE SECURITY TO BE APPLIED FOR TO FILTER LANDSCAPING WORKS ONLY.

BIORETENTION FILTER MEDIA SPECIFICATION

FILTER MEDIA SHALL BE WELL GRADED AND CAN BE SILICEOUS OR CALCAREOUS IN ORIGIN. THE FILTER MEDIA SHALL BE EVENLY PLACED AND LIGHTLY COMPACTED USING A SINGLE PASS WITH A DRUM LAWN ROLLER OR VIBRATING PLATE. THE FILTER MATERIAL SHALL COMPLY WITH THE FOLLOWING CRITERIA AS PER 'BIOFILTRATION FILTER MEDIA GUIDELINES (VERSION 3.01) PREPARED BY FAWB, JUNE 2009.

FILTER MATERIAL:
SAND AND LOAM MIX OR APPROVED EQUIVALENT THAT SUPPORTS VEGETATION AND REMOVES STORMWATER POLLUTANTS WITH A SATURATED HYDRAULIC CONDUCTIVITY OF GENERALLY BETWEEN 100 - 300mm/hr AND BE FREE FROM TOXICANTS, RUBBISH AND DELETERIOUS MATERIAL.

PARTICLE SIZE DISTRIBUTION:
TYPICAL SOIL COMPOSITION WOULD BE:
CLAY & SILT <3% (<0.05mm)
VERY FINE SANE 5%-30% (0.05mm-0.15mm)
FINE SAND 10%-30% (0.15mm-0.25mm)
MEDIUM TO COARSE SAND 40%-60% (0.25mm-1.0mm)
COARSE SAND 7%-10% (1.0mm-2.0mm)
FINE GRAVEL <3% (2.0mm-3.4mm)

ORGANIC MATTER CONTENT:
AT LEAST 3% (w/w).

pH:
AS SPECIFIED FOR 'NATURAL SOILS AND SOIL BLENDS' 5.5-7.5 (pH 1:5 IN WATER). REFER TO A.S.4419-2003.

ELECTRICAL CONDUCTIVITY:
AS SPECIFIED FOR 'NATURAL SOILS AND SOIL BLENDS' <1.2dS/m. REFER TO A.S.4419-2003.

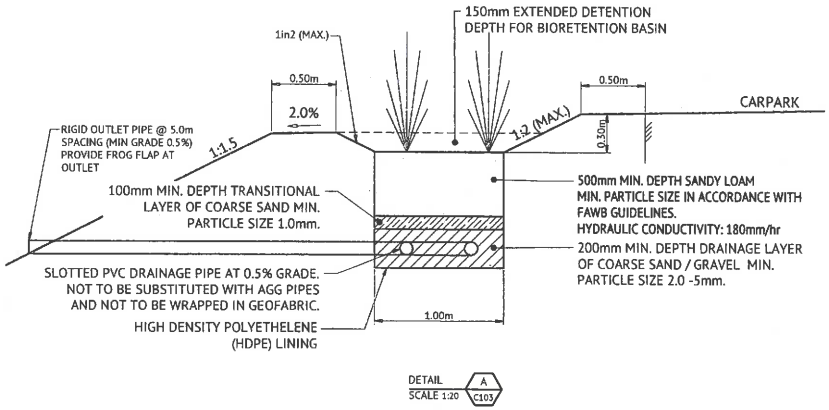
ORTHOPHOSPHATE
<80mg/kg. SOILS WITH TOTAL PHOSPHORUS CONCENTRATIONS >100mg/kg SHOULD BE TESTED FOR POTENTIAL LEACHING. WHERE PLANTS WITH MODERATE PHOSPHORUS SENSITIVITY ARE TO BE USED, PHOSPHORUS CONCENTRATIONS SHOULD BE <20mg/kg.

TRANSITIONAL LAYER
SHALL BE CLEAN WELL GRADED SAND OR COURSE SAND MATERIAL CONTAINING <2% FINES. THE PARTICLE SIZE DISTRIBUTION OF THE SAND SHALL BE ASSESSED TO ENSURE IT MEETS 'BRIDGING CRITERIA'. 'BRIDGING CRITERIA' REQUIRED THAT THE LARGEST 15% OF THE FILTER MEDIA PARTICLES BRIDGE WITH THE SMALLEST 15% OF THE SAND PARTICLES.

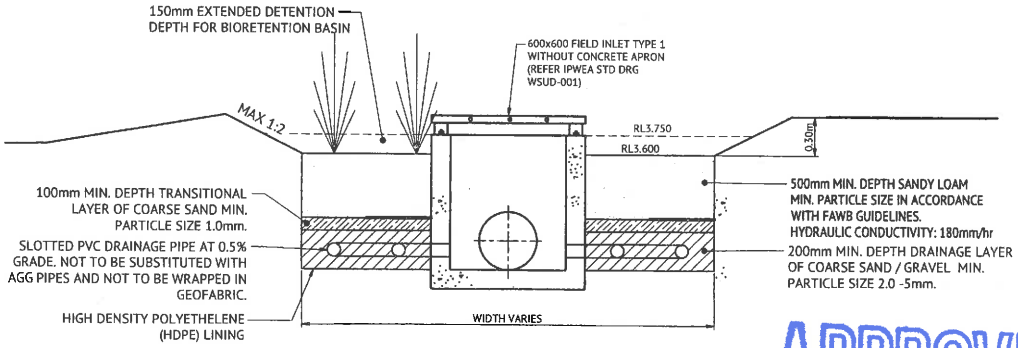
DRAINAGE LAYER
SHALL BE CLEAN FINE GRAVEL (2mm-5mm WASHED SCREENINGS) WITH <2% FINES AND A MINIMUM SATURATED HYDRAULIC CONDUCTIVITY OF 4000mm/hr.

ENGINEERED FILTER MEDIA
WHERE SUITABLE SOIL BASED FILTER MEDIA MATERIAL IS NOT AVAILABLE ENGINEERED FILTER MEDIA MATERIAL MAY BE USED WITH THE APPROVAL OF THE LOCAL AUTHORITY.

BATTERS AND EMBANKMENTS
COVERED WITH MINIMUM 200mm TOPSOIL. TOPSOIL CONTAINING HIGH SALT LEVELS, EXTREMELY LOW LEVELS OF CARBON (<5%) AND OTHER EXTREME CHARACTERISTICS THAT MAY RESTRICT PLANT GROWTH SHALL BE REJECTED.



DETAIL A C103
SCALE 1:20



DETAIL B C103
SCALE 1:20

APPROVED

NOTE:
REFER TO IPWEA STANDARD DRAWING WSUD - 002 FOR GENERAL NOTES AND DETAILS NOT SHOWN ON THIS DRAWING.

PRELIMINARY

NOTES
VERIFY ALL DIMENSIONS AND CHECK LEVELS ON SITE BEFORE COMMENCING WORK. DO NOT SCALE FROM THESE DRAWINGS. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE UNIVERSITY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF THE UNIVERSITY.

AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	29/11/17	PRELIMINARY ISSUE	
B	01/02/18	TITLE BLOCK AMENDED	

REVISION HISTORY

University AUSTRALIA

PAYNTER DIXON
BUILDING YOUR BUSINESS

Premise
BRISBANE OFFICE
LEVEL 1, 100 BRUNSWICK STREET
PO BOX 361
FORTITUDE VALLEY, QLD 4006
PH: (07) 3253 2222
WEB: www.premise.com.au

PROJECT DIRECTOR DATE
RPEQ DATE

CONSULTANTS:

Civil/ Storm Water:
Premise

Structural Engineer:
STP Comultants

Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer:
Umow Lai

Landscape Architect:
Jeremy Ferrier

Building Certifier:
Building Certifiers Australia

Town Planning:
Northgroup Consulting

Acoustic Engineer:
Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Bera

CAMPUS:

PROJECT:
CQU GLADSTONE MARINA CAMPUS CONSOLIDATION

DISCIPLINE: CIVIL

DESCRIPTION:
BIORETENTION BASIN LAYOUT

DATE	SCALE (A1)	DRAWN
11/17	1:100	AO
CQU PROJECT MANAGER		CHECKED GF
JOB NO MIS-0354		APPROVED

CQU PROJECT NO CEQU0402
DRAWING NO CQU-GLD-000-00-CIV-C800
REVISION B

GENERAL LEGEND

= = = =	EXISTING ELEMENT CAREFULLY DEMOLISHED
═══	NEW METAL STUD PARTITION - REFER TO PARTITIONS LEGEND
	3D VIEW
DP	DOWN PIPE
DR	DRAWERS
SC	STEEL COLUMN
L	LOCKERS
OHC	OVERHEAD CUPBOARD
FG	FIXED GLASS
SL	SLIDING
FCL	FINISHED CEILING LEVEL
FSL	FINISHED SURFACE LEVEL
FFL	FINISHED FLOOR LEVEL
EG	EAVES GUTTER
FL	FLASHING
FIL	FILING CABINET
ASH	ADJUSTABLE SHELF
SHF	SHELF
COS	CONFIRM ON SITE
DR	DRAWER
EQ	EQUAL
FW	FLOOR WASTE
LO	LOUVRES
TSP	TILE SETOUT POINT
UNO	UNLESS NOTED OTHERWISE
HWU	HOT WATER UNIT
DRY	DRYER
WM	WASHING MACHINE
DB	DEMONSTRATION BENCH
AW	AWNING TYPE
T(E)	EXISTING TREE TO BE RETAINED
T(1)	PROPOSED NEW TREE

CEILINGS / PARTITIONS LEGEND

REFER SPECIFICATION & DRAWINGS

PW	WALL / PARTITION TYPE # - REFER TO DETAILS AND SPECIFICATIONS
LW	LINING TYPE # - REFER TO DETAILS AND SPECIFICATIONS
CTW	CEILING TYPE # - REFER TO DETAILS AND SPECIFICATIONS
SCW	CEILING TYPE # - REFER TO DETAILS AND SPECIFICATIONS

FIXTURES, FITTINGS & EQUIPMENT LEGEND

REFER SPECIFICATION & DRAWINGS

TPW	TOILET PARTITION TYPE #
JUG	JOINERY UNIT #
LF	LIGHT FITTINGS
MR	MIRROR
CH	COAT HOOK
VSH	VANITY SHELF
GR	GRAB RAIL
PTD	PAPER TOWEL DISPENSER
TPH	TOILET PAPER HOLDER
SD	SOAP DISH
SK	SINK
SKM	SINK MIXER
VB	VANITY BASIN
BM	BASIN MIXER
SHR	SHOWER HEAD
SHM	SHOWER MIXER
TS	TOILET SUITE
UR	URINAL
FHR	FIRE HOSE REEL

DOORS / WINDOWS LEGEND

DR#	NEW DOOR
WN#	NEW WINDOW

FINISHES LEGEND

RF	ROOF FINISH TYPE # - REFER TO SPECIFICATION AND DRAWINGS FOR EXTENT
EXCF	EXTERNAL CLADDING TYPE # - REFER TO SPEC AND DRAWINGS FOR EXTENT
RFF	RESILIENT FINISH TYPE # - REFER TO SPECIFICATION
CPTF	CARPET TYPE # - REFER TO SPECIFICATION
PFF	PAINT FINISH TYPE # - REFER TO SPECIFICATION
JFF	JOINERY FINISH TYPE # - REFER TO SPECIFICATION AND DETAILS
FFF	FLOOR FINISH TYPE # - REFER TO SPECIFICATION AND DRAWINGS FOR EXTENT

LOOSE FURNITURE & EQUIPMENT LEGEND

REFER SPECIFICATION / BY OTHERS

TBC	TBC

NOTES

1. ALL ARKLAB DRAWINGS HAVE BEEN CREATED FROM A VISUAL SURVEY OF THE EXISTING FITOUT. ALL DIMENSIONS MUST BE VERIFIED ON SITE BY THE CONTRACTOR.
2. DURING DEMOLITION, THE CONTRACTOR SHOULD FAMILIARISE HIMSELF WITH THE 'AS PROPOSED' DOCUMENTS, AS THERE ARE MANY ITEMS TO BE PROTECTED AND/OR REMOVED AND REUSED ELSEWHERE IN THE SCHEME. IF IN DOUBT, ASK!
3. THE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATION AND ALL OTHER CONSULTANT DOCUMENTATION.
4. WHERE EXISTING ITEMS (INCLUDING STRUCTURE AND FINISHES) ARE REQUIRED TO BE PROTECTED, ENSURE FULL PROTECTION DURING THE COURSE OF THE WORKS EITHER BY PLY HOARDING / PLASTIC SHEETING ETC. ANY DAMAGE TO BE RECTIFIED AT THE END OF THE PROJECT AND THE COST BORN BY THE CONTRACTOR.

1 LOCALITY PLAN 1:3000

LOCALITY PLAN LEGEND

605	PROPOSED NEW ENGINEERING TTC
602	PROPOSED NEW HAIR & BEAUTY TTC
01	PROPOSED NEW CARPARK (37) EXTENSION
02	PROPOSED NEW TURNAROUND BAY
03	PROPOSED NEW CAR PARK (101 SPACE)
04	PROPOSED CARPARK ALTERATIONS
601	EXISTING MARTIN HANSON BLDG
603	EXISTING LEO ZUBRINO BLD G
604	EXISTING ENVIRONMENTAL SCIENCE CENTRE
613	EXISTING DFM WORKSHOP AND OFFICE
606-612	EXISTING ENGINEERING CENTRE

APPROVED

PRELIMINARY

NOTES

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7. VERIFY ALL R.O.'s PRIOR TO STARTING ON SITE

AMENDMENTS

REV	DATE	DESCRIPTION	BY
0	01/12/17	PRELIMINARY PORT APPLICATION	SA
H	06/12/17	FOR GLADSTONE PORT AUTH. APPLICATION	SA

REVISION HISTORY

CQ University AUSTRALIA

PAYNTER DIXON BUILDING YOUR BUSINESS

arkLAB
ALAN JORDAN M.ARCH
ARCHITECTURE

arkLAB project number: 201718

P: 07 3236 9965
E: 9reLAB@arkLAB.com.au
538 BOUNDARY ST SPRING HILL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 12121400913

CONSULTANTS:

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire
Mechanical/ Hydraulic Engineer:
Umow Lai

Landscape Architect:
Jeremy Ferrier

Building Certifier:
Building Certifiers Australia

Town Planning:
Northgroup Consulting

Acoustic Engineer:
Renzo Tonin
Ron Rumble

Traffic Engineer:
Premice

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Bera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: ARCHITECTURAL

DESCRIPTION:
BUILDING H&B TTC NOTES & LEGEND

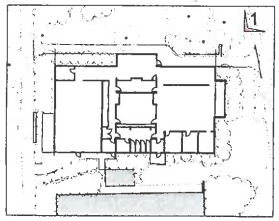
DATE	SCALE (A1)	DRAWN
6/12/17	AS INDICATED	SA, CT
CQU PROJECT MANAGER: PAUL BAILEY		CHECKED
		APPROVED: AJ

N

CQU PROJECT NO.: CQU-RSQ-17-0-DFM

DRAWING NO.: CQU-GLD-002-00-ARC-0000

REVISION: H



2 KEY PLAN
1:500

1 NORTH EASTERN VIEW

APPROVED

PRELIMINARY

NOTES

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7. VERIFY ALL RL'S PRIOR TO STARTING ON SITE

AMENDMENTS

REV	DATE	DESCRIPTION	BY
B	06/06/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA
C	09/06/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA
E	19/10/17	50% SUBMISSION	SA
G	01/12/17	PRELIMINARY PORT APPLICATION	SA
H	06/12/17	PDR GLADSTONE PORT AUTH. APPLICATION	SA
I	15/01/18	PLOOR PLAN AMENDMENT	SA
J	11/01/18	80% CQU SUBMISSION - FINAL	SA
L	30/01/18	90% CQU SUBMISSION - FINAL	CT
P	23/03/18	DRAFT 95% CQU SUBMISSION	CT
Q	28/3/18	95% CQU SUBMISSION	CT

REVISION HISTORY

CQ University AUSTRALIA

PAYNTER DIXON
BUILDING YOUR BUSINESS

arkLAB
ALAN JORDAN M.ARCH
ARCHITECTURE

arkLAB project number: 201718

P: 07 3236 9965
E: the.LAB@arkLAB.com.au
538 BOUNDARY ST SPRING HILL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 12121400913

CONSULTANTS:

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer:
Umow Lai

Landscape Architect:
Jeremy Ferrier

Building Certifier:
Building Certifiers Australia

Town Planning:
Northgroup Consulting

Acoustic Engineer:
Renze Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Sera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: ARCHITECTURAL

DESCRIPTION:
BUILDING H&B TTC 3D VIEWS

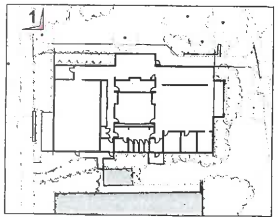
DATE	SCALE (A1)	DRAWN
28/3/18	AS INDICATED	SA, CT
CQU PROJECT MANAGER		CHECKED
PAUL BAILEY		
		APPROVED AJ

N

CQU PROJECT NO.
CQU-RSQ-17-0-DFM

DRAWING NO.
CQU-QLD-802-00-ARC-0001

REVISION
Q



2 KEY PLAN
1:500

1 NORTH WESTERN VIEW

APPROVED

PRELIMINARY

NOTES

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AMENDMENTS

REV	DATE	DESCRIPTION	BY
G	5/12/17	PRELIMINARY FOR LOCATION	SA
H	6/12/17	FOR GLADSTONE PORT AUTH. APPLICATION	SA
I	12/2/18	FLOOR PLAN AMENDMENT	SA
J	1/3/18	80% CQU SUBMISSION - FINAL	SA
K	5/3/18	80% CQU SUBMISSION - FINAL	CY
P	23/3/18	DRAFT 80% CQU SUBMISSION	CY
Q	28/3/18	80% CQU SUBMISSION	CY

REVISION HISTORY

CQ University AUSTRALIA

PAYNTER DIXON
BUILDING YOUR BUSINESS

arkLAB
ALAN JORDAN MARCH
ARCHITECTURE

arkLAB project number: 201718

P: 07 3236 9965
E: theLAB@arkLAB.com.au
538 BOUNDARY ST SPRING HILL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 12121400913

CONSULTANTS:

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer:
Umow Lai

Landscape Architect:
Jeremy Ferrier

Building Certifier:
Building Certifiers Australia

Town Planning:
Northgroup Consulting

Acoustic Engineer:
Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Bera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: ARCHITECTURAL

DESCRIPTION:
BUILDING H&B TTC 3D VIEWS

DATE	SCALE (A1)	DRAWN
28/3/18	AS INDICATED	SA, CT

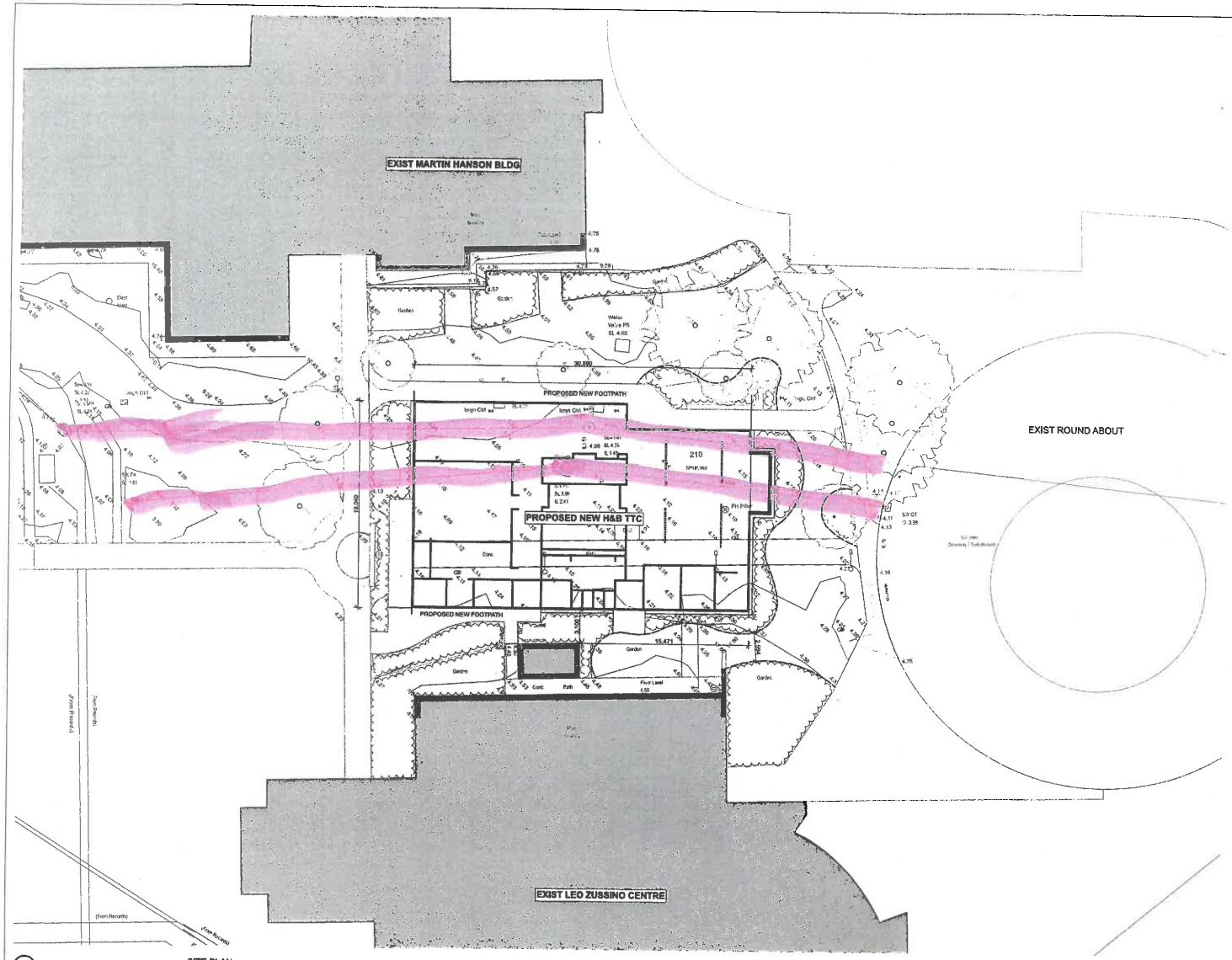
CQU PROJECT MANAGER: PAUL BAILEY
CHECKED:
APPROVED: AJ

N

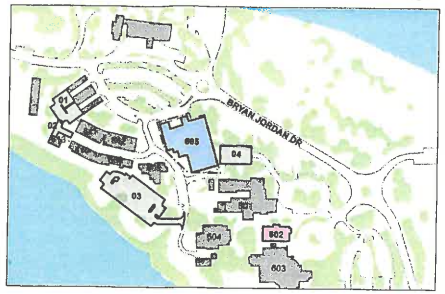
CQU PROJECT NO.: CQU-RSQ-17-9-DFM

DRAWING NO.: CQU-GLD-802-00-ARC-0002

REVISION: Q



1 SITE PLAN 1:200



2 LOCALITY PLAN 1:3000

LOCALITY PLAN LEGEND

606	PROPOSED NEW ENGINEERING TTC
602	PROPOSED NEW HAIR & BEAUTY TTC
01	PROPOSED NEW CARPARK (37) EXTENSION
02	PROPOSED NEW TURNAROUND BAY
03	PROPOSED NEW CAR PARK (101 SPACE)
04	PROPOSED CARPARK ALTERATIONS
501	EXISTING MARTIN HANSON BLDG
503	EXISTING LEO ZUSSINO BLD G
504	EXISTING ENVIRONMENTAL SCIENCE CENTRE
613	EXISTING DFM WORKSHOP AND OFFICE
608-612	EXISTING ENGINEERING CENTRE

APPROVED

PRELIMINARY

NOTES

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7. VERIFY ALL RL's PRIOR TO STARTING ON SITE

AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	06/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA
C	09/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA
E	12/11/17	70% SUBMISSION	SA
F	13/11/17	BUILDING SUPT - FOR CONSULTANT INFO	SA
G	01/12/17	PRELIMINARY POST APPLICATION	SA
H	06/12/17	FOR QUEENSLAND POST AUTH APPLICATIONS	SA

REVISION HISTORY

CQ University AUSTRALIA

PAYNTER DIXON BUILDING YOUR BUSINESS

arkLAB ALAN JORDAN MARCH ARCHITECTURE

arkLAB project number: 201718

P: 07 3236 9965
E: theLAB@arkLAB.com.au
538 BOUNDARY ST SPRING HILL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 12121400913

CONSULTANTS:

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer:
Umow Lai

Landscape Architect:
Jeremy Ferrier

Building Certifier:
Building Certifiers Australia

Town Planning:
Northgroup Consulting

Acoustic Engineer:
Renze Tervin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Bera

CAMPUS: CQU Gladstone Marina

PROJECT: CONSOLIDATION

DISCIPLINE: ARCHITECTURAL

DESCRIPTION: BUILDING H&B TTC **SITE PLAN**

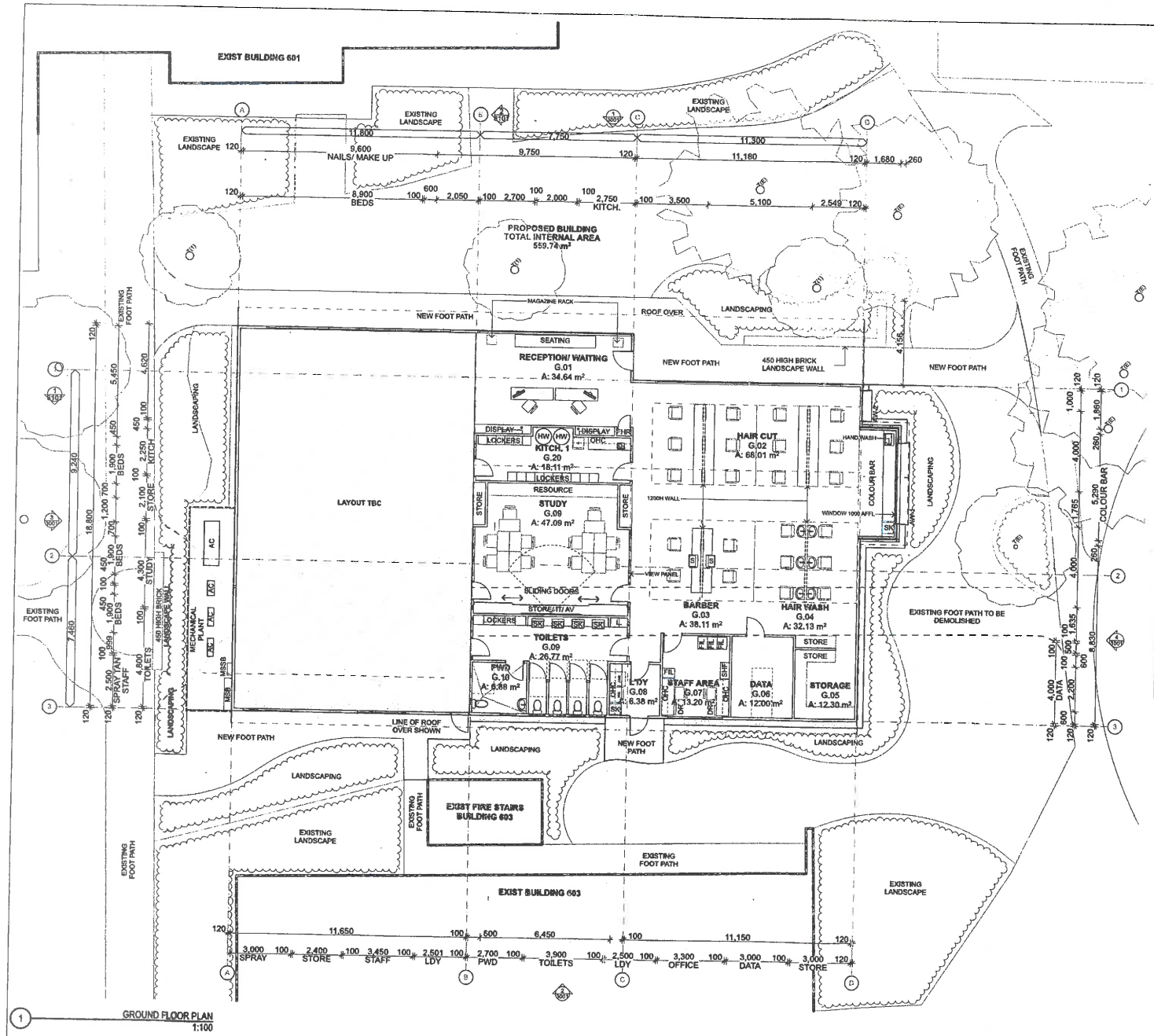
DATE	SCALE (A1)	DRAWN
6/12/17	AS INDICATED	SA, CT
CQU PROJECT MANAGER		CHECKED
PAUL BAILEY		
		APPROVED AJ

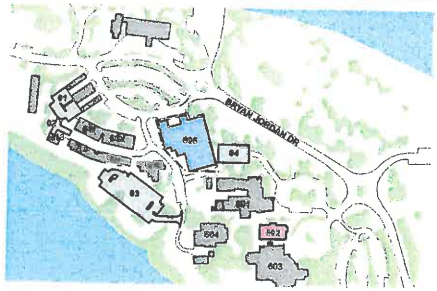
N

CQU PROJECT NO. CQU-RSQ-17-0-DFM

DRAWING NO. CQU-GLD-803-00-ARC-1001

REVISION H





2 LOCALITY PLAN
1:3000

LOCALITY PLAN LEGEND

605	PROPOSED NEW ENGINEERING TTC
602	PROPOSED NEW HAIR & BEAUTY TTC
01	PROPOSED NEW CARPARK (37) EXTENSION
02	PROPOSED NEW TURNAROUND BAY
03	PROPOSED NEW CAR PARK (101 SPACE)
04	PROPOSED CARPARK ALTERATIONS
601	EXISTING MARTIN HANSON BLDG
603	EXISTING LEO ZUSSINO BLD G
604	EXISTING ENVIRONMENTAL SCIENCE CENTRE
613	EXISTING DFM WORKSHOP AND OFFICE
608-612	EXISTING ENGINEERING CENTRE

ROOM AREA CALCULATIONS

(S)= SHARED (T)= TRADE

ROOM		AREA
G.01	RECEPTION (S)	34.64m²
G.02	HAIR CUT (T)	68.01m²
G.03	BARBER (T)	38.11m²
G.04	HAIR WASH (T)	32.13m²
G.05	STORAGE (T)	12.30m²
G.06	LAUNDRY (T)	06.28m²
G.07	DATA (S)	12.00m²
G.08	OFFICE (T)	13.20m²
G.09	STUDY (T)	45.57m²
G.10	CLEANER (S)	07.00m²
G.11	TOILETS (S)	26.77m²
G.12	PWD (S)	06.88m²
G.13	KITCHEN 1 (T)	05.91m²
G.14	KITCHEN 2 (T)	06.91m²
G.15	OFFICE (T)	11.41m²
G.16	SPRAY TAN (T)	07.35m²
G.17	LAUNDRY (T)	08.80m²
G.18	BEDS (T)	49.70m²
G.19	STORAGE (T)	18.30m²
G.20	CONSULT (T)	18.56m²
G.21	JAKE UP (T)	32.80m²
G.22	NAILS (T)	39.93m²

SUBTOTAL SHARED:
G.01+G.07+G.10+G.11+G.12 = 87.61m²

SUBTOTAL TRADE:
G.02+G.03+G.04+G.05+G.06+G.08+G.09+G.13+G.14+G.15+G.17+G.18+G.19+G.20+G.21+G.22 = 414.17m²

TOTAL
(S) + (T) ONLY 501.78m²

TOTAL
(INCLUD. INT WALLS) 560.00m²

TO BE DEMOLISHED

APPROVED

PRELIMINARY

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7. VERIFY ALL R.L'S PRIOR TO STARTING ON SITE

AMENDMENTS

REV	DATE	DESCRIPTION	BY
B	06/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	BA
C	17/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	BA
D	19/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	BA
E	24/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	BA
F	27/10/17	BUILDING IS APP - FOR CONSULTANT INFO	BA
G	5/12/17	PRELIMINARY FOR APPLICATION	BA
H	06/12/17	FOR SLAB PADS FOR APPLICATION	BA

REVISION HISTORY

CQ University AUSTRALIA

PAYNTER DIXON BUILDING YOUR BUSINESS

arkLAB
ALAN JORDAN MARCH ARCHITECTURE
arkLAB project number: 201716
P: 07 3236 9965
E: thelab@arkLAB.com.au
538 BOUNDARY ST SPRING HILL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 121214009 13

CONSULTANTS:

Civil/ Storm Water: Premise

Structural Engineer: STP Consultants

Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer: Umow Lai

Landscape Architect: Jeremy Ferrier

Building Certifier: Building Certifiers Australia

Town Planning: Northgroup Consulting

Acoustic Engineer: Renze Tenin, Ron Rumble

Traffic Engineer: Premise

Geotechnical Engineer: Construction Sciences

Green Star/ ESD: Bara

CAMPUS: CQU Gladstone Marina

PROJECT: CONSOLIDATION

DISCIPLINE: ARCHITECTURAL

DESCRIPTION: BUILDING H&B TTC GROUND FLOOR PLAN

DATE: 6/12/17	SCALE (A1): AS INDICATED	DRAWN: BA, CT
CQU PROJECT MANAGER: PAUL BAILEY		CHECKED
		APPROVED: AJ

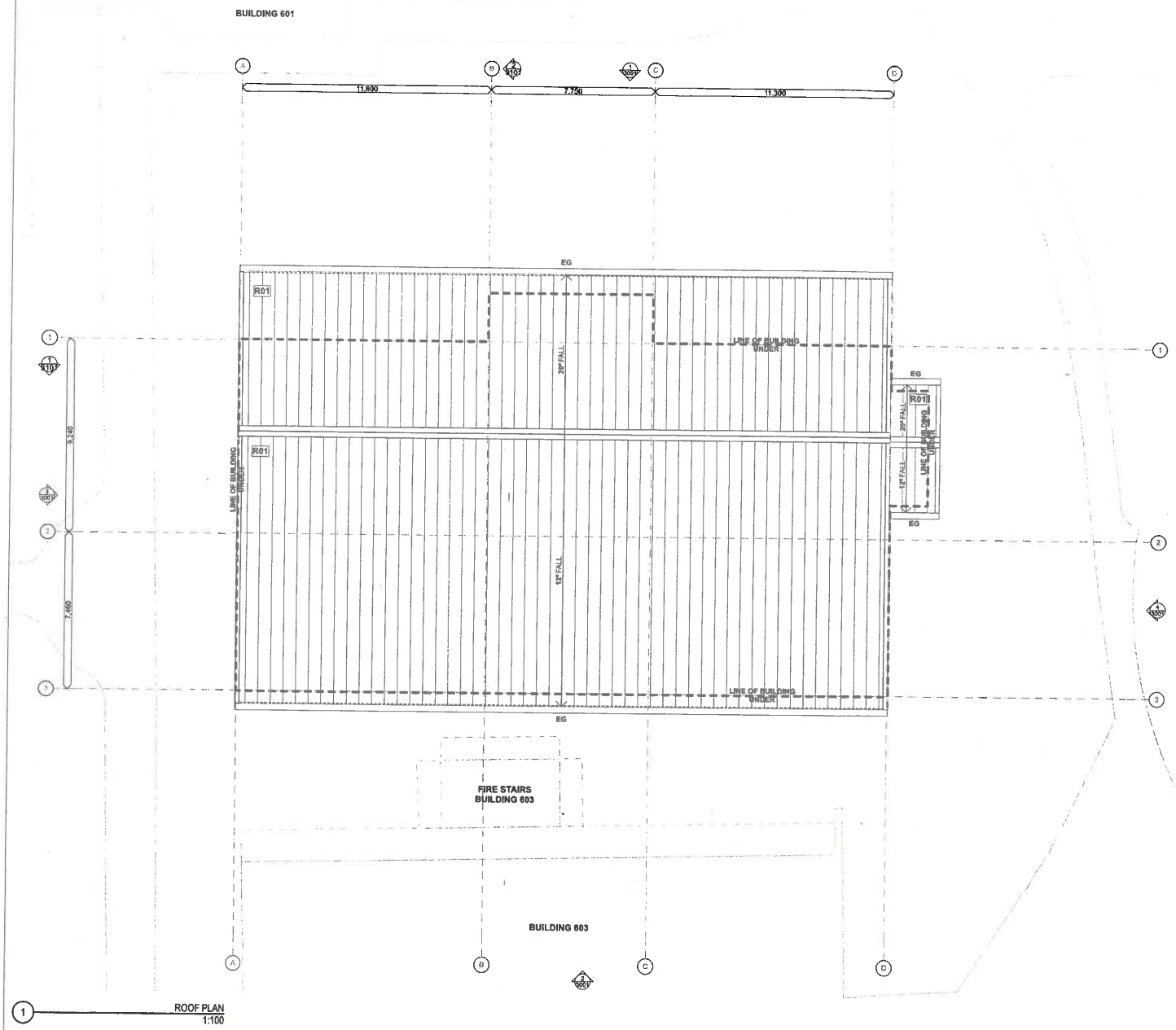
N

CQU PROJECT NO.: CQU-RSO-17-0-DFM

DRAWING NO.: CQU-GLD-602-GR-ARC-3901

REVISION: H

Wednesday, 6 December 2017 1:58 pm



1 ROOF PLAN
1:100

2 LOCALITY PLAN
1:3000

LOCALITY PLAN LEGEND

605	PROPOSED NEW ENGINEERING TTC
602	PROPOSED NEW HAIR & BEAUTY TTC
01	PROPOSED NEW CARPARK (37) EXTENSION
02	PROPOSED NEW TURNAROUND BAY
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613	EXISTING DFM WORKSHOP AND OFFICE
606-612	EXISTING ENGINEERING CENTRE

APPROVED

PRELIMINARY

NOTES

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7. VERIFY ALL RL's PRIOR TO STARTING ON SITE

AMENDMENTS

REV	DATE	DESCRIPTION	BY
B	08/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	BA
C	09/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	BA
D	03/11/17	PRELIMINARY ISSUE - FOR DISCUSSION	BA
E	08/11/17	PRELIMINARY ISSUE - FOR DISCUSSION	BA
F	22/11/17	BUILDING SHIFT - FOR CONSULTANT INFO	BA
G	01/12/17	PRELIMINARY PORT APPLICATION	BA
H	06/12/17	FOR GLADSTONE PORT AUTH APPLICATION	BA

REVISION HISTORY

University AUSTRALIA

PAYNTER DIXON
BUILDING YOUR BUSINESS

arkLAB
ALAN JORDAN M.ARCH
ARCHITECTURE

arkLAB project number: 201718

P: 07 3236 9965
E: the@arkLAB.com.au
539 BOUNDARY ST SPRING HILL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 12121400913

CONSULTANTS:

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer:
Umow Lai

Landscape Architect:
Jeremy Ferrier

Building Certifier:
Building Certifiers Australia

Town Planning:
Northgroup Consulting

Acoustic Engineer:
Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Ecs

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: ARCHITECTURAL

DESCRIPTION:
BUILDING H&B TTC **ROOF PLAN**

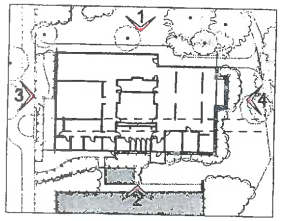
DATE 6/12/17	SCALE (A1) AS INDICATED	DRAWN BA, CT
CQU PROJECT MANAGER PAUL BAILEY		CHECKED
		APPROVED AJ

N

CQU PROJECT NO. CQU-RSQ-17-0-DFM

DRAWING NO. CQU-GLD-602-RF-ARC-2101

REVISION H



5 KEY PLAN
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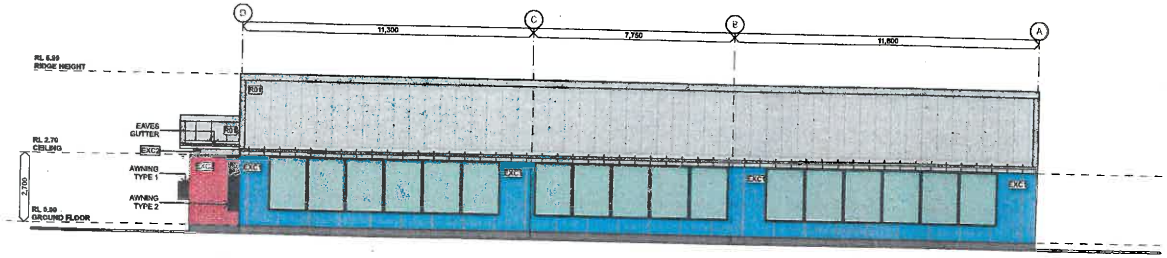
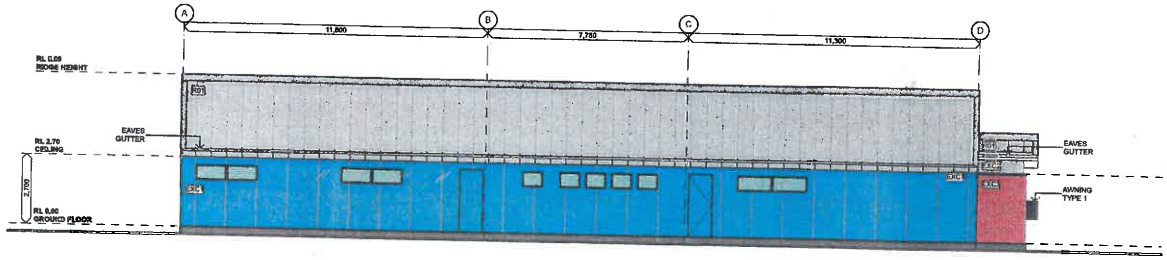


1 NORTH ELEVATION
1:100

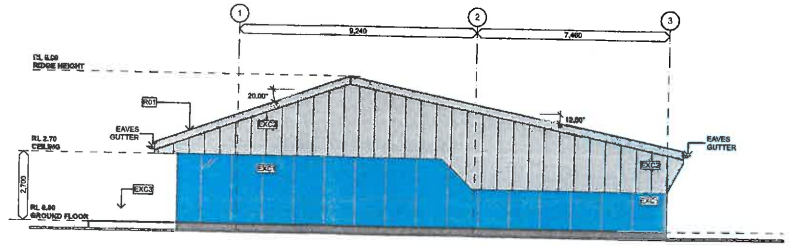


2 SOUTH ELEVATION
1:100

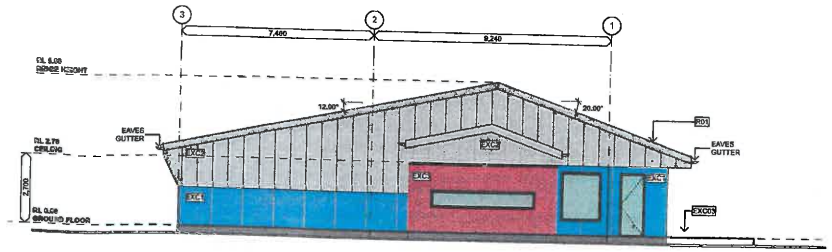
EXTERNAL WALL CLADDING LEGEND

- EXC1 — Fibrecement Wall Sheeting painted in CQU Corporate Colour: Pantone PMS 540 / CMYK100/57/12/65
- EXC2 — Lysaght Trimdek profile wall sheeting in Colorbond 'Surfmist'
- EXC3 — Brickworth- Austral Bricks Daniel Robertson Hawthorn Range in 'Hawthorn Tan'

APPROVED



3 WEST ELEVATION
1:100



4 EAST ELEVATION
1:100

PRELIMINARY

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7. VERIFY ALL RL's PRIOR TO STARTING ON SITE

AMENDMENTS

REV	DATE	DESCRIPTION	BY
B	06/03/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA
C	09/03/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA
D	13/03/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA
E	20/03/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA
F	23/03/17	BUILDING SHELL - FOR CONSULTANT INFO	SA
G	30/03/17	PRELIMINARY DOR APPLICATION	SA
H	06/06/17	FOR BLACKSTONE PORT AUTH. APPLICATION	

REVISION HISTORY

CQ University AUSTRALIA

PAYNTER DIXON BUILDING YOUR BUSINESS

arkLAB ALAN JORDAN MARCH ARCHITECTURE

arkLAB project number: 201718

P: 07 3236 9965
E: fhrLAB@arkLAB.com.au
538 BOUNDARY ST SPRING HILL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 12121400913

CONSULTANTS:

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer:
Umow Lai

Landscape Architect:
Jeremy Ferrier

Building Certifier:
Building Certifiers Australia

Town Planning:
Northgrove Consulting

Acoustic Engineer:
Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Ecro

CAMPUS: CQU Gladstone Marina

PROJECT: CONSOLIDATION

DISCIPLINE: ARCHITECTURAL

DESCRIPTION: BUILDING H&B TTC ELEVATIONS

DATE 6/12/17	SCALE (A1) AS INDICATED	DRAWN SA, CT
CQU PROJECT MANAGER PAUL BAILEY		CHECKED
		APPROVED AJ

N

CQU PROJECT NO. CQU-RSG-17-0-DFM

DRAWING NO. CQU-GLD-642-G05-ARC-3001

REVISION H

Wednesday, 6 December 2017 1:58 pm • BIM Server server - BIM Server 21705178 RP - CQU GL

GENERAL LEGEND

	EXISTING ELEMENT CAREFULLY DEMOLISHED
	NEW METAL STUD PARTITION - REFER TO PARTITIONS LEGEND
	3D VIEW
DP	DOWN PIPE
SC	STEEL COLUMN
L	LOCKERS
OHC	OVERHEAD CUPBOARD
FG	FIXED GLASS
SL	SLIDING
FCL	FINISHED CEILING LEVEL
FSL	FINISHED SURFACE LEVEL
FFL	FINISHED FLOOR LEVEL
EG	EAVES GUTTER
FL	FLASHING
HC	HOSE COCK
ASH	ADJUSTABLE SHELF
SHF	SHELF
COS	CONFIRM ON SITE
DR	DRAWER
EQ	EQUAL
FW	FLOOR WASTE
LO	LOUVRES
TSP	TILE SETOUT POINT
UNO	UNLESS NOTED OTHERWISE
HWU	HOT WATER UNIT
DRY	DRYER
WM	WASHING MACHINE
DB	DEMONSTRATION BENCH
AW	AWNING TYPE
T(E)	EXISTING TREE TO BE RETAINED
T(#)	PROPOSED NEW TREE
ANV	ANVIL
B-SAN	BELT SANDER
SAN-##	SAN SAW TYPE ##
BGR	BENCH GRINDER
CCS	COLD CUTTING SAW
DB	DEMONSTRATION BENCH
DBD	DISTRIBUTION BOARD
DWC	DROSS WASTE COLLETION
EW	EYE WASH STATION
F	DRINKING FOUNTAIN
FURN	FURNICE
GRD-P	PEDISTAL GRINDER
PCB	PROFILE CUTTING BENCH
PDG	PEDISTAL GRINDER
PDR	PEDISTAL GRINDER ?
QCB	GUICKIE CUTTER BENCH
QT	QUENCHING TANK
SPW	SPOT WELDER
T	WASH TOUGH
WB-##	WORK BENCH TYPE ##
WLD	WELDING BENCH

CEILINGS / PARTITIONS LEGEND

REFER SPECIFICATION & DRAWINGS

PW	WALL / PARTITION TYPE # - REFER TO DETAILS AND SPECIFICATIONS
LT	LINING TYPE # - REFER TO DETAILS AND SPECIFICATIONS
CTG	CEILING TYPE # - REFER TO DETAILS AND SPECIFICATIONS
SCG	CEILING TYPE # - REFER TO DETAILS AND SPECIFICATIONS

FIXTURES, FITTINGS & EQUIPMENT LEGEND

REFER SPECIFICATION & DRAWINGS

TPT	TOILET PARTITION TYPE #
JUN	JOINERY UNIT #
LT	LIGHT FITTINGS
SKL	SKY LIGHT
SP	SOLAR PANEL
MR	MIRROR
CH	COAT HOOK
VSH	VANITY SHELF
GR	GRAB RAIL
PTD	PAPER TOWEL DISPENSER
TPH	TOILET PAPER HOLDER
SD	SOAP DISH
SK	SINK
SKM	SINK MIXER
VB	VANITY BASIN
BM	BASIN MIXER
SHR	SHOWER HEAD
SHM	SHOWER MIXER
TS	TOILET SUITE
UR	URINAL
FHR	FIRE HOSE REEL
H	HYDRANT

DOORS / WINDOWS LEGEND

DHR	NEW DOOR- REFER SCHEDULE
WHR	NEW WINDOW- REFER SCHEDULE

FINISHES LEGEND

RF	ROOF FINISH TYPE # - REFER TO SPECIFICATION AND DRAWINGS FOR EXTENT
EXCD	EXTERNAL WALL CLADDING TYPE # - REFER TO SPEC AND DRAWINGS FOR EXTENT
RFF	RESILIENT FINISH TYPE # - REFER TO SPECIFICATION
CPF#	CARPET TYPE # - REFER TO SPECIFICATION
PFF	PAINT FINISH TYPE # - REFER TO SPECIFICATION
JFF	JOINERY FINISH TYPE # - REFER TO SPECIFICATION AND DETAILS
FFF	FLOOR FINISH TYPE # - REFER TO SPECIFICATION AND DRAWINGS FOR EXTENT

LOOSE FURNITURE & EQUIPMENT LEGEND

REFER SPECIFICATION / BY OTHERS

TBC	TBC

NOTES

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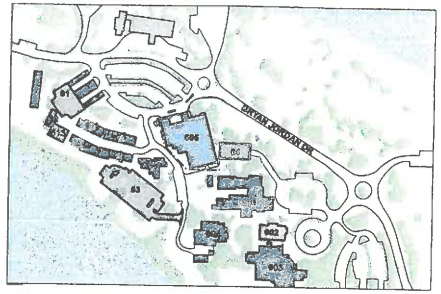
2. DURING DEMOLITION, THE CONTRACTOR SHOULD FAMILIARISE HIMSELF WITH THE 'AS PROPOSED' DOCUMENTS, AS THERE ARE MANY ITEMS TO BE PROTECTED AND/OR REMOVED AND REUSED ELSEWHERE IN THE SCHEME. IF IN DOUBT, ASK!
3. THE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATION AND ALL OTHER CONSULTANT DOCUMENTATION.
4. WHERE EXISTING ITEMS (INCLUDING STRUCTURE AND FINISHES) ARE REQUIRED TO BE PROTECTED, ENSURE FULL PROTECTION DURING THE COURSE OF TKI. WORKS EITHER BY PLY HOARDING / PLASTIC SHEETING ETC. ANY DAMAGE TO BE RECTIFIED AT THE END OF THE PROJECT AND THE COST BORN BY THE CONTRACTOR.



3 LOCALITY PLAN
1:3000

LOCALITY PLAN LEGEND

605	PROPOSED NEW ENGINEERING TTC
602	PROPOSED NEW HAIR & BEAUTY TTC
01	PROPOSED NEW CARPARK (37) EXTENSION
02	PROPOSED NEW TURNAROUND BAY
63	PROPOSED NEW CAR PARK (101 SPACE)
04	PROPOSE CARPARK ALTERATIONS
601	EXISTING MARTIN HANISCH BLDG
603	EXISTING LEO ZUSSINO BLD G
604	EXISTING ENVIRONMENTAL SCIENCE CENTRE
613	EXISTING DFM WORKSHOP AND OFFICE
606-612	EXISTING ENGINEERING CENTRE

APPROVED

SCALE 1:100 (A1)

0 1 2 3 4 5m 10m
1:100 @ A1

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ISSUE	DATE	AMENDMENT	DY	ISSUE	DATE	AMENDMENT	DY
F	28/3/17	FOR CLIENT REVIEW	SA				
G	31/3/17	PRELIMINARY PORT APPLICATION	SA				
H	08/12/17	FOR GLADSTONE PORT AUTHORITY APPLICATION	SA				

REVISION HISTORY

arkLAB
ALAN JORDAN MARCH
ARCHITECTURE
P: 07 3236 9945
E: Brad.Bishop@LAB.com.au
338 BOUNDARY ST (P.O BOX 142) QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 12 131 405 913

arkLAB project number: 201718

CQU University AUSTRALIA

PAYNTER DIXON BUILDING YOUR BUSINESS

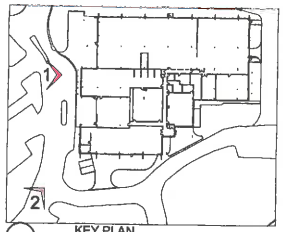
CONSULTANTS:

Civil/ Storm Water: **Promise**
Structural Engineer: **STP Consultants**
Geotechnical Engineer: **Construction Sciences**
Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer: **Umow Lol**
Landscape Architect: **Jeremy Perrier**
Building Certifier: **Building Certifiers Australia**
Town Planning: **Northgroup Consulting**
Acoustic Engineer: **Renzo Tonin / Ron Rumble**
Traffic Engineer: **Promise**
Green Star/ ESD: **Ecro**

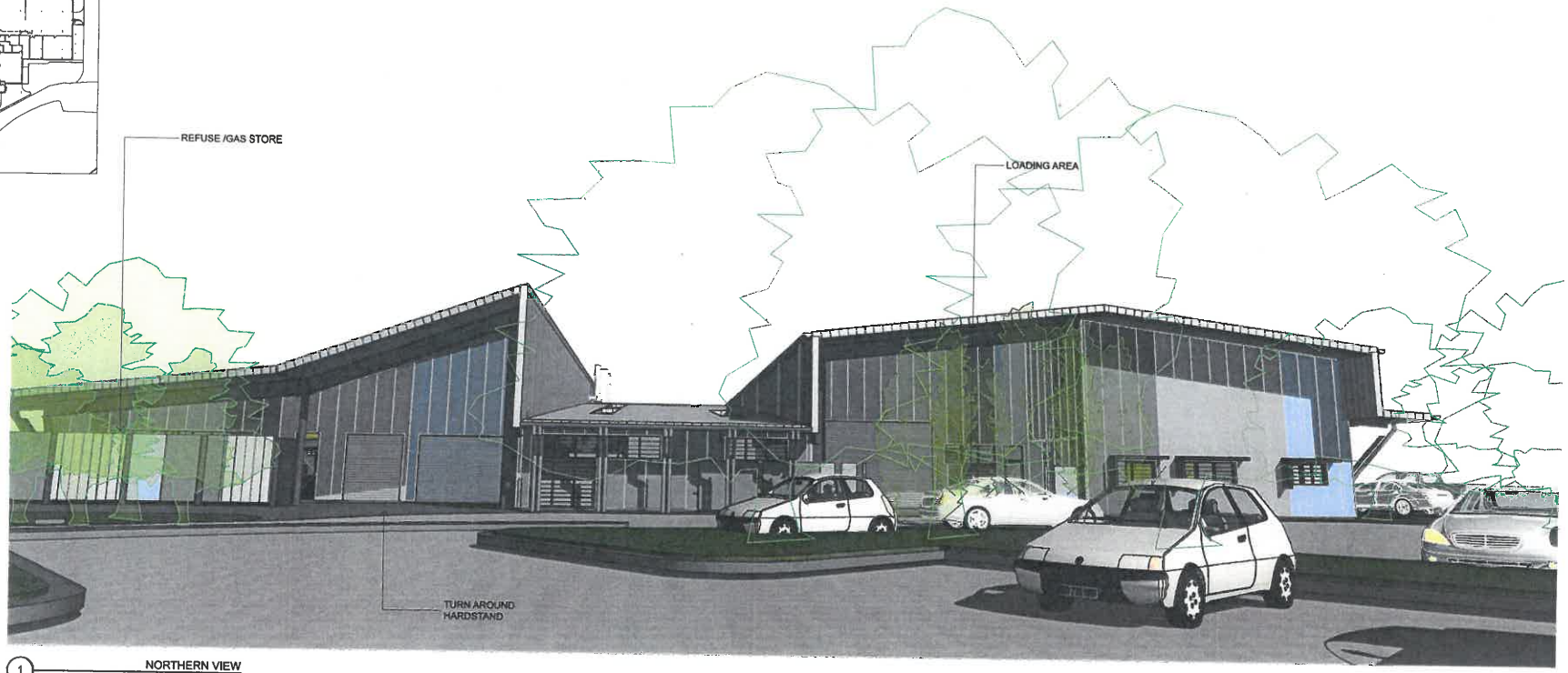
PRELIMINARY

CAMPUS:	CQU Gladstone Marina	DATE 6/12/17	SCALE (A1) AS INDICATED	DRAWN SA
PROJECT:	CONSOLIDATION	CQU PROJECT MANAGER PAUL BAILEY		CHECKED
DISCIPLINE:	ARCHITECTURAL			APPROVED AJ
DESCRIPTION:	BUILDING ETTC NOTES & LEGEND	CQU PROJECT NO. CQU-R&O-17-0-DFM		
		DRAWING NO. CQU-GLD-605-00-ARC-0000		REVISION H

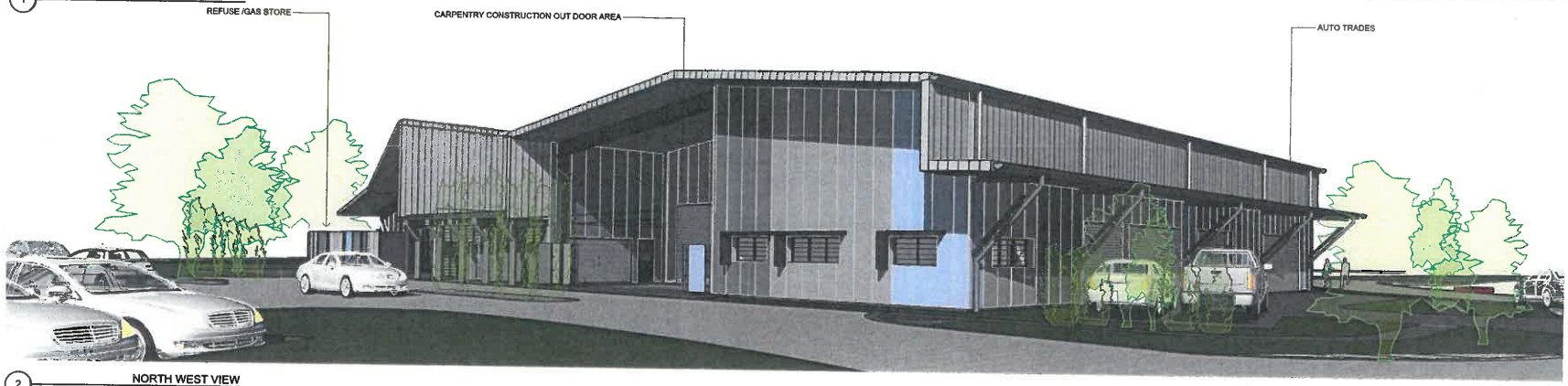
Wednesday, 6 December 2017 2:00 pm • BIM Server: server - BIM Server 21/201718 PD CQU GLA ETTC CD



3 KEY PLAN
1:1000



1 NORTHERN VIEW



2 NORTH WEST VIEW

APPROVED

PRELIMINARY

SCALE 1:100 (A1)

0 1 2 3 4 5m 10m
1:100 @ A1

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ISSUE	DATE	AMENDMENT	BY	ISSUE	DATE	AMENDMENT	BY
B	19/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA	G	23/03/18	DRAFT 90% CQU SUBMISSION	SA
C	24/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA		28/03/18	90% CQU SUBMISSION	SA
D	27/10/17	30% SUBMISSION	SA				
E	08/11/17	30% SUBMISSION - FINAL	SA				
G	01/12/17	PRELIMINARY PORT APPLICATION	SA				
H	06/12/17	FOR GLADSTONE PORT AUTHORITY APPLICATION	SA				
J	21/12/17	80% CQU SUBMISSION	CT				
L	11/01/18	80% CQU SUBMISSION - FINAL	SA				

REVISION HISTORY

arkLAB
ALAN JORDAN MARCH
ARCHITECTURE
P: 07 3236 9945
E: THeLAB@arkLAB.com.au
538 ROMNEY ST SPRINGHILL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 12 120 420 913

CQU University AUSTRALIA

PAYNTER DIXON BUILDING YOUR BUSINESS

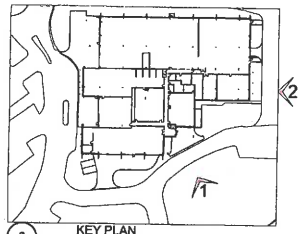
arkLAB project number: 201718

CONSULTANTS:

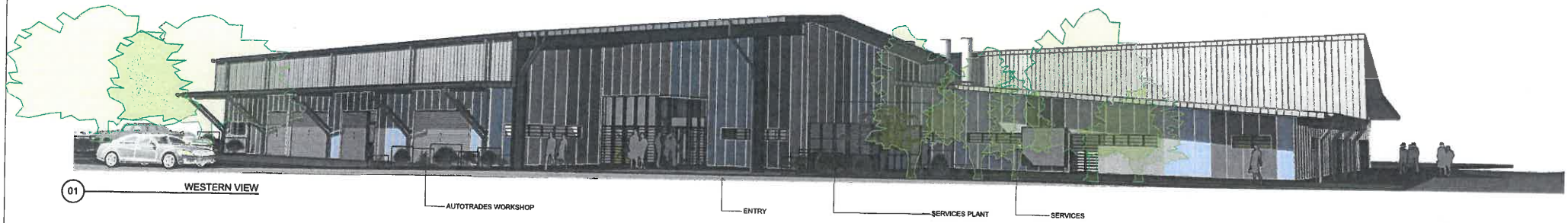
Civil/ Storm Water: **Premise**
Structural Engineer: **STP Consultants**
Geotechnical Engineer: **Construction Sciences**
Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer: **Umow Lai**
Landscape Architect: **Jeremy Ferrier**
Building Certifier: **Building Certifiers Australia**
Town Planning: **Northgroup Consulting**
Acoustic Engineer: **Renzo Tonin Ron Rumble**
Traffic Engineer: **Premise**
Green Star/ ESD: **Bera**

CAMPUS:	CQU Gladstone Marina
PROJECT:	CONSOLIDATION
DISCIPLINE:	ARCHITECTURAL
DESCRIPTION:	BUILDING ETTC 3D PERSPECTIVES
DATE	28/3/18
SCALE (A1)	AS INDICATED
DRAWN	SA
CQU PROJECT MANAGER	PAUL BAILEY
CHECKED	
APPROVED	AJ
CQU PROJECT NO.	CQU-RSQ-17-0-DFM
DRAWING NO.	CQU-GLD-895-00-ARC-0001
REVISION	P

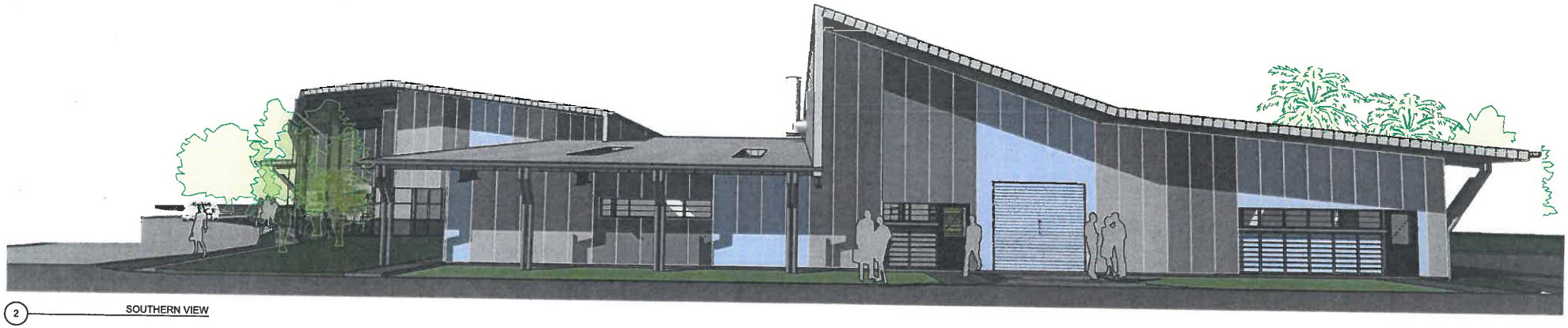
Wednesday, 28 March 2018 6:16 pm • BIM Server: server - BIM Server 21/201718_PD_CQU_GLA_ETTC_CD



3 KEY PLAN
1:1000



01 WESTERN VIEW



2 SOUTHERN VIEW

APPROVED

PRELIMINARY

SCALE 1:100 (A1)

0 1 2 3 4 5m 10m
1:100 @ A1

NOTES

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REVISION HISTORY

ISSUE	DATE	AMENDMENT	BY	ISSUE	DATE	AMENDMENT	BY
A	08/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA	D	23/03/18	DRAFT 90% CQU SUBMISSION	SA
C	24/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA	P	28/03/18	90% CQU SUBMISSION	SA
D	27/10/17	30% SUBMISSION	SA				
E	09/11/17	30% SUBMISSION - FINAL	SA				
G	01/12/17	PRELIMINARY PORT APPLICATION	SA				
H	06/12/17	FOR GLADSTONE PORT AUTHORITY APPLICATION	SA				
J	21/12/17	60% CQU SUBMISSION	CT				
L	17/01/18	60% CQU SUBMISSION - FINAL	SA				

arkLAB
ALAN JORDAN MARCH
ARCHITECTURE
P: 07 3236 9965
E: theLAB@arkLAB.com.au
538 KOO-WEARY ST SPRING HILL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 13 124 420 913

arkLAB project number: 201718

CQU University AUSTRALIA

PAYNTER DIXON BUILDING YOUR BUSINESS

CONSULTANTS:

Civil/ Storm Water: **Premise**

Structural Engineer: **STP Consultants**

Geotechnical Engineer: **Construction Sciences**

Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer: **Umow Lai**

Landscape Architect: **Jeremy Ferrier**

Building Certifier: **Building Certifiers Australia**

Town Planning: **Northgroup Consulting**

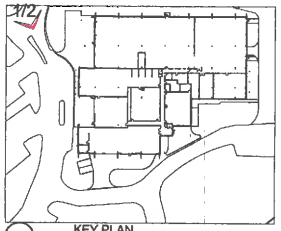
Acoustic Engineer: **Renzo Tonin Ron Rumble**

Traffic Engineer: **Premise**

Green Star/ ESD: **Bera**

CAMPUS: CQU Gladstone Marina	DATE 28/3/18	SCALE (A1) AS INDICATED	DRAWN SA
PROJECT: CONSOLIDATION	CQU PROJECT MANAGER: PAUL BAILEY		CHECKED
DISCIPLINE: ARCHITECTURAL			APPROVED AJ
DESCRIPTION: BUILDING ETTC 3D PERSPECTIVES	CQU PROJECT NO. CQU-RSQ-17-9-DPM		
	DRAWING NO. CQU-GLD-605-00-ARC-0002		REVISION P

Wednesday, 28 March 2018 6:16 pm • BIM Server: server - BIM Server 21/201718_PD_CQU_GLA_ETTC_CD



03 KEY PLAN
1:1000

01 VIEW FROM BRYAN JORDAN DR

02 VIEW FROM BRYAN JORDAN DR (NO TREES)

APPROVED

PRELIMINARY

SCALE 1:100 (A1)

0 1 2 3 4 5m 10m

1:100 @ A1

NOTES

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7. VERIFY ALL M.E.P. PRIOR TO STARTING ON SITE

ISSUE	DATE	AMENDMENT	BY	ISSUE	DATE	AMENDMENT	BY
A	16/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA	L	17/01/18	60% CQU SUBMISSION - FINAL	SA
C	24/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA	O	23/03/18	DRAFT 90% CQU SUBMISSION	SA
D	27/10/17	30% SUBMISSION	SA		28/03/18	90% CQU SUBMISSION	SA
E	06/11/17	30% SUBMISSION - FINAL	SA				
G	01/12/17	PRELIMINARY PORT APPLICATION	SA				
H	06/12/17	FOR GLADSTONE PORT AUTHORITY APPLICATION	SA				
J	21/12/17	50% CQU SUBMISSION	CT				
K	11/01/18	ADDITIONAL INFO FOR CQU SUBMISSION	SA				

REVISION HISTORY

arkLAB
ALAN JORDAN MARCH
ARCHITECTURE
P: 07 3236 9965
E: theLAB@arkLAB.com.au
538 BOUNDARY ST (PO BOX) FEL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 12 121 409 713

CQ University AUSTRALIA

PAYNTER DIXON
BUILDING YOUR BUSINESS

CONSULTANTS:

Civil/ Storm Water: **Premise**
Structural Engineer: **STP Consultants**
Geotechnical Engineer: **Construction Sciences**
Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer: **Umow Lai**
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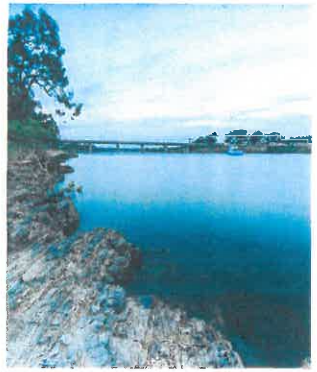
Town Planning: **Northgroup Consulting**
Acoustic Engineer: **Renzo Tonin Ron Rumble**
Traffic Engineer: **Premise**
Green Star/ ESD: **Bora**

arkLAB project number: 201718

CAMPUS: CQU Gladstone Marina	DATE 28/3/18	SCALE (A1) AS INDICATED	DRAWN SA
PROJECT: CONSOLIDATION	CQU PROJECT MANAGER: PAUL BAILEY		CHECKED
DISCIPLINE: ARCHITECTURAL			APPROVED AJ
DESCRIPTION: BUILDING ETTC 3D PERSPECTIVES	CQU PROJECT NO. CQU-RSQ-17-9-DFM		
	DRAWING NO. CQU-GLD-505-00-ARC-0003		REVISION P

Wednesday, 28 March 2018 6:17 pm • BIM Server: server - BIM Server 21/201718_PD_CQU_GLA_ETTC_CD

GLADSTONE LANDSCAPES



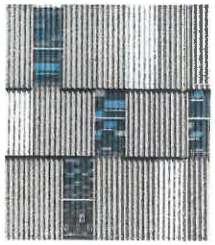
POSSIBLE COLOUR SCHEMES

	WINDSPRAY	SKYBRIDGE (METALIC RANGE)	SURFMIST	
	MONUMENT	WOODLAND GREY	WINDSPRAY	SHALE GREY	SURFMIST
	MONUMENT	PALE EUCALYPT	WINDSPRAY	SHALE GREY	AXIS (METALIC RANGE)
HEADLAND	CONSERVATORY (METALIC RANGE)	SHALE GREY	SURFMIST	

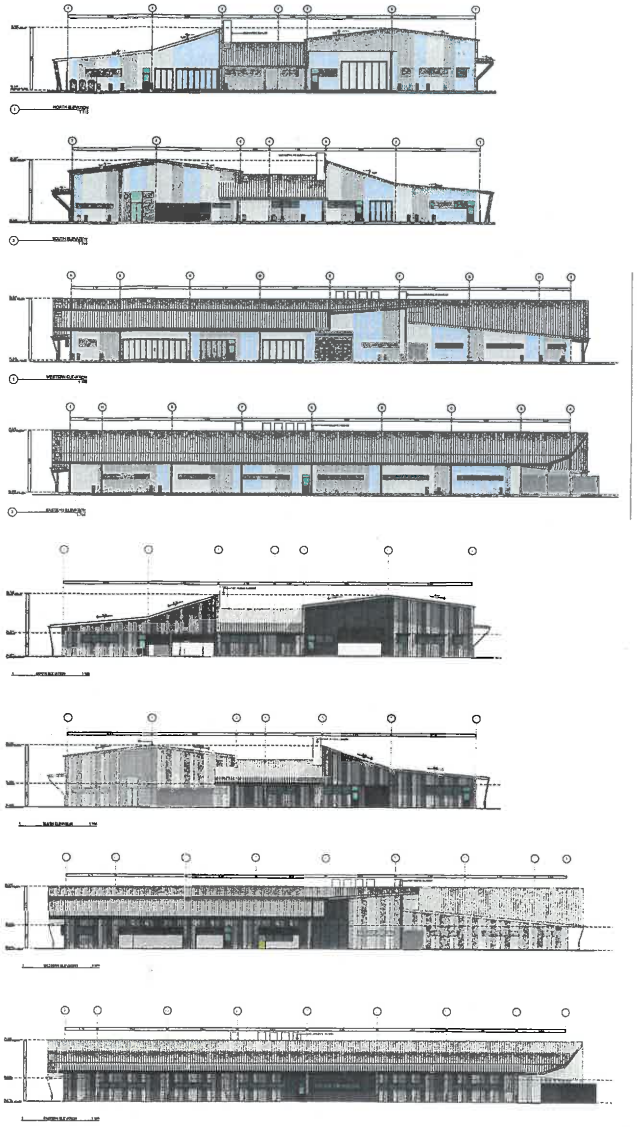
GLADSTONE CAPE COD TYPOLOGY

MODERN ROOF FORMS SYMPATHETIC TO CAPE COD TYPOLOGY - COMMERCIAL/ INDUSTRIAL APPLICATION

APPLICATION OF MATERIALITY



PROPOSED ELEVATIONS - MATERIAL APPLICATION OPTIONS



APPROVED

PRELIMINARY

SCALE 1:100 (A1)

0 1 2 3 4 5m 10m

1:100 @ A1

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ISSUE	DATE	AMENDMENT	BY	ISSUE	DATE	AMENDMENT	BY
C	24/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA				
D	27/10/17	50% SUBMISSION	SA				
H	06/12/17	FOR GLADSTONE PORT AUTHORITY APPLICATION	SA				

REVISION HISTORY

arkLAB
ALAN JORDAN MARCH
ARCHITECTURE
P: 07 3236 9965
E: the.ARGroup@bigpond.com
536 SCANDANT ST SPRING HILL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 121214091 3

arkLAB project number: 301718

CQ University AUSTRALIA

PAYNTER DIXON BUILDING YOUR BUSINESS

CONSULTANTS:

Civil/ Storm Water: **Premise**

Structural Engineer: **STP Consultants**

Geotechnical Engineer: **Construction Sciences**

Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer: **Umow Lai**

Landscape Architect: **Jeremy Ferrier**

Building Certifier: **Building Certifiers Australia**

Town Planning: **Northgroup Consulting**

Acoustic Engineer: **Renzo Tonin Ron Rumble**

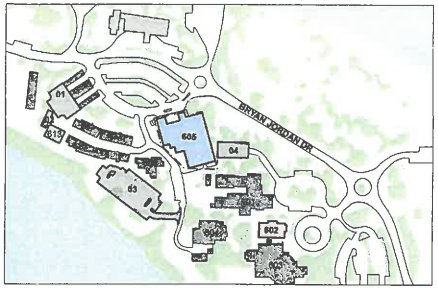
Traffic Engineer: **Premise**

Green Star/ ESD: **Bera**

CAMPUS:	CQU Gladstone Marina	DATE: 6/12/17	SCALE (A1): AS INDICATED	DRAWN: SA
PROJECT:	CONSOLIDATION	CQU PROJECT MANAGER: PAUL BAILEY	CHECKED:
DISCIPLINE:	ARCHITECTURAL	APPROVED: AJ
DESCRIPTION:	BUILDING ETTC MOOD BOARD	CQU PROJECT NO. CQU-RSO-17-9-DFM	
	DRAWING NO. CQU-GLD-805-00-ARC-0012	REVISION H

Wednesday, 6 December 2017 2:00 pm • BIM Server: server - BIM Server 21/201718_PD_CQU_GLA_ETTC_CD

1 SITE PLAN
1:200



2 LOCALITY PLAN
1:3000

LOCALITY PLAN LEGEND

606	PROPOSED NEW ENGINEERING TTC
602	PROPOSED NEW HAIR & BEAUTY TTC
01	PROPOSED NEW CARPARK (37) EXTENSION
02	PROPOSED NEW TURNAROUND BAY
03	PROPOSED NEW CAR PARK (101 SPACE)
04	PROPOSE CARPARK ALTERATIONS
601	EXISTING MARTIN HANSON BLDG
603	EXISTING LEO ZUSSINO BLD G
604	EXISTING ENVIRONMENTAL SCIENCE CENTRE
613	EXISTING DFM WORKSHOP AND OFFICE
608-612	EXISTING ENGINEERING CENTRE

SITE PLAN LEGEND

- SHEET METAL
- CARPENTRY
- FITTING
- AUTO TRADES
- ELECTRICAL
- AMENITIES
- DATA
- CORRIDOR / CIRCULATION
- ROLLER DOOR ACCESS

APPROVED

PRELIMINARY

SCALE 1:100 (A1)

0 1 2 3 4 5m 10m
1:100 @ A1

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7. VERIFY ALL RL's PRIOR TO STARTING ON SITE

ISSUE	DATE	AMENDMENT	BY	ISSUE	DATE	AMENDMENT	BY
A	05/12/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA				
E	13/11/17	30% SUBMISSION - FINAL	SA				
E	09/11/17	30% SUBMISSION - FINAL	SA				
G	01/12/17	PRELIMINARY PORT APPLICATION	SA				
H	06/12/17	FOR GLADSTONE PORT AUTHORITY APPLICATION	SA				

REVISION HISTORY

arkLAB
ALAN JORDAN MARCH
ARCHITECTURE
P: 07 3236 9945
E: theLAB@arkLAB.com.au
53A BOUNDARY ST SPRING HILL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 12121400913

arkLAB project number: 201718

University AUSTRALIA

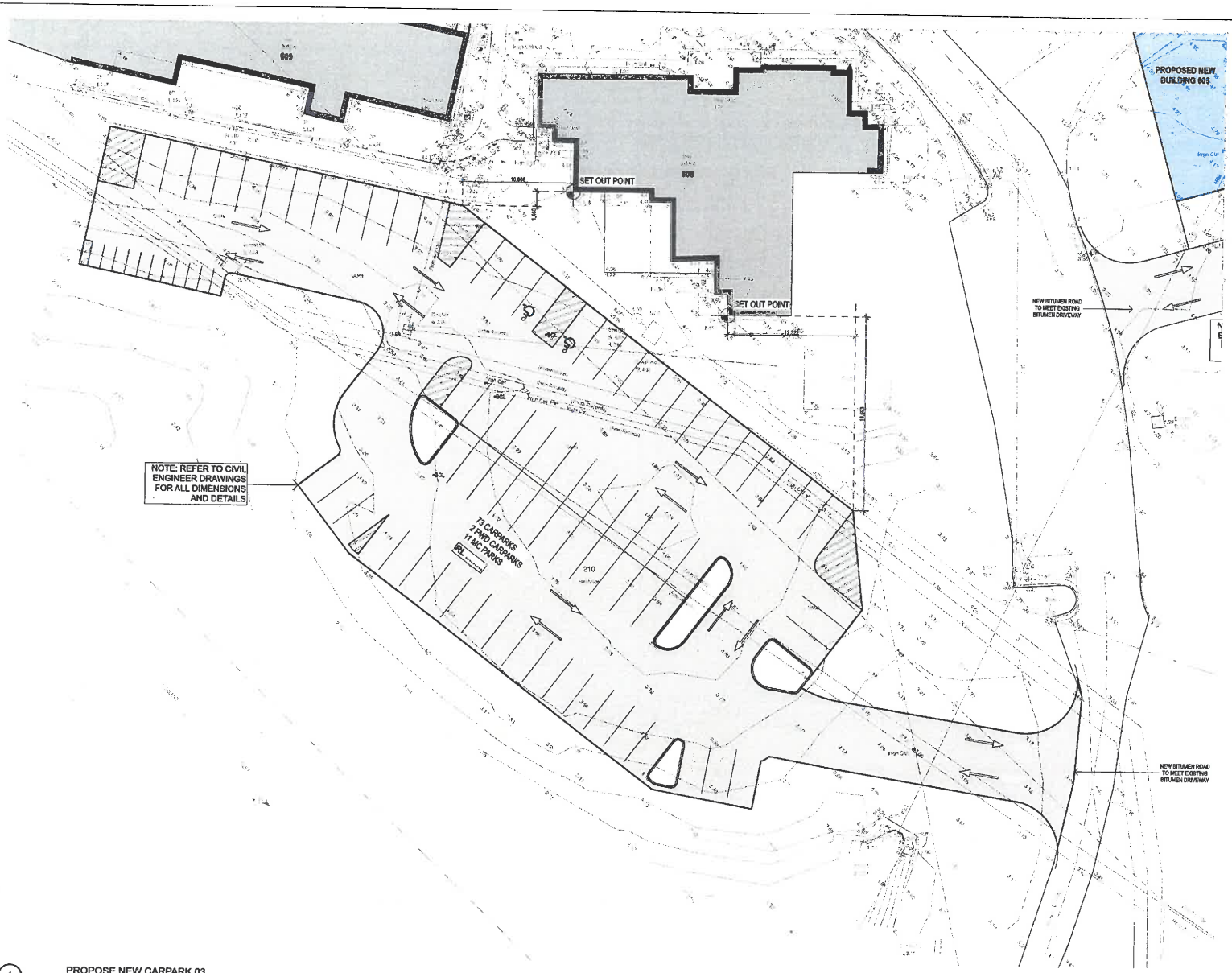
PAYNTER DIXON
BUILDING YOUR BUSINESS

CONSULTANTS:

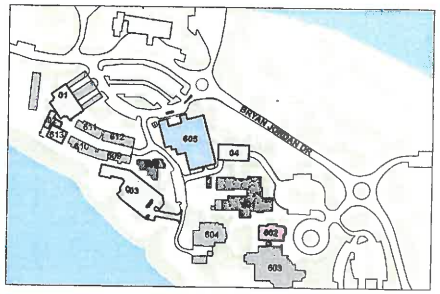
Civil/ Storm Water: **Premise**
Structural Engineer: **STP Consultants**
Geotechnical Engineer: **Construction Sciences**
Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer: **Umow Lai**
Landscape Architect: **Jeremy Ferrier**
Building Certifier: **Building Certifiers Australia**
Town Planning: **Northgroup Consulting**
Acoustic Engineer: **Renzo Tonin Ron Rumble**
Traffic Engineer: **Premise**
Green Star/ ESD: **Bera**

CAMPUS: CQU Gladstone Marina	DATE 6/12/17	SCALE (A1) AS INDICATED	DRAWN SA
PROJECT: CONSOLIDATION	CQU PROJECT MANAGER: PAUL BAILEY		CHECKED
DISCIPLINE: ARCHITECTURAL			APPROVED AJ
DESCRIPTION: BUILDING ETTC SITE PLAN	CQU PROJECT NO. CQU-RSQ-17-9-DFM		
	DRAWING NO. CQU-GLD-605-00-ARC-1001		REVISION H

Wednesday, 6 December 2017 2:00 pm • BIM Server: server - BIM Server 21/201718_PD_CQU_GLA_ETTC_CD



1 PROPOSE NEW CARPARK 03
1:200



2 LOCALITY PLAN
1:3000

LOCALITY PLAN LEGEND

605	PROPOSED NEW ENGINEERING TTC
602	PROPOSED NEW HAIR & BEAUTY TTC
01	PROPOSED NEW CARPARK (37) EXTENSION
02	PROPOSED NEW TURNAROUND BAY
03	PROPOSED NEW CAR PARK (101 SPACE)
04	PROPOSE CARPARK ALTERATIONS
601	EXISTING MARTIN HANSON BLDG
603	EXISTING LEO ZUSSING BLD G
604	EXISTING ENVIRONMENTAL SCIENCE CENTRE
613	EXISTING DFM WORKSHOP AND OFFICE
608-612	EXISTING ENGINEERING CENTRE

APPROVED

PRELIMINARY

SCALE 1:100 (A1)

0 1 2 3 4 5m 10m
1:100 @ A1

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ISSUE	DATE	AMENDMENT	BY	ISSUE	DATE	AMENDMENT	BY
E	04/1/17	30% SUBMISSION - FINAL	SA				
D	01/12/17	PRELIMINARY FOR APPLICATION	SA				
M	06/12/17	FOR GLADSTONE PORT AUTHORITY APPLICATION	SA				
C	29/03/18	90% CQU SUBMISSION	SA				

REVISION HISTORY

arkLAB
ALAN JORDAN MARCH
ARCHITECTURE
P: 07 3236 9965
E: theLAB@arkLAB.com.au
538 SCENICARY ST SPRING HILL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 12121409813

CQU University AUSTRALIA

PAYNTER DIXON BUILDING YOUR BUSINESS

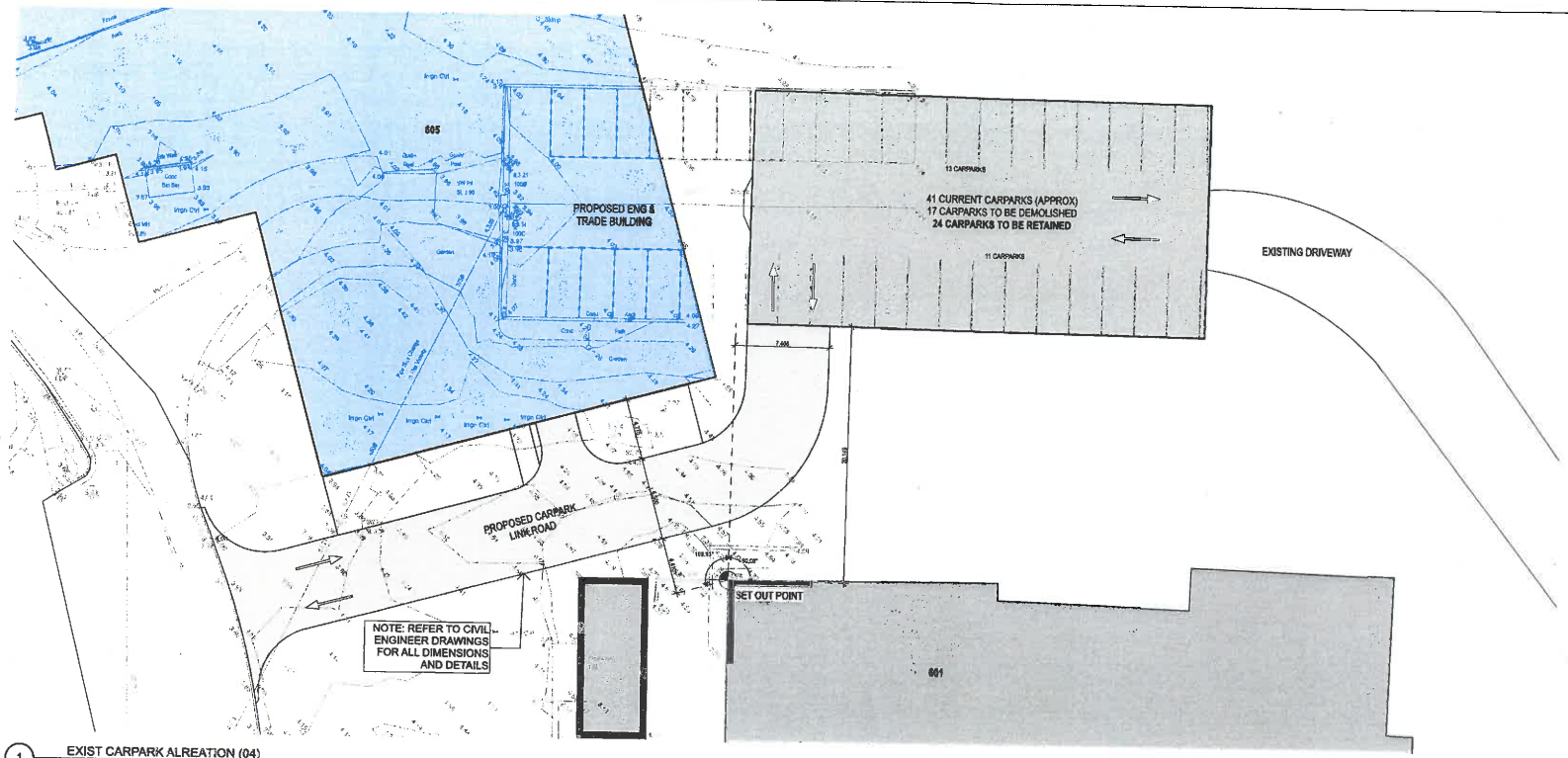
arkLAB project number: 201718

CONSULTANTS:

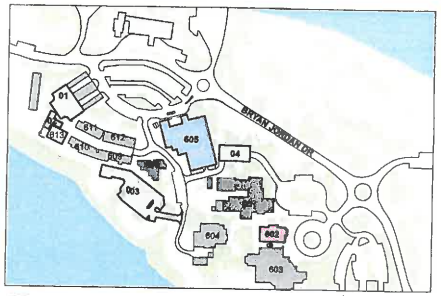
Civil/ Storm Water: **Premise**
Structural Engineer: **STP Consultants**
Geotechnical Engineer: **Construction Sciences**
Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer: **Umow Lai**
Landscape Architect: **Jeremy Ferrier**
Building Certifier: **Building Certifiers Australia**
Town Planning: **Northgroup Consulting**
Acoustic Engineer: **Renzo Tonin Ron Rumble**
Traffic Engineer: **Premise**
Green Star/ ESD: **Bera**

CAMPUS:	CQU Gladstone Marina	DATE 29/3/18	SCALE (A1) AS INDICATED
PROJECT:	CONSOLIDATION	CQU PROJECT MANAGER PAUL BAILEY	DRAWN SA / CHECKED
DISCIPLINE:	ARCHITECTURAL		APPROVED AJ
DESCRIPTION:	BUILDING ETTC SITE PLAN: PROPOSED NEW CARPARK (03)	CQU PROJECT NO. CQU-R8Q-17-9-DFM	
		DRAWING NO. CQU-GLD-605-00-ARC-1002	REVISION Q

Thursday, 29 March 2018 11:42 am • BIM Server: server - BIM Server 21/201718_PD_CQU_GLA_ETTC_CD



1 EXIST CARPARK ALREATION (04)
1:200



2 LOCALITY PLAN
1:3000

LOCALITY PLAN LEGEND

605	PROPOSED NEW ENGINEERING TTC
602	PROPOSED NEW HAIR & BEAUTY TTC
01	PROPOSED NEW CARPARK (37) EXTENSION
02	PROPOSED NEW TURNAROUND BAY
03	PROPOSED NEW CAR PARK (101 SPACE)
04	PROPOSE CARPARK ALTERATIONS
601	EXISTING MARITIK HANSON BLDG
603	EXISTING LEO ZUSSINO BLD G
604	EXISTING ENVIRONMENTAL SCIENCE CENTRE
613	EXISTING DFM WORKSHOP AND OFFICE
608-612	EXISTING ENGINEERING CENTRE

APPROVED

SCALE 1:100 (A1)

0 1 2 3 4 5m 10m
1:100 @ A1

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ISSUE	DATE	AMENDMENT	BY	ISSUE	DATE	AMENDMENT	BY
A	03/11/17	PRELIMINARY ISSUE	CT				
G	01/12/17	PRELIMINARY PORT APPLICATION	SA				
H	06/12/17	FOR GLADSTONE PORT AUTHORITY APPLICATION	SA				
O	23/03/18	DRAFT 60% CQU SUBMISSION	SA				
P	28/03/18	90% CQU SUBMISSION	SA				
Q	29/03/18	90% CQU SUBMISSION	SA				

REVISION HISTORY

arkLAB
ALAN JORDAN MARCH
ARCHITECTURE
P: 07 3236 9965
E: theLAB@arkLAB.com.au
538 BOUNDARY ST SPRING HILL QLD 4000
arkLAB ARCHITECTURE PTY LTD
ABN 12101400913

University AUSTRALIA

PAYNTER DIXON
BUILDING YOUR BUSINESS

arkLAB project number: 201718

CONSULTANTS:

Civil/ Storm Water: **Promise**

Structural Engineer: **STP Consultants**

Geotechnical Engineer: **Construction Sciences**

Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer: **Umow Lai**

Landscape Architect: **Jeremy Ferrier**

Building Certifier: **Building Certifiers Australia**

Town Planning: **Northgroup Consulting**

Acoustic Engineer: **Renzo Tonin Ron Rumble**

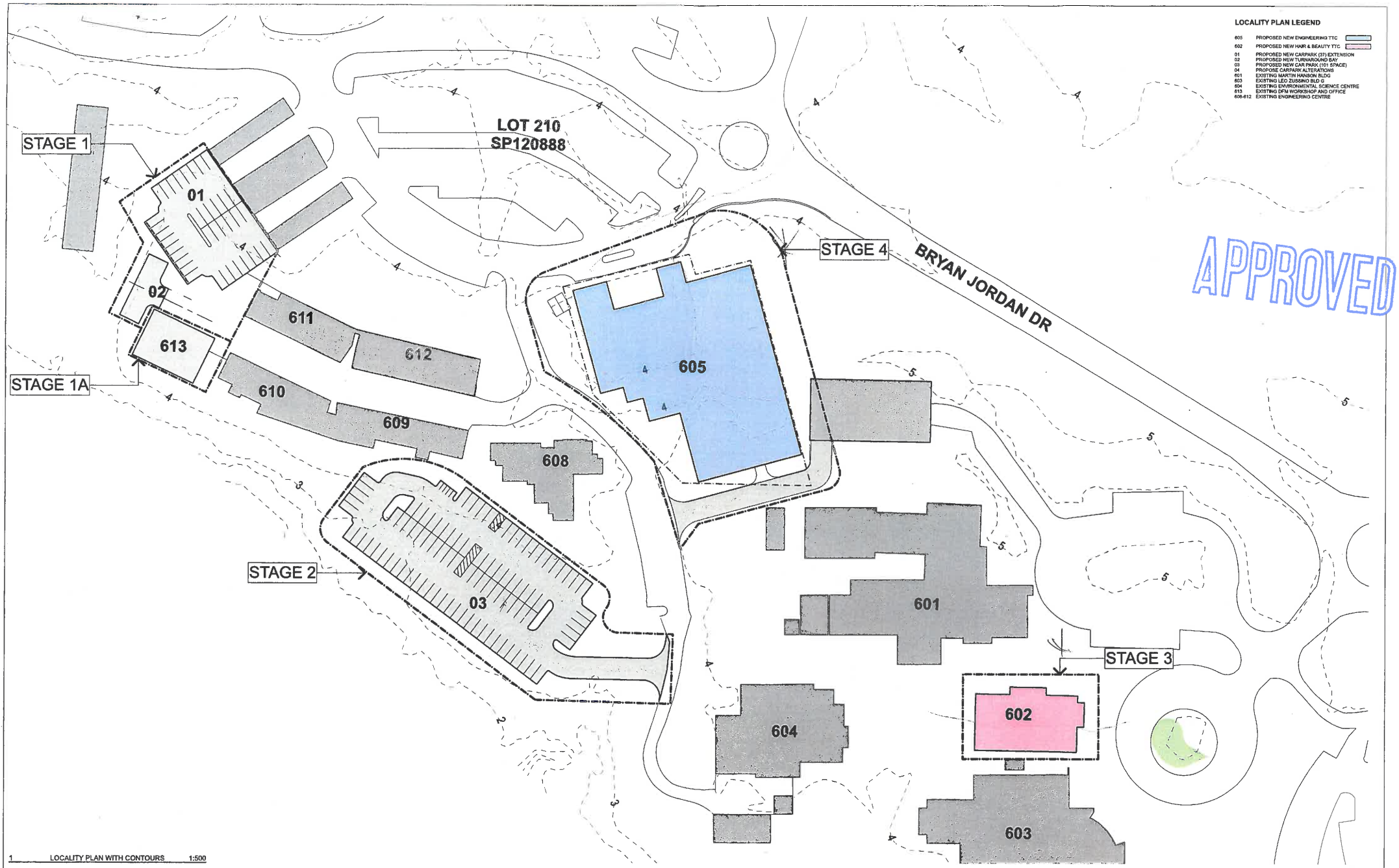
Traffic Engineer: **Premise**

Green Star/ ESD: **Sera**

PRELIMINARY

CAMPUS: CQU Gladstone Marina	DATE 29/3/18	SCALE (A1) AS INDICATED	DRAWN SA
PROJECT: CONSOLIDATION	CQU PROJECT MANAGER: PAUL BAILEY		CHECKED
DISCIPLINE: ARCHITECTURAL			APPROVED AJ
DESCRIPTION: BUILDING ETTC EXISTING CARPARK ALTERATION	©CQU PROJECT NO. ©CQU-RSQ-17-A-DFM		
	DRAWING NO. ©CQU-GLD-605-00-ARC-1003		REVISION Q

Thursday, 29 March 2018 11:42 am • BIM Server: server - BIM Server 21/201718_PD_CQU_GLA_ETTC_CD



1 LOCALITY PLAN WITH CONTOURS 1:500

PRELIMINARY

SCALE 1:100 (A1)

1:100 @ A1

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7. VERIFY ALL RL'S PRIOR TO STARTING ON SITE

ISSUE	DATE	AMENDMENT	BY	ISSUE	DATE	AMENDMENT	BY
A	09/11/17	PRELIMINARY ISSUE	CT				
E	09/11/17	30% SUBMISSION - FINAL	SA				
H	06/12/17	FOR GLADSTONE PORT AUTHORITY APPLICATION	SA				

REVISION HISTORY

arkLAB
ALAN JORDAN MARCH ARCHITECTURE
P: 07 3236 9945
E: theLAB@arkLAB.com.au
536 BOUNDARY ST SPRING HILL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 12121400913

CQ University AUSTRALIA

PAYNTER DIXON BUILDING YOUR BUSINESS

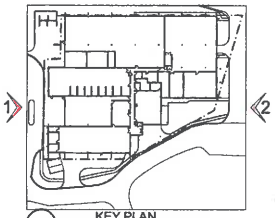
arkLAB project number: 201718

CONSULTANTS:

Civil/ Storm Water: **Premise**
Structural Engineer: **STP Consultants**
Geotechnical Engineer: **Construction Sciences**
Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer: **Umow Lai**
Landscape Architect: **Jeremy Ferrier**
Building Certifier: **Building Certifiers Australia**
Town Planning: **Northgroup Consulting**
Acoustic Engineer: **Renze Tonin** **Ron Rumble**
Traffic Engineer: **Premise**
Green Star/ ESD: **Bera**

CAMPUS: CQU Gladstone Marina	DATE 6/12/17	SCALE (A1) AS INDICATED	DRAWN SA
PROJECT: CONSOLIDATION	CQU PROJECT MANAGER PAUL BAILEY		CHECKED
DISCIPLINE: ARCHITECTURAL			APPROVED AJ
DESCRIPTION: BUILDING ETTC SITE SURVEY PLAN	CQU PROJECT NO. CQU-RSO-17-9-DFM		
	DRAWING NO. CQU-QLD-505-00-ARC-1006		REVISION H

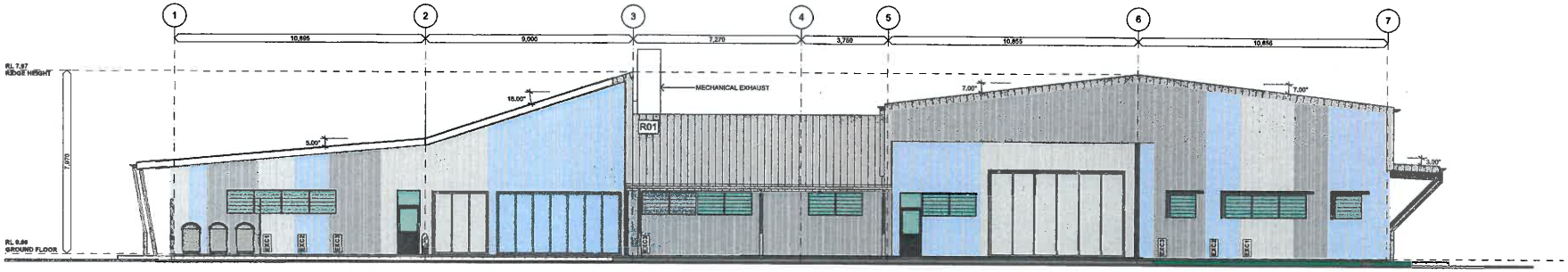
Wednesday, 6 December 2017 2:00 pm • BIM Server: server - BIM Server 21/201718_PD_CQU_GLA_ETTC_CD



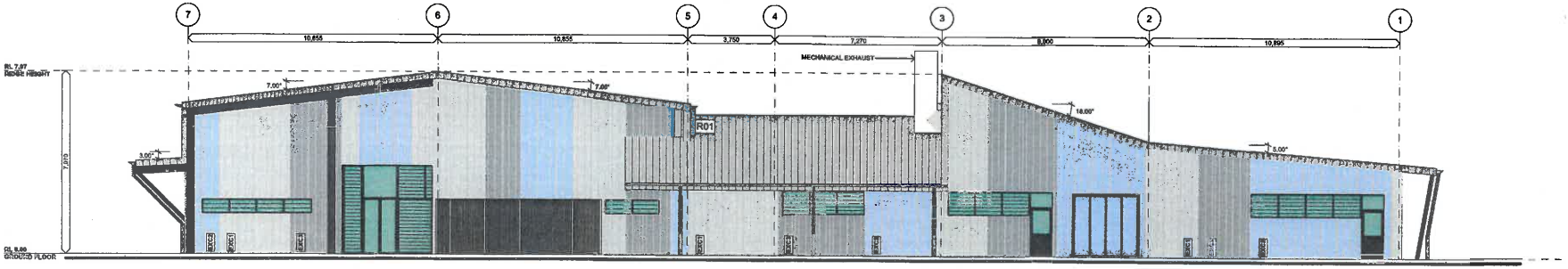
3 KEY PLAN
1:1000

EXTERNAL WALL CLADDING LEGEND

- EXC1 — Lysaght Trimdek profile wall sheeting in Colorbond 'Surfmist'
- EXC2 — Lysaght Trimdek profile wall sheeting in Colorbond 'Sky Bridge'
- EXC3 — Lysaght Trimdek profile wall sheeting in Colorbond 'Windspray'
- EXC4 — Lysaght Trimdek profile wall sheeting in Colorbond 'Shale Grey'



1 NORTH ELEVATION
1:100



2 SOUTH ELEVATION
1:100

APPROVED

PRELIMINARY

SCALE 1:100 (A1)

0 1 2 3 4 5m 10m
1:100 @ A1

NOTES

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ISSUE	DATE	AMENDMENT	BY	ISSUE	DATE	AMENDMENT	BY
B	18/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA				
C	24/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA				
D	27/10/17	30% SUBMISSION	SA				
E	08/11/17	30% SUBMISSION - FINAL	SA				
G	01/12/17	PRELIMINARY PORT APPLICATION	SA				
H	06/12/17	PORT GLADSTONE PORT AUTHORITY APPLICATION	SA				

REVISION HISTORY

arkLAB
ALAN JORDAN MARCH
ARCHITECTURE
P: 07 3236 9945
E: the@LAMforALAB.com.au
538 BOUNDARY ST SPRING HILL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 131214009 13

CQ University AUSTRALIA

PAYNTER DIXON BUILDING YOUR BUSINESS

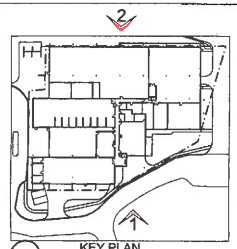
arkLAB project number: 201718

CONSULTANTS:

Civil/ Storm Water: Premise
Structural Engineer: STP Consultants
Geotechnical Engineer: Construction Sciences
Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer: Umow Lai
Landscape Architect: Jeremy Ferrier
Building Certifier: Building Certifiers Australia
Town Planning: Northgroup Consulting
Acoustic Engineer: Renzo Tonin Ron Rumble
Traffic Engineer: Premise
Green Star/ ESD: Bers

CAMPUS:	CQU Gladstone Marina
PROJECT:	CONSOLIDATION
DISCIPLINE:	ARCHITECTURAL
DESCRIPTION:	BUILDING ETTC ELEVATIONS
DATE	6/12/17
SCALE (A1)	AS INDICATED
DRAWN	SA
CQU PROJECT MANAGER	PAUL BAILEY
CHECKED	
APPROVED	AJ
CQU PROJECT NO.	CQU-RSQ-17-9-DFM
DRAWING NO.	CQU-QLD-605-GN-ARC-3001
REVISION	H

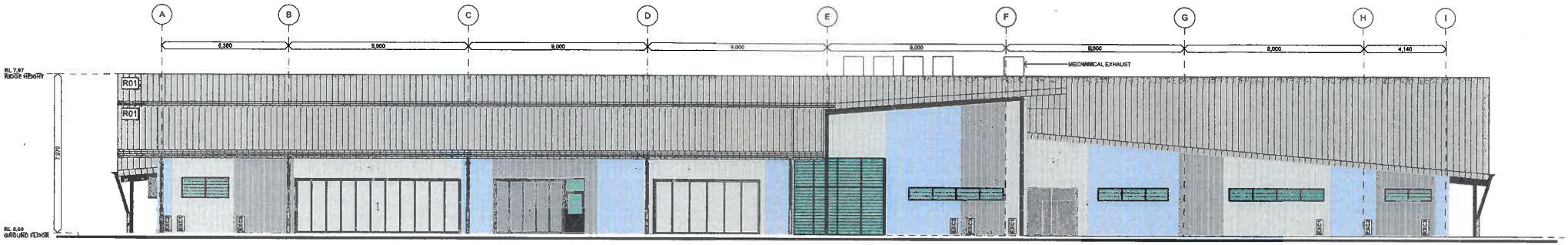
Wednesday, 6 December 2017 2:00 pm • BIM Server: server - BIM Server 21/201718_PD_CQU_GLA_ETTC_CD



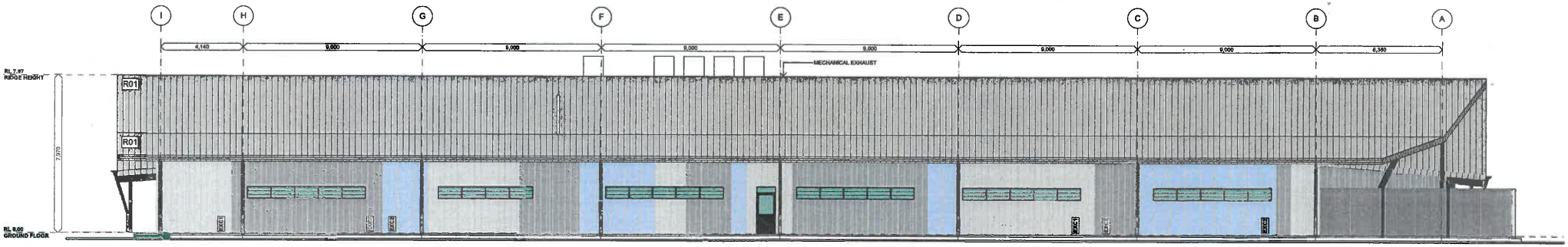
3 KEY PLAN
1:1000

EXTERNAL WALL CLADDING LEGEND

- EXC1 Lysaght Trimdek profile wall sheeting in Colorbond 'Surfmist'
- EXC2 Lysaght Trimdek profile wall sheeting in Colorbond 'Sky Bridge'
- EXC3 Lysaght Trimdek profile wall sheeting in Colorbond 'Windspray'
- EXC4 Lysaght Trimdek profile wall sheeting in Colorbond 'Shale Grey'



1 WESTERN ELEVATION
1:100



2 EASTERN ELEVATION
1:100

APPROVED

PRELIMINARY

SCALE 1:100 (A1)

0 1 2 3 5m 10m
1:100 @ A1

NOTES

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ISSUE	DATE	AMENDMENT	BY	ISSUE	DATE	AMENDMENT	BY
B	19/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA				
C	24/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA				
D	27/10/17	30% SUBMISSION	SA				
E	09/11/17	30% SUBMISSION - FINAL	SA				
G	01/12/17	PRELIMINARY PORT APPLICATION	SA				
H	06/12/17	FOR GLADSTONE PORT AUTHORITY APPLICATION	SA				

REVISION HISTORY

arkLAB
ALAN JORDAN M.ARCH
ARCHITECTURE
P: 07 3236 9945
E: the.LAB@arkLAB.com.au
538 SCINDIA ST SPRINGFIELD QLD 4300
APULAB ARCHITECTURE PTY LTD
ABN 12131400913

arkLAB project number:201718

CQ University Australia

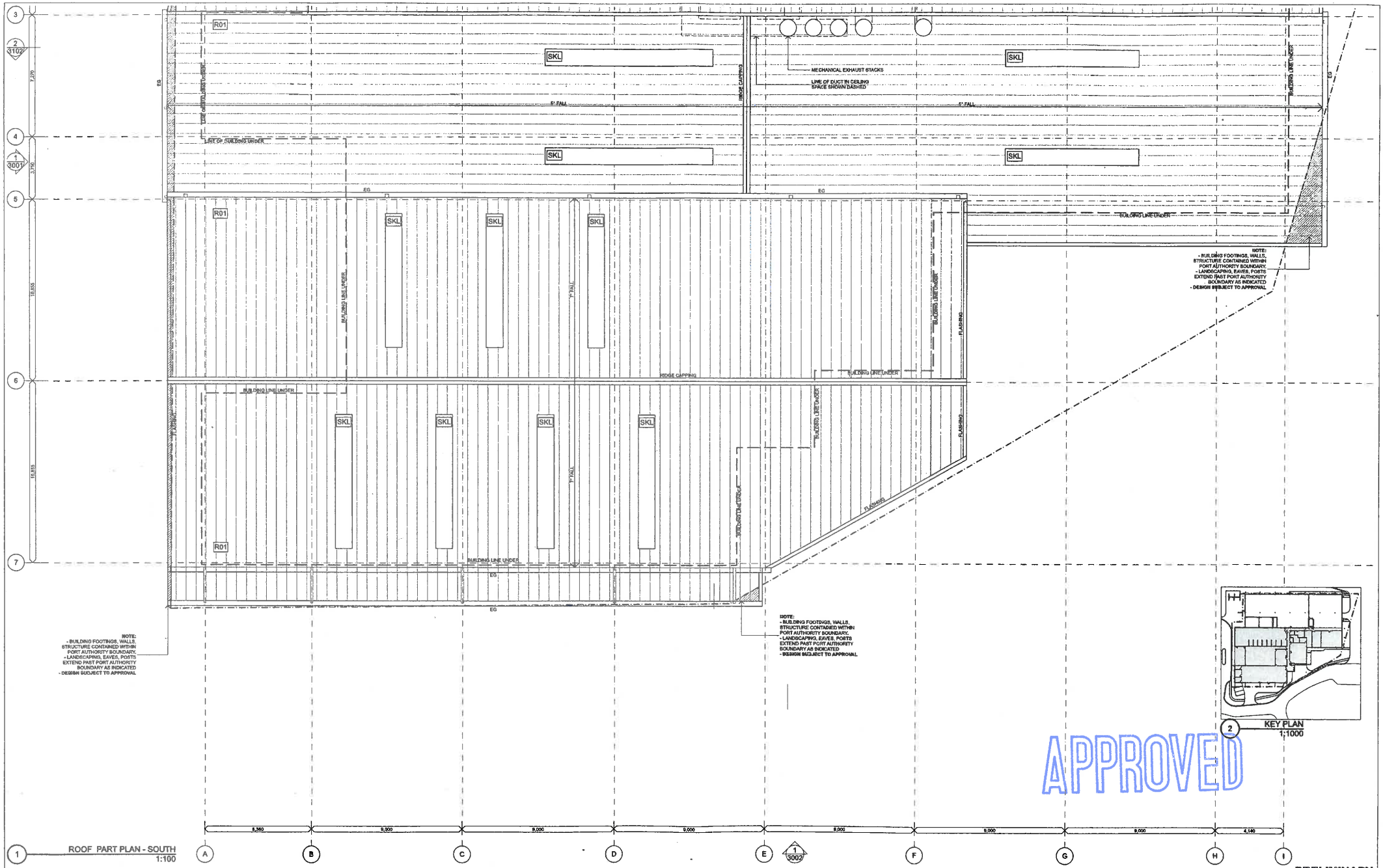
PAYNTER DIXON BUILDING YOUR BUSINESS

CONSULTANTS:

Civil/ Storm Water: Premise
Structural Engineer: STP Consultants
Geotechnical Engineer: Construction Sciences
Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer: Umow Lai
Landscape Architect: Jeremy Ferrier
Building Certifier: Building Certifiers Australia
Town Planning: Northgroup Consulting
Acoustic Engineer: Renzo Tonin Ron Rumble
Traffic Engineer: Premise
Green Star/ ESD: Bera

CAMPUS:	CQU Gladstone Marina
PROJECT:	CONSOLIDATION
DISCIPLINE:	ARCHITECTURAL
DESCRIPTION:	BUILDING ETTC ELEVATIONS
DATE:	6/12/17
SCALE (A1):	AS INDICATED
DRAWN:	SA
CQU PROJECT MANAGER:	PAUL BAILEY
CHECKED:	
APPROVED:	AJ
CQU PROJECT NO.	CQU-RSQ-17-9-DFM
DRAWING NO.	CQU-GLD-605-GN-ARC-3002
REVISION	H

Wednesday, 6 December 2017 2:00 pm • BIM Server: server - BIM Server 21/201718_PD_CQU_GLA_ETTC_CD



PRELIMINARY

SCALE 1:100 (A1)

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ISSUE	DATE	AMENDMENT	BY
B	18/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA
C	24/10/17	PRELIMINARY ISSUE - FOR DISCUSSION	SA
D	27/11/17	30% SUBMISSION	SA
E	08/12/17	30% SUBMISSION - FINAL	SA
G	01/12/17	PRELIMINARY PORT APPLICATION	SA
H	06/12/17	FOR GLADSTONE PORT AUTHORITY APPLICATION	SA

REVISION HISTORY

arkLAB
ALAN JORDAN MARCH
ARCHITECTURE
P: 07 3334 9965
E: the(AJ)@arkLAB.com.au
538 BOUNDARY ST SPRING HILL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 121214027913

arkLAB project number: 201718

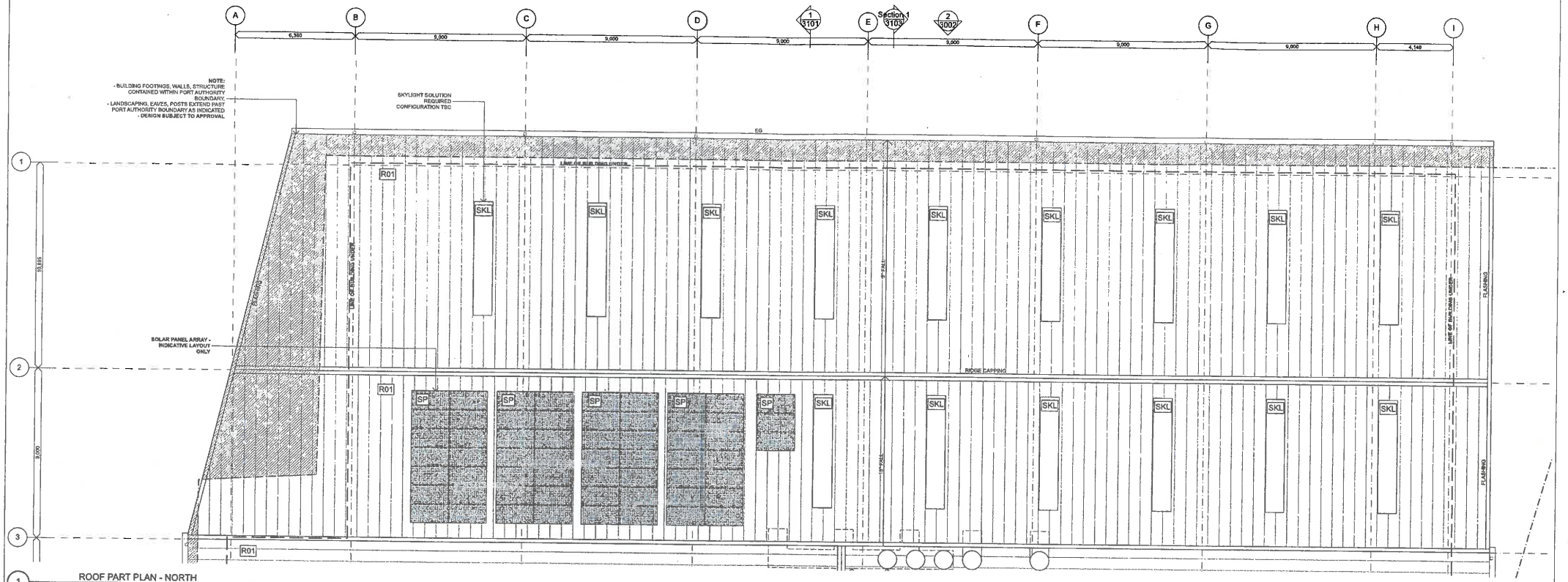
PAYNTER DIXON BUILDING YOUR BUSINESS

CONSULTANTS:

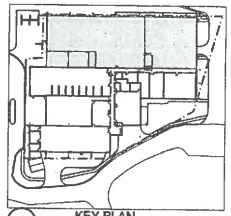
Civil/ Storm Water: Proxeiss
Structural Engineer: STP Consultants
Geotechnical Engineer: Construction Sciences
Electrical/ Comms/ Security/ Dry Fire: Mechanical/ Hydraulic Engineer: Umow Lui
Landscape Architect: Jeremy Ferrier
Building Certifier: Building Certifiers Australia
Town Planning: Northgroup Consulting
Acoustic Engineer: Ronze Tenin, Ren Rumble
Traffic Engineer: Promiso
Green Star/ ESD: Borg

CAMPUS:	CQU Gladstone Marina
PROJECT:	CONSOLIDATION
DISCIPLINE:	ARCHITECTURAL
DESCRIPTION:	BUILDING ETTC ROOF PLAN - SOUTH
DATE:	6/12/17
SCALE (A1):	AS INDICATED
DRAWN:	SA
CQU PROJECT MANAGER:	PAUL BAILEY
CHECKED:	
APPROVED:	AJ
CQU PROJECT NO.	CQU-RSC-17-0-DFM
DRAWING NO.	CQU-GLD-805-RF-ARC-2101
REVISION	H

Wednesday, 6 December 2017 2:00 pm • BIM Server: server - BIM Server 21/201718_PD_CQU_GLA_ETTC_CD



1 ROOF PART PLAN - NORTH
1:100



2 KEY PLAN
1:1000

APPROVED

PRELIMINARY

SCALE 1:100 (A1)

0 1 2 3 4 5m 10m
1:100 @ A1

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ISSUE	DATE	AMENDMENT	BY	ISSUE	DATE	AMENDMENT	BY
G	31/1/17	PRELIMINARY PORT APPLICATION	SA				
H	06/12/17	FOR GLADSTONE PORT AUTHORITY APPLICATION	SA				

REVISION HISTORY

arkLAB
ALAN JORDAN MARCH
ARCHITECTURE
P: 07 3236 9965
E: thelab@arkLAB.com.au
398 BOUNDARY ST SPRING HILL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 12121400913

arkLAB project number: 201718

CQ University AUSTRALIA

PAYNTER DIXON
BUILDING YOUR BUSINESS

CONSULTANTS:

Civil/ Storm Water: Premise
Structural Engineer: STP Consultants
Geotechnical Engineer: Construction Sciences
Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer: Umow Lai
Landscape Architect: Jeremy Ferrier
Building Certifier: Building Certifiers Australia
Town Planning: Northgroup Consulting
Acoustic Engineer: Renzo Tonin Ron Rumble
Traffic Engineer: Premise
Green Star/ ESD: Bara

CAMPUS:	CQU Gladstone Marina
PROJECT:	CONSOLIDATION
DISCIPLINE:	ARCHITECTURAL
DESCRIPTION:	BUILDING ETTC ROOF PART PLAN - NORTH
DATE	6/12/17
SCALE (A1)	AS INDICATED
DRAWN	SA
CQU PROJECT MANAGER	PAUL BAILEY
CHECKED	
APPROVED	AJ
CQU PROJECT NO.	CQU-BSQ-17-6-DFM
DRAWING NO.	CQU-GLD-605-RF-ARC-2102
REVISION	H

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1 GROUND FLOOR PLAN E&D
1:200

DEMOLITION NOTES

1. ALL DEMOLITION WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH AS 2601.
2. CONTRACTOR TO DEMOLISH AND MAKE GOOD THE AREA INDICATED EXCEPT WHERE NOTED OTHERWISE.
3. CONTRACTOR TO ALLOW FOR THE DEMOLITION AND REMOVAL OF INDICATED ELEMENTS AS SHOWN ON PLAN INCLUDING:WALKWAY ROOFS,WINDOWS, SLABS, FOOTINGS, VEGETATION + ALL ASSOCIATED STRUCTURE.
4. REFER TO SERVICES DOCUMENTATION FOR SCOPE OF WORKS REGARDING DEMOLITION & REDIVERSION OF SERVICES.
5. A SIGN IS TO BE DISPLAYED IMMEDIATELY OUTSIDE THE WORK AREA NOTING THAT THIS IS A CONSTRUCTION SITE AND ADVISING ON RESTRICTION OF ACCESS AND PROTECTIVE FOOTWEAR REQUIREMENTS.
6. CONTRACTOR TO INFORM ARCHITECT IMMEDIATELY IF ANY HAZARDOUS MATERIALS OR CONDITIONS ARE FOUND ON SITE EXCLUDING THAT WHICH MAY BE OUTLINED WHEN APPARENT. THE ARCHITECT DOES NOT WARRANT THIS SITE TO BE FREE FROM HAZARDOUS MATERIALS OR CONDITIONS.
7. EXISTING CONCRETE PATH & KERB TO BE DEMOLISHED. REFER TO CIVIL ENGINEERS DRAWINGS FOR NEW LEVELS
8. ASPHALT ROAD & KERB TO BE DEMOLISHED. REFER TO CIVIL ENGINEERS DRAWINGS FOR NEW LEVELS.
9. CONTRACTOR IS TO ACCURATELY LOCATE ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORKS.
10. EXISTING VEGETATION TO REMAIN AS INDICATED - REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR DETAILS

DEMOLITION LEGEND

T(D) REMOVE EXISTING TREE AS INDICATED
T(E) EXISTING TREE TO REMAIN. RETAIN AND PROTECT.

APPROVED

PRELIMINARY

SCALE 1:100 (A1)

0 1 2 3 4 5m 10m
1:100 @ A1

NOTES

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7. VERIFY ALL R.L'S PRIOR TO STARTING ON SITE

ISSUE	DATE	AMENDMENT	BY	ISSUE	DATE	AMENDMENT	BY
0	23/03/18	DRAFT 90% CQU SUBMISSION	SA				
	28/03/18	90% CQU SUBMISSION	SA				

REVISION HISTORY

arkLAB
ALAN JORDAN MARCH
ARCHITECTURE
P: 07 3236 9965
E: theLAB@arkLAB.com.au
336 BOUNDARY ST SPRING HILL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 12121409013

CQU University AUSTRALIA

PAYNTER DIXON BUILDING YOUR BUSINESS

arkLAB project number: 201718

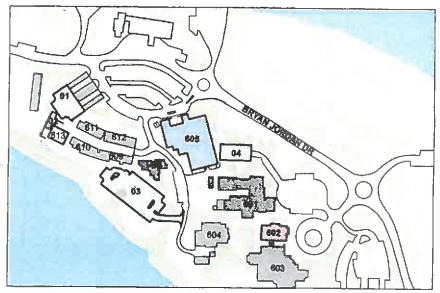
CONSULTANTS:

Civil/ Storm Water: **Premise**
Structural Engineer: **STP Consultants**
Geotechnical Engineer: **Construction Sciences**
Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer: **Umow Lei**
Landscape Architect: **Jeremy Ferrier**
Building Certifier: **Building Certifiers Australia**
Town Planning: **Northgroup Consulting**
Acoustic Engineer: **Renzo Tonin Ron Rumble**
Traffic Engineer: **Premise**
Green Star/ ESD: **Bera**

CAMPUS: CQU Gladstone Marina	DATE 28/3/18	SCALE (A1) AS INDICATED	DRAWN SA
PROJECT: CONSOLIDATION	CQU PROJECT MANAGER PAUL BAILEY		CHECKED
DISCIPLINE: ARCHITECTURAL			APPROVED AJ
DESCRIPTION: BUILDING ETTC GROUND E&D PLAN	CQU PROJECT NO. CQU-RBG-17-0-DFM		
	DRAWING NO. CQU-GLD-605-00-ARC-1201		REVISION P

Wednesday, 28 March 2018 6:17 pm • BIM Server: server - BIM Server 21/201718_PD_CQU_GLA_ETTC_CD

1 DFM SHED SITE PLAN 1:200



2 LOCALITY PLAN 1:3000

LOCALITY PLAN LEGEND

605	PROPOSED NEW ENGINEERING TTC
602	PROPOSED NEW HAIR & BEAUTY TTC
01	PROPOSED NEW CARPARK (37) EXTENSION
02	PROPOSED NEW TURNAROUND BAY
03	PROPOSED NEW CAR PARK (191 SPACE)
04	PROPOSE CARPARK ALTERATIONS
601	EXISTING MARTIN HANSON BLDG
603	EXISTING LEO ZUSSINO BLD G
604	EXISTING ENVIRONMENTAL SCIENCE CENTRE
613	EXISTING DFM WORKSHOP AND OFFICE
606-612	EXISTING ENGINEERING CENTRE

APPROVED

PRELIMINARY

SCALE 1:100 (A1)

0 1 2 3 4 5m 10m

1:100 @ A1

NOTES

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1. CONFIRM DETAILS OF IRD, DUTS, LEVELS, SETBACKS AND CRITICAL DIMENSIONS ON SITE PRIOR TO AND DURING THE WORKS. NOTIFY ARCHITECT OF ANY DISCREPANCIES DISCOVERED BEFORE PROCEEDING.

2. ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND APPLICABLE AUSTRALIAN STANDARDS.

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6. USED SHOWN FOR REFERENCE PURPOSE ONLY. MEASURE OFF EXISTING STRUCTURE WHERE INDICATED

7. VERIFY ALL RL's PRIOR TO STARTING ON SITE

ISSUE	DATE	AMENDMENT	BY	ISSUE	DATE	AMENDMENT	BY
G	17/01/18	40% INITIAL	CT				
I	19/01/18	60% ISSUE	CT				
L	23/03/18	DRAFT 90% CQU SUBMISSION	CT				
M	28/03/18	90% CQU SUBMISSION	CT				

REVISION HISTORY

arkLAB
ALAN JORDAN MARCH
ARCHITECTURE
P: 07 3236 9965
E: PreLAB@arkLAB.com.au
338 BOUNDARY ST SPRING HILL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 12131405913

CQ University AUSTRALIA

PAYNTER DIXON BUILDING YOUR BUSINESS

arkLAB project number: 2867B

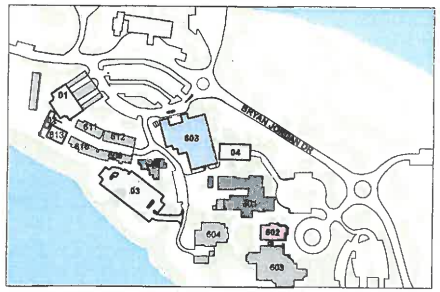
CONSULTANTS:

Civil/ Storm Water: Premise
Structural Engineer: STP Consultants
Geotechnical Engineer: Construction Sciences
Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer: Umow Lai
Landscape Architect: Jeremy Ferrier
Building Certifier: Building Certifiers Australia
Town Planning: Northgroup Consulting
Acoustic Engineer: Renzo Tonin Ron Rumble
Traffic Engineer: Premise
Green Star/ ESD: Bera

CAMPUS: CQU Gladstone Marina	DATE 28/3/18	SCALE (A1) A3 INDICATED	DRAWN BA
PROJECT: CONSOLIDATION	CQU PROJECT MANAGER PAUL BAILEY		CHECKED
DISCIPLINE: ARCHITECTURAL			APPROVED AJ
DESCRIPTION: BUILDING DFM SHED **SITE PLAN**	CQU PROJECT NO. CQU-RSQ-17-0-DFM		
	DRAWING NO. CQU-GLD-613-00-ARC-1001		REVISION M

Wednesday, 28 March 2018 5:33 pm • BIM Server: server - BIM Server 21/201718_PD_CQU_GLA_ETTC_CD

1 DEMOLITION PLAN 1:200



2 LOCALITY PLAN 1:3000

LOCALITY PLAN LEGEND

606	PROPOSED NEW ENGINEERING TTC
602	PROPOSED NEW HAIR & BEAUTY TTC
01	PROPOSED NEW CARPARK (37) EXTENSION
02	PROPOSED NEW TURNAROUND BAY
03	PROPOSED NEW CAR PARK (101 SPACE)
04	PROPOSE CARPARK ALTERATIONS
601	EXISTING MARTIN HANSON BLDG
603	EXISTING LEO ZUSSINO BLD G
604	EXISTING ENVIRONMENTAL SCIENCE CENTRE
613	EXISTING DFM WORKSHOP AND OFFICE
608-612	EXISTING ENGINEERING CENTRE

APPROVED

PRELIMINARY

SCALE 1:100 (A1)

NOTES

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7. VERIFY ALL RL's PRIOR TO STATCHECH SITE

ISSUE	DATE	AMENDMENT	BY	ISSUE	DATE	AMENDMENT	BY
G	17/05/18	60% ISSUE	CT				
I	19/01/18	80% ISSUE	CT				
J	22/01/18	90% ISSUE	CT				
L	23/03/18	DRAFT 90% CQU SUBMISSION	CT				
M	28/03/18	90% CQU SUBMISSION	CT				

REVISION HISTORY

arkLAB
ALAN JORDAN MARCH
ARCHITECTURE
P: 07 3236 9945
E: theLAB@arkLAB.com.au
536 JOHNSON ST SPRING HILL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 12121409912

CQ University AUSTRALIA

PAYNTER DIXON BUILDING YOUR BUSINESS

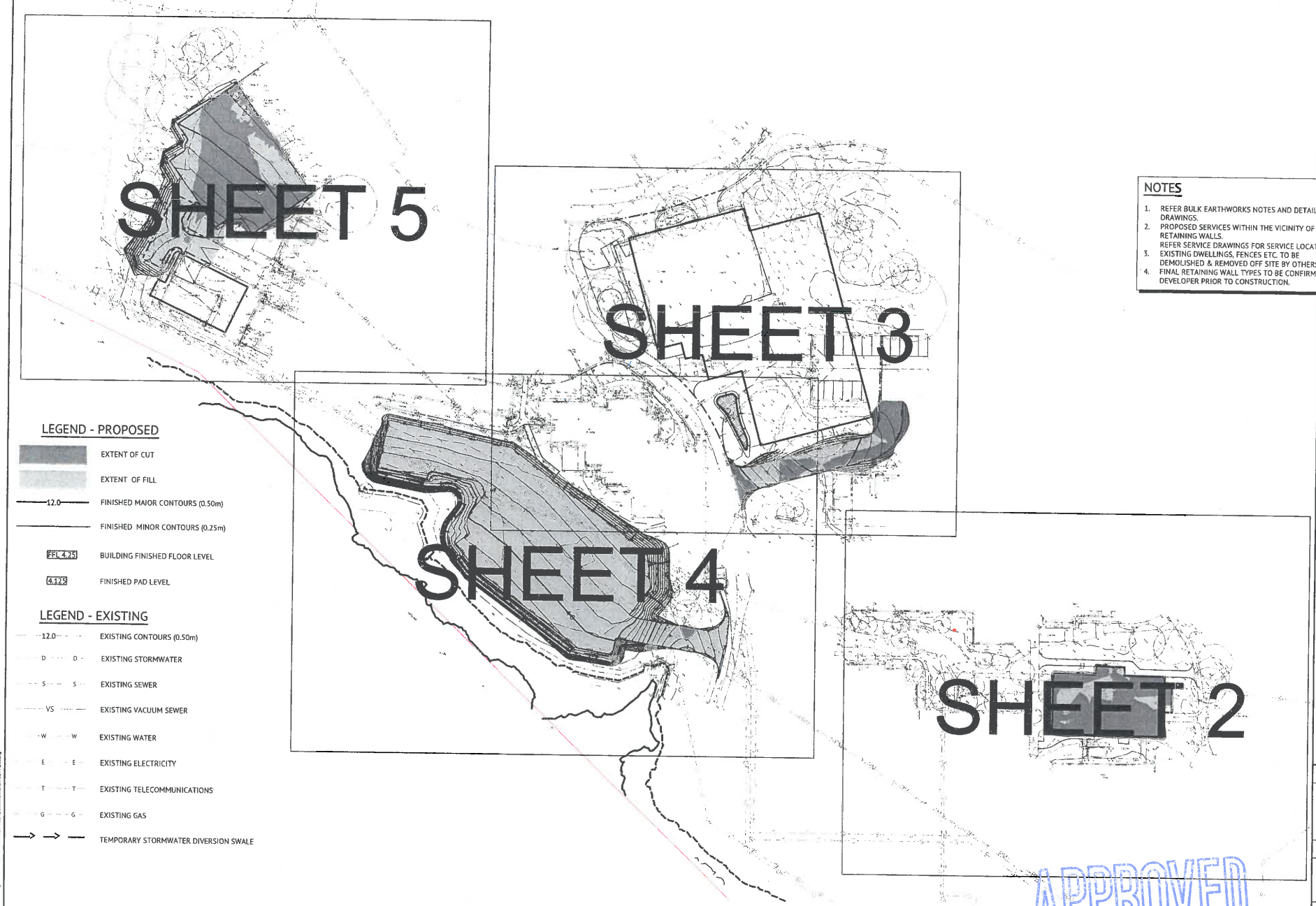
arkLAB project number: 201718

CONSULTANTS:

Civil/ Storm Water: Premise
Structural Engineer: STP Consultants
Geotechnical Engineer: Construction Sciences
Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer: Umow Lai
Landscape Architect: Jeremy Ferrier
Building Certifier: Building Certifiers Australia
Town Planning: Northgroup Consulting
Acoustic Engineer: Renzo Tonin Ron Rumble
Traffic Engineer: Premise
Green Star/ ESD: Bera

CAMPUS: CQU Gladstone Marina	DATE 28/3/18	SCALE (A1) AS INDICATED	DRAWN SA
PROJECT: CONSOLIDATION	CQU PROJECT MANAGER PAUL BAILEY		CHECKED
DISCIPLINE: ARCHITECTURAL			APPROVED AJ
DESCRIPTION: BUILDING DFM SHED SITE & DEMOLITION PLAN	CQU PROJECT NO. CQU-RSQ-17-0-DFM		
	DRAWING NO. CQU-GLD-613-00-ARC-1201		REVISION M

Wednesday, 28 March 2018 5:33 pm • BIM Server: server - BIM Server 21/201718_PD_CQU_GLA_ETTC_CD



LEGEND - PROPOSED

- EXTENT OF CUT
- EXTENT OF FILL
- 12.0 — FINISHED MAJOR CONTOURS (0.50m)
- FINISHED MINOR CONTOURS (0.25m)
- FFL 4.25 — BUILDING FINISHED FLOOR LEVEL
- 4.125 — FINISHED PAD LEVEL

LEGEND - EXISTING

- 12.0 — EXISTING CONTOURS (0.50m)
- D — EXISTING STORMWATER
- S — EXISTING SEWER
- VS — EXISTING VACUUM SEWER
- W — EXISTING WATER
- E — EXISTING ELECTRICITY
- T — EXISTING TELECOMMUNICATIONS
- G — EXISTING GAS
- TEMPORARY STORMWATER DIVERSION SWALE

0 10 20 30m
SCALE 1:500 (A1)

NOTES

1. REFER BULK EARTHWORKS NOTES AND DETAILS DRAWINGS.
2. PROPOSED SERVICES WITHIN THE VICINITY OF RETAINING WALLS.
   REFER SERVICE DRAWINGS FOR SERVICE LOCATIONS.
3. EXISTING DWELLINGS, FENCES ETC. TO BE DEMOLISHED & REMOVED OFF SITE BY OTHERS.
4. FINAL RETAINING WALL TYPES TO BE CONFIRMED BY DEVELOPER PRIOR TO CONSTRUCTION.

PRELIMINARY

NOTES

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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	27/04/17	PRELIMINARY ISSUE	
B	06/07/18	TITLE BLOCK AMENDED	

REVISION HISTORY

University AUSTRALIA

PAYNTER DIXON
BUILDING YOUR BUSINESS

Premise
BRISBANE OFFICE
LEVEL 1, 100 BRUNSWICK STREET
PO BOX 361
FORTITUDE VALLEY, QLD 4006
PH: (07) 3253 2222
WEB: www.premise.com.au

PROJECT DIRECTOR DATE

RPEQ DATE

CONSULTANTS:

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer:
Umow Lai

Landscape Architect:
Jeremy Ferrier

Building Certifier:
Building Certifiers Australia

Town Planning:
Northgroup Consulting

Acoustic Engineer:
Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Bere

CAMPUS:

PROJECT:
CQU GLADSTONE MARINA CAMPUS CONSOLIDATION

DISCIPLINE: CIVIL

DESCRIPTION:
BULK EARTHWORKS LAYOUT PLAN SHEET 1

DATE	SCALE (A1)	DRAWN
11/17	1:100	RPB
CQU PROJECT MANAGER		CHECKED EK
JOB NO MIS-0354		APPROVED

CQU PROJECT NO CEQU0402

DRAWING NO. CQU-GLD-000-00-CIV-C200

REVISION B

LEGEND - PROPOSED

- EXTENT OF CUT
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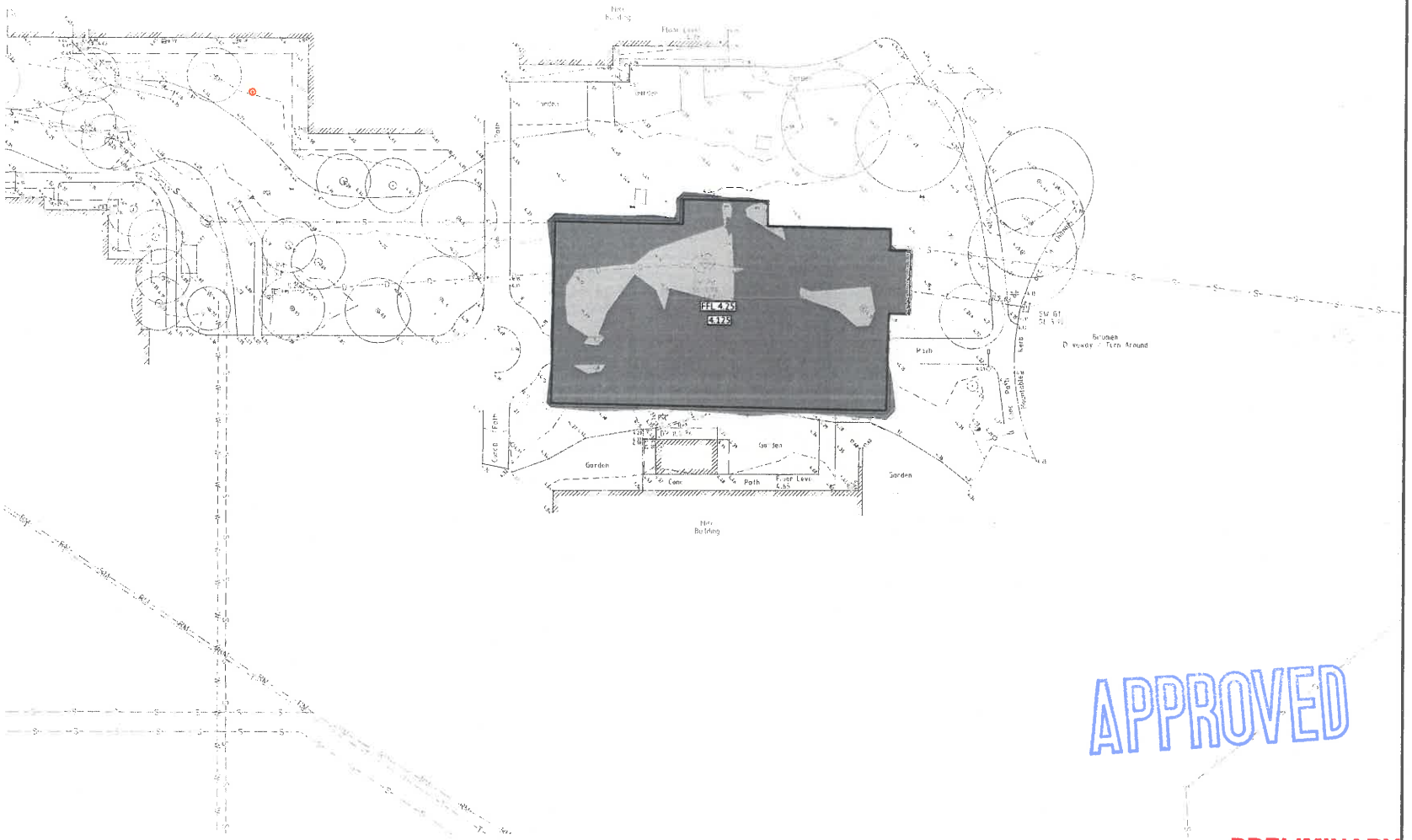
- G — EXISTING GAS
- TEMPORARY STORMWATER DIVERSION SWALE



APPROVED

0 4 8 12m

SCALE 1:200 (A1)

PRELIMINARY
FOR REVIEW/COMMENTS

AMT	DESCRIPTION	BY	DATE
A	PRELIMINARY ISSUE		28/11/17

KEITH HOWELLS RPEQ 7295

CONSULTANTS:
Premise
BRISBANE OFFICE
LEVEL 1, 100 BRUNSWICK STREET
PO BOX 361
FORTITUDE VALLEY, QLD 4006
PH: (07) 3253 2222
WEB: www.premise.com.au

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A.B.N. 32 060 951 162 / QBCC LICENSE #: 63869
LEVEL 3/299 CORONATION DRIVE, MILTON, QLD 4064
P.O. BOX 1206 MILTON, QLD, 4064
TELEPHONE: 07-3368 5500 FAX: 07-3367 4600
EMAIL: info@paynter.com.au
WEB: www.paynter.com.au

PROJECT:
CQU GLADSTONE MARINA
CAMPUS CONSOLIDATION

TITLE:
BULK EARTHWORKS
LAYOUT PLAN
SHEET 2

Date	11/17	Drawn	RPB
Scale	1:100	Checked	EK
Job No	MIS-0354	Approved	
PD Ref No.	CEQU0402	Drawing No.	C201
		Revision	1

CAD Revision 8 1400

LEGEND - PROPOSED

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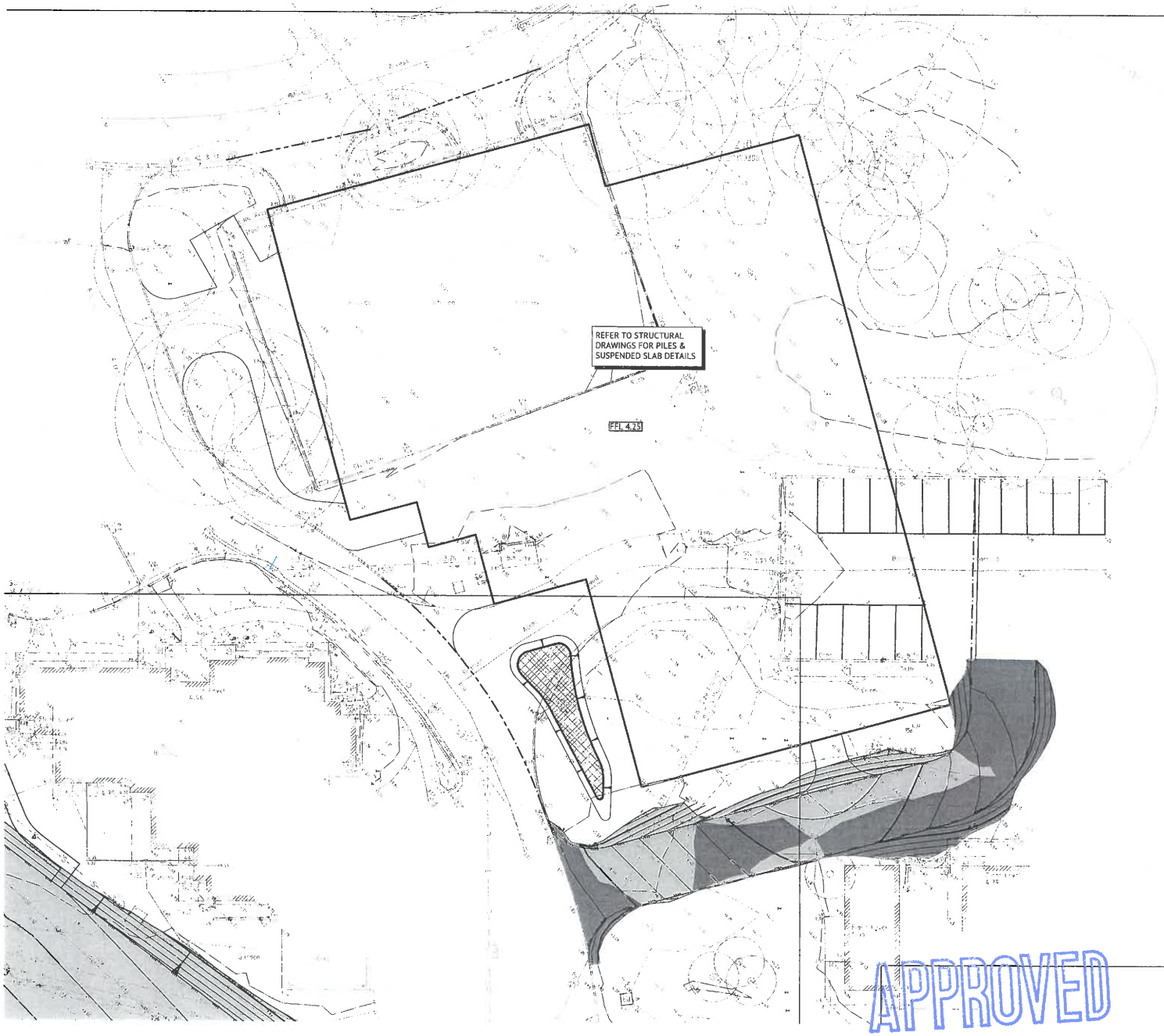

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SCALE 1:200 (A1)

PRELIMINARY

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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	13/01/17	PRELIMINARY ISSUE	
B	02/02/18	TITLE BLOCK AMENDED	

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Premise
BRISBANE OFFICE
LEVEL 1, 100 BRUNSWICK STREET
PO BOX 361
FORTITUDE VALLEY, QLD 4006
PH: (07) 3253 2222
WEB: www.premise.com.au

PROJECT DIRECTOR DATE

RPEQ DATE

CONSULTANTS:

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer:
Umow Lai

Landscape Architect:
Jeremy Ferrier

Building Certifier:
Building Certifiers Australia

Town Planning:
Northgroup Consulting

Acoustic Engineer:
Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Bera

CAMPUS:

PROJECT:
CQU GLADSTONE MARINA CAMPUS CONSOLIDATION

DISCIPLINE: CIVIL

DESCRIPTION:
BULK EARTHWORKS LAYOUT PLAN SHEET 3

DATE	SCALE (A1)	DRAWN
11/17	1:100	BPB
CQU PROJECT MANAGER		CHECKED EE
JOB NO MIS-0354		APPROVED

CQU PROJECT NO CEQU0402

DRAWING NO CQU-GLD-605-00-CIV-C202

REVISION B

LEGEND - PROPOSED

- EXTENT OF CUT
- EXTENT OF FILL
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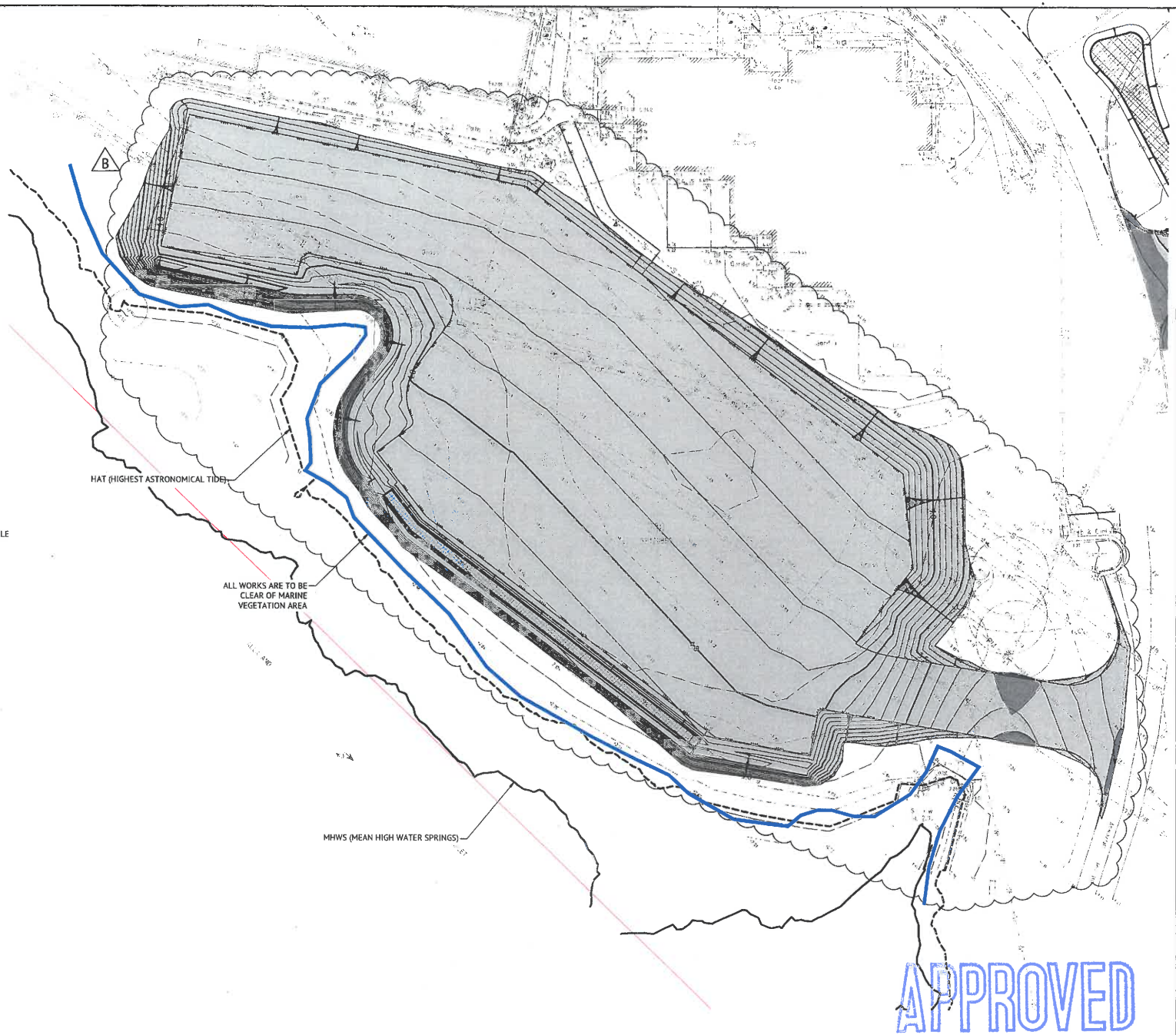

0 4 8 12m
SCALE 1:200 (A1)

PRELIMINARY

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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	12/01/17	PRELIMINARY ISSUE	
B	15/03/18	PROTECTED VEGETATION AVOIDED	

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University AUSTRALIA

PAYNTER DIXON
BUILDING YOUR BUSINESS

Premise
BRISBANE OFFICE
LEVEL 1, 100 BRUNSWICK STREET
PO BOX 361
FORTITUDE VALLEY, QLD 4006
PH: (07) 3253 2222
WEB: www.premise.com.au

PROJECT DIRECTOR DATE

RPEQ DATE

CONSULTANTS:

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer:
Umow Lei

Landscape Architect:
Jeremy Ferrier

Building Certifier:
Building Certifiers Australia

Town Planning:
Northgroup Consulting

Acoustic Engineer:
Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Bera

CAMPUS:

PROJECT:
CQU GLADSTONE MARINA
CAMPUS CONSOLIDATION

DISCIPLINE: CIVIL

DESCRIPTION:
BULK EARTHWORKS
LAYOUT PLAN
SHEET 4

DATE	SCALE (A1)	DRAWN
11/17	1:100	RPB
CQU PROJECT MANAGER		CHECKED EK
JOB NO MIS-0354		APPROVED

CQU PROJECT NO CEQU0402

DRAWING NO CQU-GLD-605-00-CIV-C203 REVISION B

LEGEND - PROPOSED

- EXTENT OF CUT
- EXTENT OF FILL
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- G — EXISTING GAS
- TEMPORARY STORMWATER DIVERSION SWALE

APPROVED

0 4 8 12m

SCALE 1:200 (A1)

PRELIMINARY

NOTES

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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	28/11/17	PRELIMINARY ISSUE	
B	01/02/18	TITLE BLOCK AMENDED	

REVISION HISTORY

University AUSTRALIA

PAYNTER DIXON
BUILDING YOUR BUSINESS

Premise
BRISBANE OFFICE
LEVEL 1, 100 BRUNSWICK STREET
PO BOX 561
FORTITUDE VALLEY, QLD 4006
PH: (07) 3253 2222
WEB: www.premise.com.au

PROJECT DIRECTOR DATE

RPEQ DATE

CONSULTANTS:

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer:
Umow Lai

Landscape Architect:
Jeremy Ferrier

Building Certifier:
Building Certifiers Australia

Town Planning:
Northgroup Consulting

Acoustic Engineer:
Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Bara

CAMPUS:

PROJECT:
CQU GLADSTONE MARINA CAMPUS CONSOLIDATION

DISCIPLINE: CIVIL

DESCRIPTION:
BULK EARTHWORKS LAYOUT PLAN SHEET 5

DATE	SCALE (A1)	DRAWN
11/17	1:100	RPB

CQU PROJECT MANAGER — CHECKED: EK

JOB NO: MIS-0354 — APPROVED:

CQU PROJECT NO: CEQU0402

DRAWING NO: CQU-GLD-613-00-CIV-C204 — REVISION: B

NOTES

1. LOCATION & LEVELS OF ALL EXISTING SERVICES TO BE CONFIRMED ON SITE BY CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. EARTHWORKS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE EROSION AND SEDIMENT CONTROL LAYOUT PLANS AND THE EROSION AND SEDIMENT CONTROL NOTES AND DETAILS.
3. ALL EARTHWORKS TO BE CARRIED OUT UNDER 'LEVEL ONE' GEOTECHNICAL CONTROL IN ACCORDANCE WITH LOCAL AUTHORITIES AND AS3798.
4. EXCESS CUT TO BE STOCKPILED IN THE LOCATION SHOWN OR AS DIRECTED ON SITE.
5. ALL BATTERS ARE 1 IN 4 UNLESS SHOWN OTHERWISE.

TESTING

1. THE SUPERINTENDENT MAY ORDER ADDITIONAL TESTS. REFER TO THE LOCAL AUTHORITIES SPECIFICATION FOR STANDARDS OF COMPACTION AND MATERIAL STANDARDS.

EARTHWORKS TESTING

1. COMPACTION TESTS

LOCATION	AREA PER TEST
FINISHED LEVEL OR ROAD SUBGRADE (IN CUT OR FILL)	REFER TO THE LOCAL AUTHORITY SPECIFICATION
LOWEST TWO LEVELS OF EMBANKMENT (PER LAYER)	
OTHER LAYERS OF EMBANKMENT (PER LAYER)	
PREPARED NATURAL GROUND UNDER EMBANKMENT	

2. QUALITY TESTS
   QUALITY TESTS OF IMPORTED MATERIAL ARE REQUIRED AS SET OUT BY LOCAL AUTHORITY.

3. SUBGRADE TESTS
   THE NUMBER AND LOCATION OF PAVEMENT SUBGRADE TESTS SHALL BE AS DETERMINED BY THE SUPERINTENDENT WHO SHALL RECOMMEND CBR VALUES TO BE USED IN ROAD PAVEMENT DESIGN. THE NUMBER AND TYPES OF CBR TESTS SHALL BE DETERMINED BY THE SOILS TESTING CONSULTANT TO BEST REPRESENT THE CONDITION OF THE SUBGRADE EXPECTED IN SERVICE.

DUST

1. NO VISIBLE DUST EMISSIONS MUST OCCUR AT THE BOUNDARIES OF THE SITE DURING EARTHWORKS AND CONSTRUCTION ACTIVITIES ON THE SITE.
2. THE CONTRACTOR TO PROVIDE A WATER TRUCK AS REQUIRED TO ELIMINATE THE DUST PROBLEM CAUSED BY SITE TRAFFIC.

CONDUITS

1. THE CONTRACTOR IS TO CONFIRM THE LOCATION OF SERVICE CONDUITS WITH THE SUPERINTENDENT PRIOR TO LAYING.

FILL MANAGEMENT

1. ALL FILL MATERIAL WILL BE PLACED IN ACCORDANCE WITH THE APPROVED SPECIFICATION.
2. THE FILL MATERIAL WILL COMPRISE ONLY OF NATURAL EARTH AND ROCK AND SHALL BE FREE OF ALL CONTAMINATES, NOXIOUS, HAZARDOUS, DELETERIOUS AND ORGANIC MATERIAL.
3. ALL SITE PREPARATION WORK SHOULD GENERALLY BE CARRIED OUT IN ACCORDANCE WITH AS3798 'GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS'.
4. THE SITE SHOULD BE STRIPPED OF ANY TOPSOIL FROM CUT AND FILL AREAS, ROAD ALIGNMENTS AND CARPARKING AREAS, AND STOCKPILED FOR LATER USE.
5. PRIOR TO THE PLACEMENT OF ANY STRUCTURAL FILL THE SITE SHOULD BE PROOF ROLLED USING A MINIMUM 10 TONNE (STATIC WEIGHT) PADFOOT ROLLER. ANY LOOSE OR SOFT AREAS SHOULD BE REMOVED AND RECOMPACTED OR REPLACED USING A COMPACTED SELECT FILL.
6. DEPRESSIONS FORMED BY THE REMOVAL OR VEGETATION, EXISTING STRUCTURES, UNDERGROUND SERVICES ETC, SHOULD HAVE ALL DISTURBED SOIL CLEANED OUT AND BE BACKFILLED WITH COMPACTED SELECT FILL MATERIAL.
7. ANY STRUCTURAL CLAY FILL SHOULD BE PLACED IN LOOSE LAYERS NOT GREATER THAN 200mm THICK AT A MOISTURE CONTENT IN THE RANGE -2% TO +3% OF THE STANDARD OPTIMUM MOISTURE CONTENT, AND BE COMPACTED TO A MINIMUM DRY DENSITY RATIO OF 98% UNDER STANDARD COMPACTION AS PER (AS1289 5.1.1/5.2.1). CLAY FILL SHOULD BE COMPACTED USING A MINIMUM 10 TONNE VIBRATING PADFOOT ROLLER. MEASURES SHOULD BE ADOPTED TO ENSURE THAT CLAY FILL MATERIAL IS NOT ALLOWED TO DRY OUT PRIOR TO THE PLACEMENT OF SUCCEEDING LAYERS OF FILL AND FINAL COVERING WITH BUILDING SLABS AND ROAD PAVEMENTS.
8. ANY STRUCTURAL, FREE DRAINING SAND FILL SHOULD BE PLACED IN LOOSE LAYERS NOT GREATER THAN 200mm THICK, FLOODED, IF NECESSARY, AND COMPACTED TO A MINIMUM DENSITY INDEX OF 70% AS PER AS1289 5.5.1 USING A STATIC SMOOTH ROLLER DRUM NOT LESS THAN 10 TONNE IN STATIC WEIGHT.
9. THE PLACEMENT OF ALL STRUCTURAL FILL TO BE INSPECTED, TESTED AND CERTIFIED BY A GEOTECHNICAL ENGINEER TO A LEVEL 1 REQUIREMENT DURING THE EARTHWORKS OPERATIONS TO ENSURE THAT ALL FILL IS PLACED IN A 'CONTROLLED MANNER', IN ACCORDANCE WITH AS3798 'GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS'.
10. THE PLACEMENT OF FILL TO BE EXECUTED SUCH THAT TO BE FREE DRAINING AT ALL TIMES AND NOT TO BE A NUISANCE OR PONDING TO ADJOINING PROPERTY OR ROADS.
11. NO DEMOLITION MATERIAL TO BE USED AS FILL MATERIAL.
12. WHERE UNSUITABLE MATERIAL IN AREAS OF FILL IS ENCOUNTERED, THIS WILL BE TREATED AS SET OUT IN THE EARTHWORK SPECIFICATION.
13. ALL VEHICLES EXITING FROM THE SITE TO BE CLEAN TO PREVENT MATERIAL BEING TRACKED OR DEPOSITED ON THE ADJOINING PUBLIC ROADS, REFER ENVIRONMENTAL MANAGEMENT NOTES ON DRG. No. C701.
14. ACCESS TRACKS THROUGH THE SITE WILL BE LIMITED TO THOSE DETERMINED BY THE SUPERINTENDENT AND THE CONTRACTOR PRIOR TO ANY WORK COMMENCING.

APPROVED

PRELIMINARY

NOTES

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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	21/11/17	PRELIMINARY ISSUE	
B	23/02/18	TITLE BLOCK AMENDED	

REVISION HISTORY

University AUSTRALIA

PAYNTER DIXON BUILDING YOUR BUSINESS

Premise

BRISBANE OFFICE
LEVEL 1, 100 BRUNSWICK STREET
PO BOX 561
FORTITUDE VALLEY, QLD 4006
PH: (07) 3253 2222
WEB: www.premise.com.au

PROJECT DIRECTOR DATE

RPEQ DATE

CONSULTANTS:

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

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Umow Lai

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Jeremy Ferrier

Building Certifier:
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Town Planning:
Northgroup Consulting

Acoustic Engineer:
Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Bera

CAMPUS:

PROJECT:
CQU GLADSTONE MARINA CAMPUS CONSOLIDATION

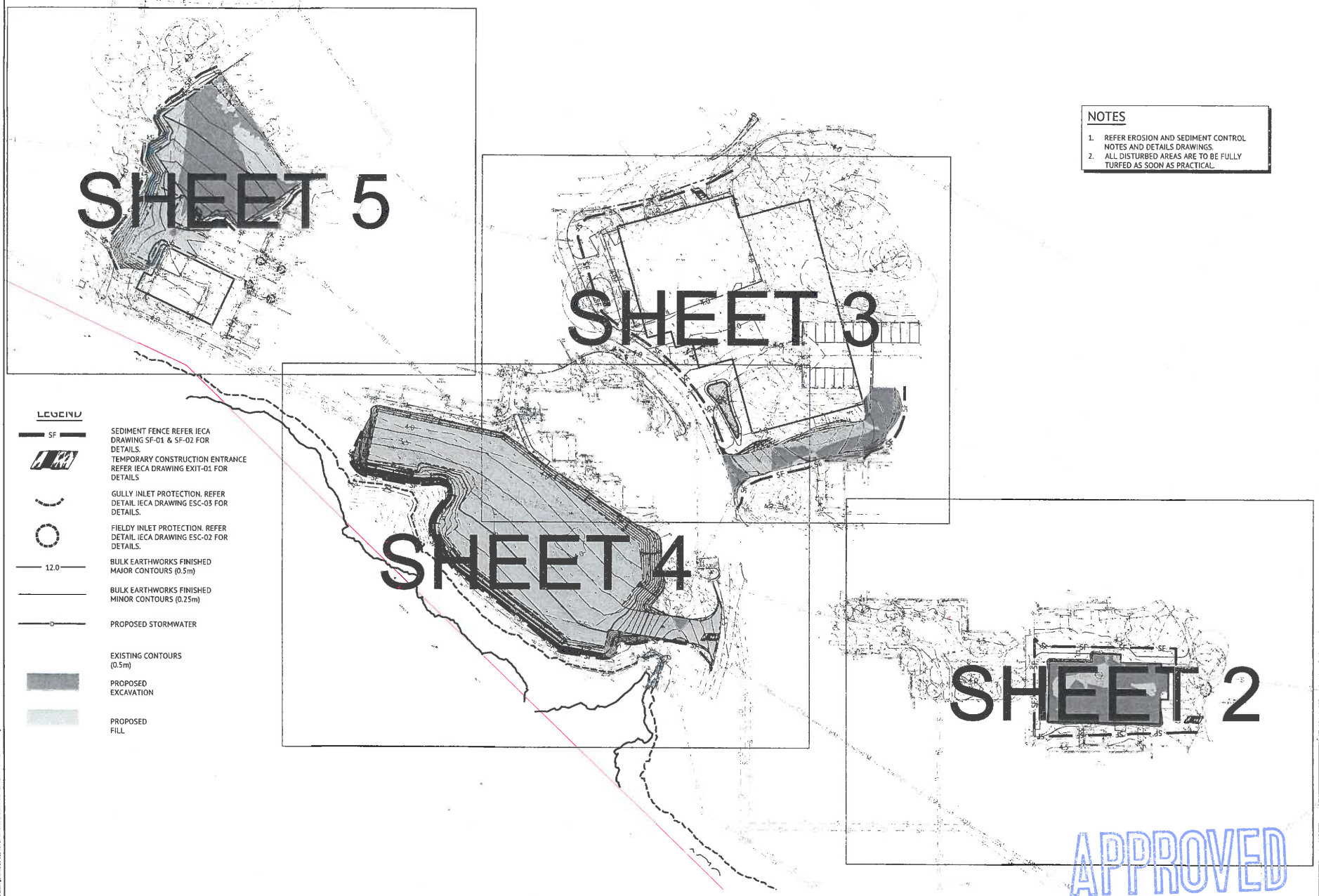
DISCIPLINE: CIVIL

DESCRIPTION:
BULK EARTHWORKS NOTES AND DETAILS

DATE 11/17	SCALE (A1) 1:100	DRAWN RPB
CQU PROJECT MANAGER		CHECKED EK
JOB NO MIS-0354		APPROVED

CQU PROJECT NO. CEQU0402

DRAWING NO. CQU-GLD-000-00-CIV-C205 REVISION B



NOTES

1. REFER EROSION AND SEDIMENT CONTROL NOTES AND DETAILS DRAWINGS.
2. ALL DISTURBED AREAS ARE TO BE FULLY TURFED AS SOON AS PRACTICAL.

LEGEND

- SF — SEDIMENT FENCE REFER IECA DRAWING SF-01 & SF-02 FOR DETAILS.
- TEMPORARY CONSTRUCTION ENTRANCE REFER IECA DRAWING EXIT-01 FOR DETAILS
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- BULK EARTHWORKS FINISHED MINOR CONTOURS (0.25m)
- PROPOSED STORMWATER
- EXISTING CONTOURS (0.5m)
- PROPOSED EXCAVATION
- PROPOSED FILL

0 10 20 30m

SCALE 1:500 (A1)

PRELIMINARY

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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	28/11/17	PRELIMINARY ISSUE	
B	01/02/18	TITLE BLOCK AMENDED	

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PAYNTER DIXON BUILDING YOUR BUSINESS

Premise
BRISBANE OFFICE
LEVEL 1, 100 BRUNSWICK STREET
PO BOX 361
FORTITUDE VALLEY, QLD 4006
PH: (07) 3253 2222
WEB: www.premise.com.au

PROJECT DIRECTOR DATE

RPEQ DATE

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Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer:
Umow Lai

Landscape Architect:
Jeremy Ferrier

Building Certifier:
Building Certifiers Australia

Town Planning:
Northgroup Consulting

Acoustic Engineer:
Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Bera

CAMPUS:

PROJECT:
CQU GLADSTONE MARINA CAMPUS CONSOLIDATION

DISCIPLINE: CIVIL

DESCRIPTION:
EROSION AND SEDIMENT CONTROL LAYOUT SHEET 1

DATE	SCALE (A1)	DRAWN
11/17	1:100	BPB
CQU PROJECT MANAGER		CHECKED EK
JOB NO. MIS-0354		APPROVED

CQU PROJECT NO. CEQU0402

DRAWING NO. CQU-GLD-000-00-CIV-C700

REVISION B

LEGEND

- SF — SEDIMENT FENCE REFER IECA DRAWING SF-01 & SF-02 FOR DETAILS.
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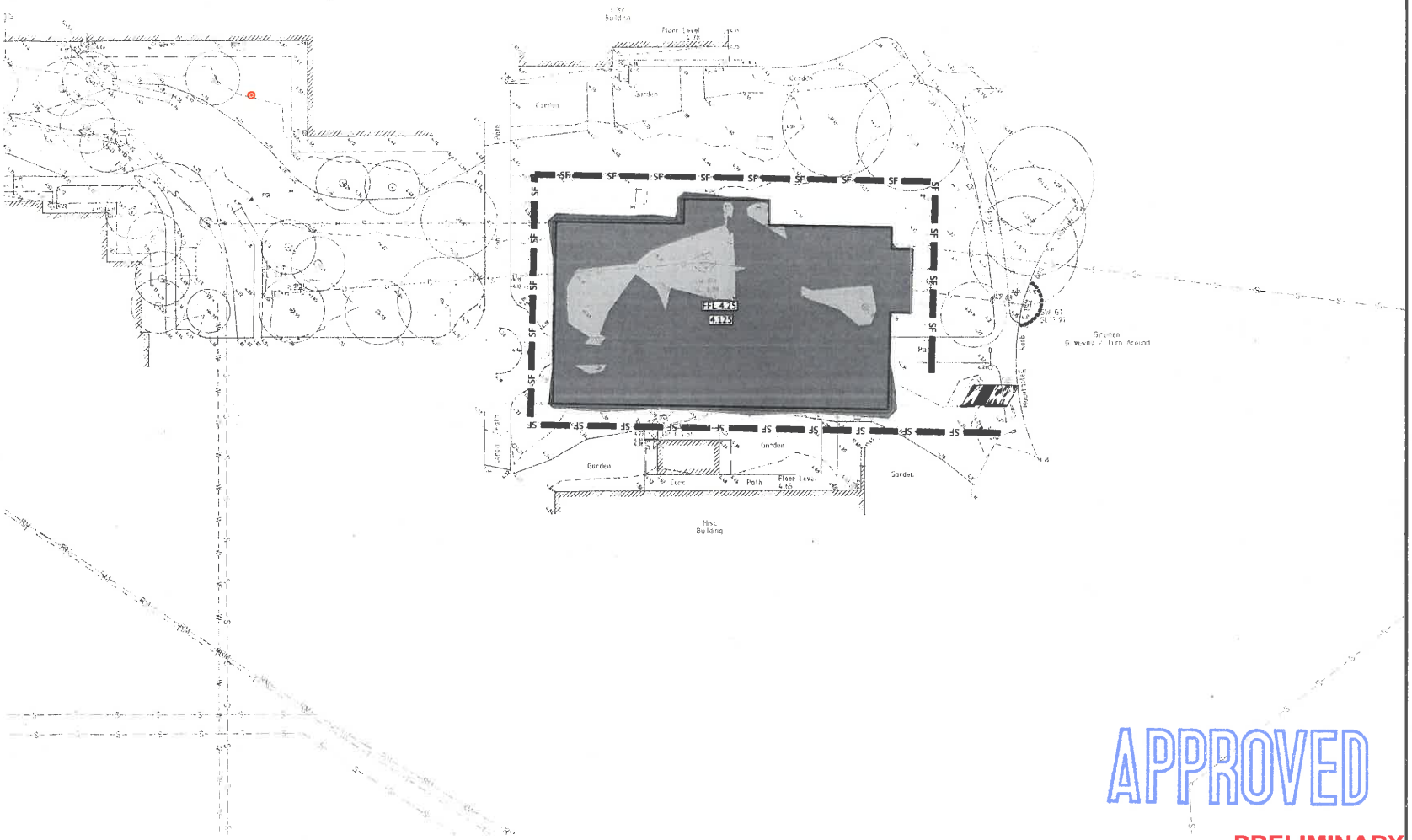

APPROVED

PRELIMINARY
FOR REVIEW/COMMENTS

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SCALE 1:200 (A1)

AMT	DESCRIPTION	BY	DATE
1	PRELIMINARY ISSUE		18/11/17

KEITH HEWELLS RPEQ 7295

CONSULTANTS:
Premise
BRISBANE OFFICE
LEVEL 1, 100 BRUNSWICK STREET
PO BOX 361
FORTITUDE VALLEY, QLD 4006
PH: (07) 3253 2222
WEB: www.premise.com.au

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A.B.N. 32 080 051 162 / QBCC LICENSE #: 63889
LEVEL 3/299 CORONATION DRIVE, MILTON, QLD 4064
P.O. BOX 1326 MILTON, QLD, 4064
TELEPHONE: 07-3368 5500 FAX: 07-3367 4600
EMAIL: info@paynter.com.au
WEB: www.paynter.com.au

PROJECT:
CQU GLADSTONE MARINA CAMPUS CONSOLIDATION

TITLE:
EROSION AND SEDIMENT CONTROL LAYOUT SHEET 2

Date	11/17	Drawn	RPB
Scale	1:100	Checked	EK
Job No	MIS-0354	Approved	
PD Ref No.	CEQU0402	Drawing No.	C701
		Revision	1

CAD Filename & Path:

LEGEND

- SF — SEDIMENT FENCE REFER IECA DRAWING SF-01 & SF-02 FOR DETAILS.
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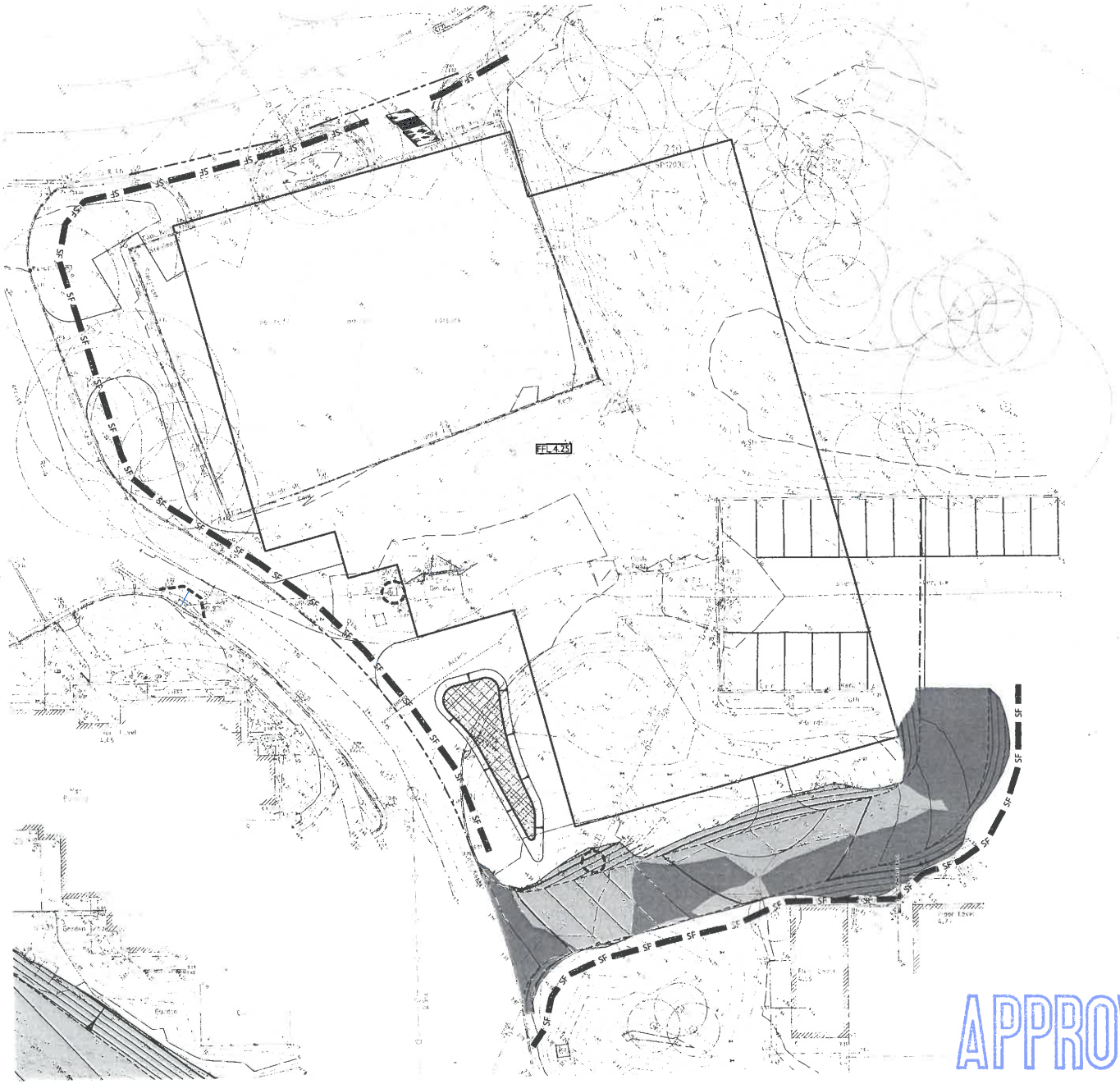

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PRELIMINARY

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SCALE 1:200 (A1)

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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	13/11/17	PRELIMINARY ISSUE	
B	02/02/18	TITLE BLOCK AMENDED	

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Premise
BRISBANE OFFICE
LEVEL 1, 100 BRUNSWICK STREET
PO BOX 361
FORTITUDE VALLEY, QLD 4006
PH: (07) 3253 2222
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PROJECT DIRECTOR DATE

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Construction Sciences

Green Star/ ESD:
Bera

CAMPUS:

PROJECT:
CQU GLADSTONE MARINA CAMPUS CONSOLIDATION

DISCIPLINE: CIVIL

DESCRIPTION:
EROSION AND SEDIMENT CONTROL LAYOUT SHEET 3

DATE	SCALE (A1)	DRAWN
11/17	1:100	RPB
CQU PROJECT MANAGER		CHECKED EK
JOB NO MIS-0354		APPROVED

CQU PROJECT NO. CEQU0402

DRAWING NO. CQU-GLD-605-00-CIV-C702

REVISION B

LEGEND

- SF — SEDIMENT FENCE REFER IECA DRAWING SF-01 & SF-02 FOR DETAILS.
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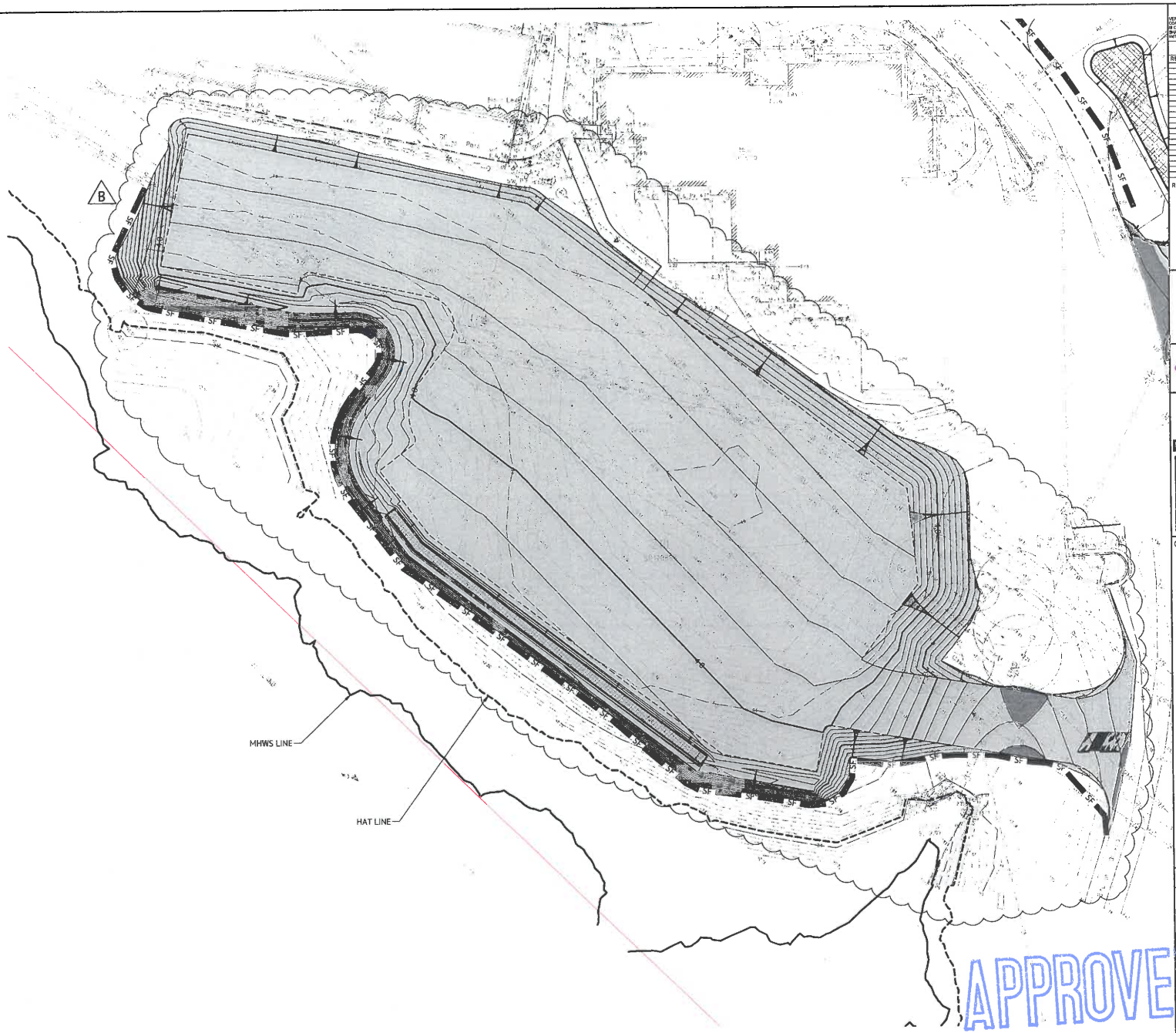

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SCALE 1:200 (A1)

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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	28/11/17	PRELIMINARY ISSUE	
B	16/01/18	PROTECTED VEGETATION AVOIDED	

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BRISBANE OFFICE
LEVEL 1, 100 BRUNSWICK STREET
PO BOX 361
FORTITUDE VALLEY, QLD 4006
PH: (07) 3253 2222
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Bera

CAMPUS:

PROJECT:
CQU GLADSTONE MARINA CAMPUS CONSOLIDATION

DISCIPLINE: CIVIL

DESCRIPTION:
EROSION AND SEDIMENT CONTROL LAYOUT SHEET 4

DATE	SCALE (A1)	DRAWN
11/17	1:100	RPB
CQU PROJECT MANAGER		CHECKED EK
JOB NO. MIS-0354		APPROVED

CQU PROJECT NO. CEQU0402

DRAWING NO. CQU-GLD-605-00-CIV-C703

REVISION B

N

Z:\JobS\354\Engineering\Drawing\Civil\CQU\Drawing\1-MASTER\CQU-GLD-605-CIV-C700 DRAINAGE AND SEDIMENT CONTROL LAYOUT.dwg

LEGEND

- SF — SEDIMENT FENCE REFER IECA DRAWING SF-01 & SF-02 FOR DETAILS.
- TEMPORARY CONSTRUCTION ENTRANCE REFER IECA DRAWING EXIT-01 FOR DETAILS
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N
SF
Det / Gravel
Gravel
Grass
Floor Level
Building
Carpark
Cold Room
Bitumen Carpark
Bitumen Footpath
Kerb
Drainage
Pit
Inlet
Outlet
Fence
Boundary
Easement
Pavement
Concrete
Gutter
Driveway
Flush Curb
Sewer
Water
Electrical
Telecom
Gas
Overhead Wires
Lot 10
SP 120982
Colonnade Shed
Sw Pit
Sw Pit SL 31
Sw Pit SL 4.32 IL 3.26
Floor Level 4.69
Floor Level 4.68
Floor Level 4.71
Floor Level 4.68
Floor Level
Floor Level 4.69
Floor Level 4.68
Floor Level 4.71
Floor Level
Bitumen
Concrete
Gravel
Grass

EROSION & SEDIMENT CONTROL NOTES

1. LOCATION & LEVELS OF ALL EXISTING SERVICES TO BE CONFIRMED ON SITE BY CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. REFER EARTHWORKS DRAWINGS FOR ADDITIONAL NOTES.
3. ALL TRENCHES, FOOTPATH EXCAVATIONS & STOCKPILES TO BE PROTECTED BY TEMPORARY SEDIMENT FENCES UNTIL 80% GRASS COVERAGE IS ACHIEVED TO DISTURBED AREAS.
4. EVERY PRECAUTION IS TO BE TAKEN TO PREVENT THE TRANSPORT OF SILT INTO THE NEWLY LAID STORMWATER PIPES THAT ARE CONNECTED TO THE DOWNSTREAM PIPE SYSTEMS, AND ANY EXISTING OPEN CHANNELS.
5. THESE NOTES SHALL BE READ IN CONJUNCTION WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
6. THE EROSION AND SEDIMENT CONTROL WORKS SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES EROSION AND SEDIMENT CONTROL STANDARDS.
7. THE CONTRACTOR SHALL TAKE ALL REASONABLE AND PRACTICABLE MEASURES TO:
   - ALLOW STORMWATER TO PASS THROUGH THE SITE IN A CONTROLLED MANNER AND AT NON EROSIVE FLOW VELOCITIES;
   - MINIMISE SOIL EROSION FROM WATER AND WIND;
   - MINIMISE ADVERSE EFFECTS OF SEDIMENT RUN-OFF;
   - MINIMISE OR PREVENT ENVIRONMENTAL HARM ASSOCIATED WITH DISCHARGES FROM THE SITE (E.G. THE EFFECTS OF SEDIMENTATION ON THE ENVIRONMENTAL VALUES OF RECEIVING WATERS); AND
   - ENSURE THAT THE VALUE AND USE OF RESIDENTIAL PROPERTIES ADJACENT TO THE DEVELOPMENT (SUCH AS DRAINAGE AND ROADS) ARE NOT DIMINISHED AS A RESULT OF THE MIGRATION OF SEDIMENT FROM THE DEVELOPMENT.
4. THE CONTRACTOR SHALL APPOINT AN APPROPRIATELY EXPERIENCED PERSON TO BE MADE RESPONSIBLE FOR IMPLEMENTATION OF THE ESC.
5. ALL ESC MEASURES SHALL BE INSPECTED:
   - AT LEAST DAILY (WHEN WORK IS OCCURRING ON SITE).
   - AT LEAST WEEKLY (WHEN WORK IS NOT OCCURRING ON SITE).
   - WITHIN 24 HOURS OF EXPECTED RAINFALL.
   - WITHIN 18 HOURS OF RAINFALL OCCURRING.
6. MAINTENANCE OF ESC MEASURES SHALL OCCUR TO ENSURE THEY ARE OPERATING EFFICIENTLY AND IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

ESC MEASURES	MAINTENANCE TRIGGER	TIME FRAME FOR UNDERTAKING MAINTENANCE
SEDIMENT BASINS	WHEN SETTLED SEDIMENT VOLUME EXCEEDS THE VOLUME OF THE SEDIMENT SETTLEMENT ZONE	WITHIN 4 DAYS OF INSPECTION
OTHER ESC MEASURES	WHEN SETTLED SEDIMENT VOLUME EXCEEDS 25% OF THE CAPACITY OF THE ESC MEASURE	BY THE END OF THE DAY

7. INSTALL DIVERSION CATCH DRAINS UPSTREAM OF, AND SILT FENCE DOWNSTREAM OF, STOCKPILES.
8. STOCKPILES ARE TO BE LOCATED AWAY FROM EROSION HAZARD AREAS SUCH AS DRAINAGE LINES AND STEEP SLOPES.
9. STOCKPILES ARE TO BE PROTECTED FROM EROSION BY THE WIND.
10. ADEQUATE SUPPLIES OF EMERGENCY MAINTENANCE MATERIALS, INCLUDING (BUT NOT LIMITED TO) TIE WIRE, STAKES, FILTER CLOTH, WIRE MESH AND CLEAN GRAVEL SHOULD BE AVAILABLE ON-SITE.
11. ESC MAINTENANCE ACTIVITIES ARE TO BE RECORDED IN AN ON-SITE REGISTER. THE REGISTER IS TO BE MAINTAINED FOR THE DURATION OF THE WORKS AND IS TO BE MADE AVAILABLE TO THE SUPERINTENDENT.
12. DISTURBED AREAS ARE TO BE SEEDED WITHIN 3 DAYS OF COMPLETION OF WORKS. TURFING OF SWALES AND CHANNELS, OR LINING WITH APPROVED GEOFABRIC PINNED IN PLACE, IS REQUIRED IMMEDIATELY FOLLOWING COMPLETION OF TRIMMING. GRASS SEEDING IS REQUIRED TO ACHIEVE 70% COVER WITHIN 30 DAYS OF THE COMPLETION OF EARTHWORKS.
13. SUPPLEMENTARY ESC MEASURES SHALL BE DIRECTED BY THE SUPERINTENDENT.

VEGETATION MANAGEMENT

1. VEGETATION PROTECTION ORDERS ON THE SITE SHALL BE OBSERVED AT ALL TIMES.
2. ALL REASONABLE AND PRACTICABLE EFFORTS MUST BE TAKEN TO MINIMISE THE REMOVAL OR DISTURBANCE OF TREES, SHRUBS AND PARTICULARLY GROUND COVER ON THE SITE PRIOR TO, AND DURING LAND-DISTURBING DEVELOPMENT.
3. WHERE SOME CLEARING IS INEVITABLE, IT SHOULD BE DELAYED AS LONG AS PRACTICABLE AND STAGED WHERE POSSIBLE TO MINIMISE THE EROSION POTENTIAL.
4. NO CLEARING SHALL BE UNDERTAKEN UNLESS PRECEDED OR ACCOMPANIED BY INSTALLATION OF ADEQUATE RUN-OFF AND SEDIMENT CONTROL MEASURES.
5. CONSIDERATION SHOULD BE GIVEN TO THE FENCING-OFF, OR OTHERWISE CLEAR MARKING OF VEGETATION THAT IS NOT TO BE DISTURBED AT ANY GIVEN STAGE OF THE PROPOSED WORKS (INCLUDING ALONG ACCESS/ENTRY TRACKS)
6. NO TREES ARE TO BE REMOVED WITHOUT THE EXPRESS PERMISSION OF THE SUPERINTENDENT.

SEDIMENT BASIN CONSTRUCTION NOTE

- SEDIMENT BASIN EMBANKMENT TO BE COMPACTED TO 95% STD. TESTS WILL BE REQUIRED TO CONFIRM COMPACTION.
- ALL SPILLWAYS TO BE LINED WITH GEOFABRIC & DUMPED ROCK.

UPSTREAM OVERLAND CLEAN WATER DIVERSION

UPSTREAM CLEAN WATER DIVERSION DRAINS ARE TO FLOW AROUND THE SITE TO AVOID DISTURBED AREAS INCLUDING SEDIMENT BASINS DURING THE CONSTRUCTION PHASE

INSTALLATION SEQUENCE PRE-CLEARING AND PRE-BULK EARTHWORKS

STEP 1
- A. INSTALL AN ALL WEATHER ENTRANCE / EXIT POINT;
- B. SET UP SITE OFFICE AND WASTE STORAGE AREAS PARKING AREA FOR VEHICLES AND PLANT;
- C. ERECT BARRIER FENCING FOR "NO GO" AND VEGETATION PROTECTION AREAS AS DIRECTED BY THE SITE SUPERINTENDENT.
- D. MARK OUT THE LIMITS OF DISTURBANCE WITHIN THE SITES BOUNDARIES.

STEP 2
- E. CLEAR AREAS FOR SEDIMENT BASINS AND CLEAN/DIRTY WATER DIVERSION DRAINS ONLY.
- F. CONSTRUCT SEDIMENT BASIN AS PER DESIGN DETAILS;
- G. CONSTRUCT SEDIMENT FENCES
- H. CONSTRUCT "DIRTY WATER" CATCH DRAINS AND LINE WITH GEOFABRIC IN ACCORDANCE WITH DETAILS ON ESC PLANS.

NOTE: AS CONSTRUCTED SURVEY OF THE SEDIMENT BASIN IS TO BE SENT TO **ETS** ENGINEERING TO CONFIRM THE SEDIMENT BASIN VOLUMES. A HOLD POINT INSPECTION WILL BE HELD BETWEEN ETS ENGINEERING AND THE SITE SUPERINTENDENT TO INSPECT INSTALLED ESC MEASURES PRIOR TO THE COMMENCEMENT OF BULK CLEARING.

INSTALLATION SEQUENCE CLEARING AND BULK EARTHWORKS

STEP 3
ONCE SEDIMENT BASIN, CATCH DRAINS AND SEDIMENT FENCES ARE ESTABLISHED, STRIP TOPSOIL FROM SITE AND STOCKPILE AS DIRECTED BY THE SITE SUPERINTENDANT, ENSURE DOWNSTREAM SEDIMENT FENCES AND UPSTREAM DIVERSION BANKS ARE OPERATIONAL AROUND STOCKPILE AREAS.

STEP 4
PERFORM BULK EARTHWORKS ON LEADS CUT TO FILL ON SITE IN ACCORDANCE WITH THE CIVIL BULK EARTHWORKS DRAWINGS.

STEP 5
ONCE FINAL CUT AND FILL BATTER LEVELS HAVE BEEN ACHIEVED, REMOVE REQUIRED TOPSOIL FROM STOCKPILED AREAS AND PLACE ON BATTERS AND OTHER DISTURBED AREAS AS DIRECTED BY THE SITE SUPERINTENDENT.

STEP 6
AS SOON AS POSSIBLE AFTER TOPSOIL HAS BEEN PLACED ON BATTERS AND OTHER DISTURBED AREAS, THESE AREAS SHOULD BE SEEDED OR HYDROMULCHED TO STABILISE. IF A RAINFALL EVENT IS FORECAST WHICH IS LIKELY TO CAUSE RUNOFF PRIOR TO STRIPPED AREAS BEING STABILISED, A COMBINATION OF MULCH AND BIDUM IS TO BE USED TO COVER EXPOSED AREAS.

STEP 7
ALL SEDIMENT AND EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE AND BE MONITORED UNTIL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. ADDITIONAL EROSION CONTROLS ARE TO BE ERECTED AS REQUIRED BY THE SUPERINTENDENT.

SERVICE TRENCH AND ROAD CONSTRUCTION

STEP 8
TRENCH EXCAVATION. MAINTAIN SILT FENCES, CATCH DRAINS WHICH CONTROL SEDIMENTATION AND EROSION DURING TRENCHING WORK.

STEP 9
PAVEMENT CONSTRUCTION
MAINTAIN SILT FENCES, AND CATCH DRAINS WHICH CONTROL SEDIMENTATION AND EROSION DURING PAVEMENT CONSTRUCTION.

STEP 10
MAINTENANCE PERIOD
MAINTAIN CONTROL AND ESC AND VEGETATIVE TREATMENTS WHICH CONTROL SEDIMENTATION AND EROSION PRIOR TO THE ESTABLISHMENT OF STABILIZED GRASS COVER.

ADDITIONAL EROSION CONTROLS ARE TO BE ERECTED AND MONITORED AS REQUIRED BY THE SUPERINTENDENT

APPROVED

PRELIMINARY

NOTES

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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	28/11/17	PRELIMINARY ISSUE	
B	02/02/18	TITLE BLOCK AMENDED	

REVISION HISTORY

University AUSTRALIA

PAYNTER DIXON BUILDING YOUR BUSINESS

Premise
BRISBANE OFFICE
LEVEL 1, 100 BRUNSWICK STREET
PO BOX 361
FORTITUDE VALLEY, QLD 4006
PH: (07) 3253 2222
WEB: www.premise.com.au

PROJECT DIRECTOR DATE

RPEQ DATE

CONSULTANTS:

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer:
Umow Lei

Landscape Architect:
Jeremy Ferrier

Building Certifier:
Building Certifiers Australia

Town Planning:
Northgroup Consulting

Acoustic Engineer:
Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Bera

CAMPUS:

PROJECT:
CQU GLADSTONE MARINA CAMPUS CONSOLIDATION

DISCIPLINE: CIVIL

DESCRIPTION:
EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

DATE	SCALE (A1)	DRAWN
11/17	1:100	BPB
CQU PROJECT MANAGER		CHECKED EK
JOB NO. MIS-0354		APPROVED

CQU PROJECT NO: CEQU0402

DRAWING NO: CQU-GLD-000-00-CIV-C706

REVISION: B

A:\BIM\CIVIL\engineering\Drawings\Autocad\Drawings\MIS\CQU-GLD-000-00-CIV-C706 EROSION AND SEDIMENT CONTROL NOTES AND DETAILS.dwg

SPECIFICATION FOR LANDSCAPE WORKS
AT
CQU GALDSTONE MARINA
CAMPUS CONSOLIDATION
HAIR & BEAUTY BUILDING
FOR
CQU AUSTRALIA

ISSUE C (90% Issue – Contract Documentation) – 28th March 2018

GENERAL

Supply materials and execute works described in this specification or as shown on

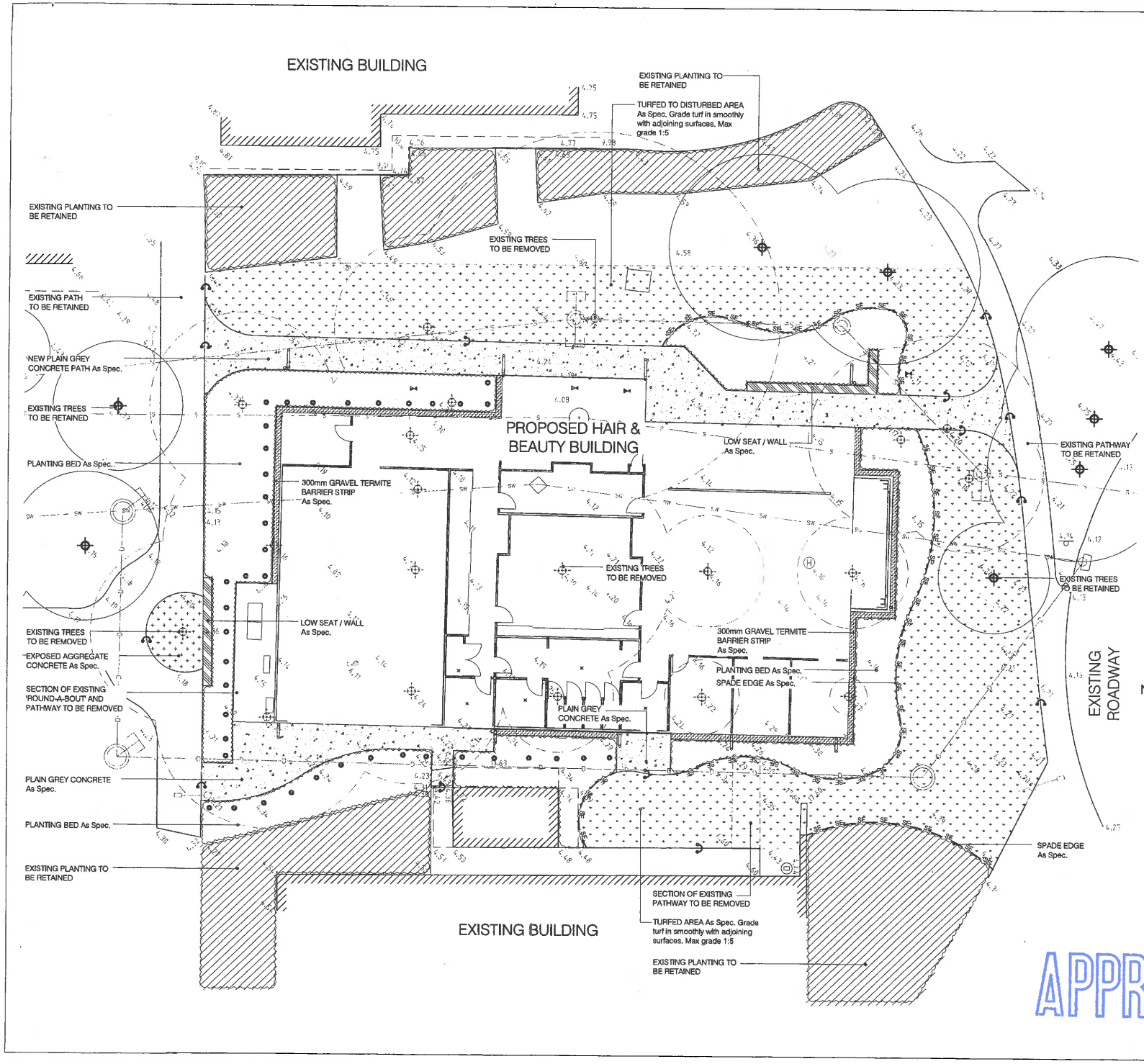
Landscape Drawing Nos.	CQU-GLD-602-GN-LSS-2001 Grading & Finishes Plan
	CQU-GLD-602-GN-LSS-4001 Planting Plan
	CQU-GLD-602-GN-LSS-5001 Landscape Details

EXTENT OF WORKS

The landscape works shall comprise:

Section 1 – General
Section 2 – Earthworks
Section 3 – Drainage
Section 4 – Edging
Section 5 – Paving
Section 6 – Walls
Section 7 – Topsoiling & Mulching
Section 8 – Planting Works
Section 9 – Turfing
Section 10 – Irrigation
Section 11 – Establishment

APPROVED



LEGEND

- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- EXISTING SURFACE LEVELS
- PLAIN GREY CONCRETE AS SPEC.
- EXPOSED AGGREGATE CONCRETE AS SPEC.
- SE SE — SPADE EDGE AS SPEC.
- TERMITE BARRIER STRIP AS SPEC.
- LOW SEATING WALL AS SPEC.
- TURFED AREA AS SPEC.
- PLANTING BEDS AS SPEC.
- EXISTING PLANTING TO BE RETAINED
- FALLS AS SPEC.
- SUBSOIL DRAINAGE AS SPEC.
- ADJACENT SURFACES FLUSH AS SPEC.
- PLANTING AS SPEC.
- NEW TREE PLANTING AS SPEC.

NOTES:

- Trees have been located away from existing services that have been surveyed as well as new services and lighting. When planting trees ensure there are no unidentified services underneath or new services that have been relocated on site conflicting with the tree locations. If there is any conflict seek Landscape Architects advice on repositioning any trees
- Refer Civil drawings for grading of all landscape areas. Ensure minimum and maximum falls (as outlined in the landscape specification) are adhered to.
- Refer civil drawings for all drainage details unless otherwise specified on the landscape plans
- Provide Irrigation to all planting beds as outlined in the landscape specification

NOTES

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7. VERIFY ALL RLs PRIOR TO STARTING ON SITE

AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	08.11.17	10% ISSUE	RM
B	23.11.17	COORDINATION	RM
C	30.11.17	COORDINATION	RM
D	06.12.17	80% ISSUE - DEVELOPED DESIGN	RM
E	16.01.18	90% ISSUE - CONTRACT DOCUMENTATION	RM
F	26.03.18	90% ISSUE - CONTRACT DOCUMENTATION	RM

REVISION HISTORY

BE WHAT YOU WANT TO BE
cqu.edu.au

PAYNTER DIXON
BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0700
Facsimile: (07) 3844 0722
Email: jeremy@jeremyferrier.com.au

CONSULTANTS:

Architects:
arkLAB

Civil/ Storm Water:
Premise

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STP Consultants

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Acoustic Engineer:
Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Zero

CAMPUS: CQU Gladstone Marina

PROJECT: CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION: HAIR & BEAUTY BUILDING
GRADING & FINISHES PLAN

DATE	SCALE (A1)	DRAWN
28/03/18	1:100	RM
CQU PROJECT MANAGER: PAUL BAILEY		CHECKED
		APPROVED JF

N

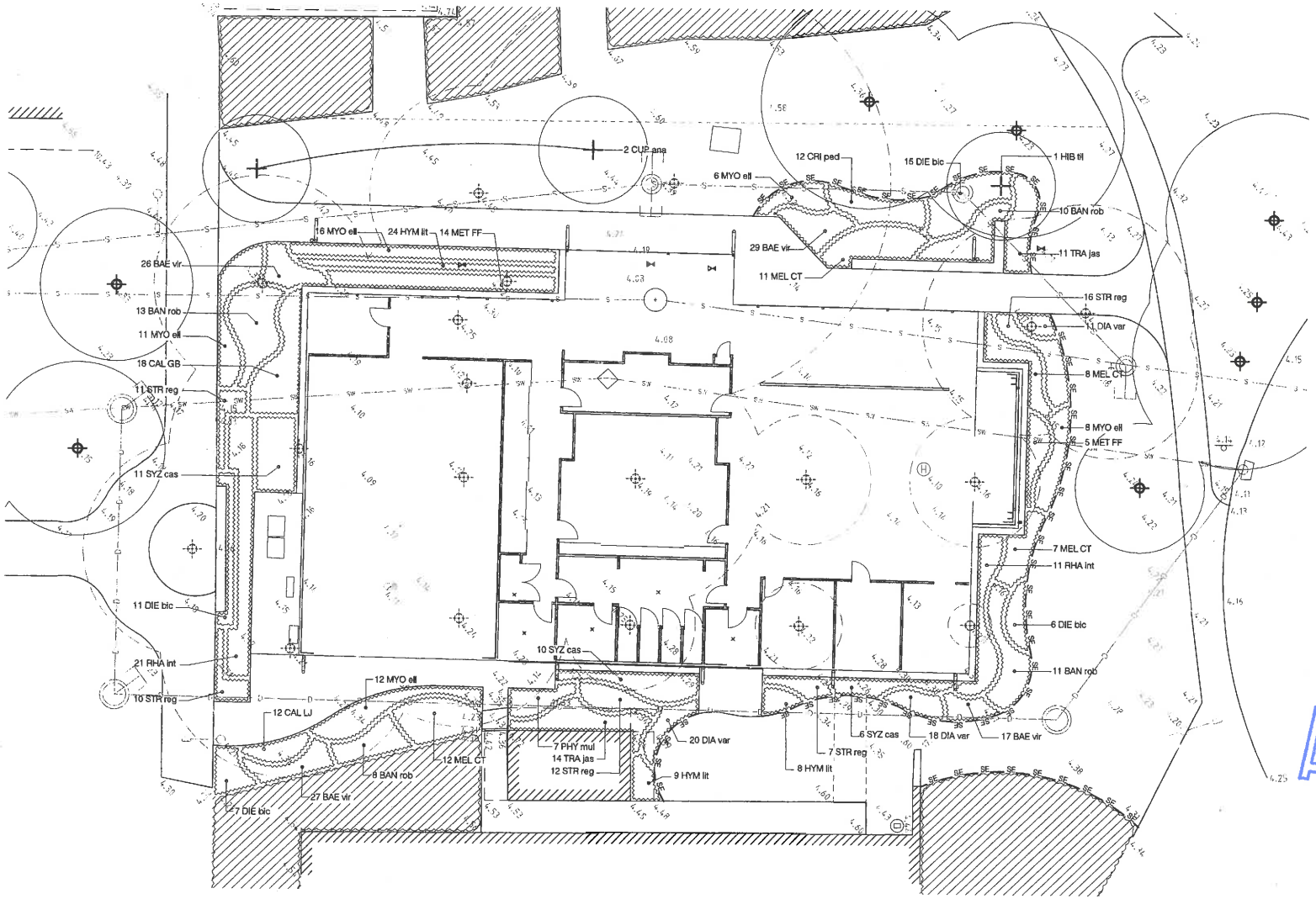
CQU PROJECT NO: CQU-RSG-17-6-DFM

DRAWING NO: CQU-GLB-602-GN-LSS-2001

REVISION: F

PLANT SCHEDULE

CODE	BOTANICAL NAME	NO.	SIZE	HEIGHT	SPREAD	STAKING / GUYING
BAE vir	BAECKEA virgata	99	200mm	300mm	-	-
BAN rob	BANKSIA robur	42	200mm	500mm	-	-
CAL GB	CALLISTEMON Great Balls of Fire	18	200mm	400mm	-	-
CAL LJ	CALLISTEMON 'little john'	12	200mm	200mm	-	-
CRI ped	CRINUM pedunculatum	12	140mm	300mm	-	-
CUP ana	CUPANIOPSIS anacardioides	2	45Lt	1800mm	600mm	S
DIA var	DIANELLA variegata	49	140mm	250mm	-	-
DIE bic	DIETES bicolor	39	140mm	300mm	-	-
HIB til	HIBISCUS tiliaceus Rubra	1	100Lt	2200mm	1000mm	S
HYM lit	HYMENOCALLIS littoralis	41	140mm	300mm	-	-
MEL CT	MELALEUCA linariifolia ' Claret tops'	38	200mm	400mm	-	-
MET FF	METROSIDEROS 'Fiji Fire'	19	200mm	400mm	-	-
MYO ell	MYOPORUM ellipticum	53	140mm	-	250mm	-
PHY mul	PHYLLANTHUS multiflora	7	200mm	350mm	-	-
RHA int	RHAPHIOLEPIS intermedia	32	200mm	500mm	-	-
STR reg	STRELITZIA reginae	56	200mm	450mm	-	-
SYZ 'cas'	SYZYGIUM cascade	27	200mm	500mm	-	-
TRA jas	TRACHELOSPERMUM jasminoides	25	140mm	-	300mm	-



APPROVED

PRELIMINARY

0 1 2 3 4 5 6 7 8 9 10 [m]

SCALE 1:100 @ A1

NOTES

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7. VERIFY ALL R's PRIOR TO STARTING ON SITE

AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	16.01.18	50% ISSUE - CONTRACT DOCUMENTATION	RM
B	28.03.18	80% ISSUE - CONTRACT DOCUMENTATION	RM

REVISION HISTORY

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0700
Facsimile: (07) 3844 0722
Email: jeremy@jeremyferrier.com.au

CONSULTANTS:

Architects:
arkLAB

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire
Mechanical/ Hydraulic Engineer:
Uscv Lai

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Acoustic Engineer:
Renzo Tonin
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Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Bera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
HAIR & BEAUTY BUILDING
PLANTING PLAN

DATE	SCALE (A1)	DRAWN
28/03/18	1:100	RM
CQU PROJECT MANAGER		CHECKED
PAUL BAILEY		APPROVED JF

N

CQU PROJECT NO. CQU-RSQ-17-8-DFM

DRAWING NO. CQU-GLD-602-GN-LSS-4001

REVISION B

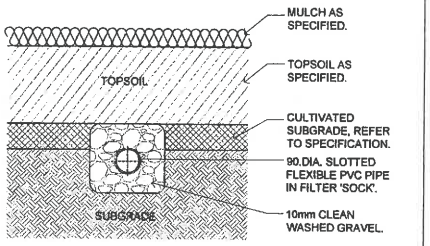
NOTES

1. CONNECT: Connect all subsoil drains to stormwater.

2. FALLS: Fall all pipes at a minimum of 1:60 or as indicated on drawings.

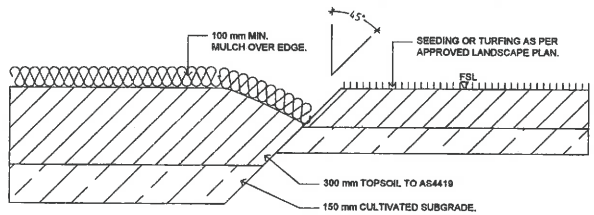
3. CONDUITS: Join drains to 100mm dia UPVC conduits when placing drains under paving areas.

4. GEOTEXTILE: Bidim A12 or similar



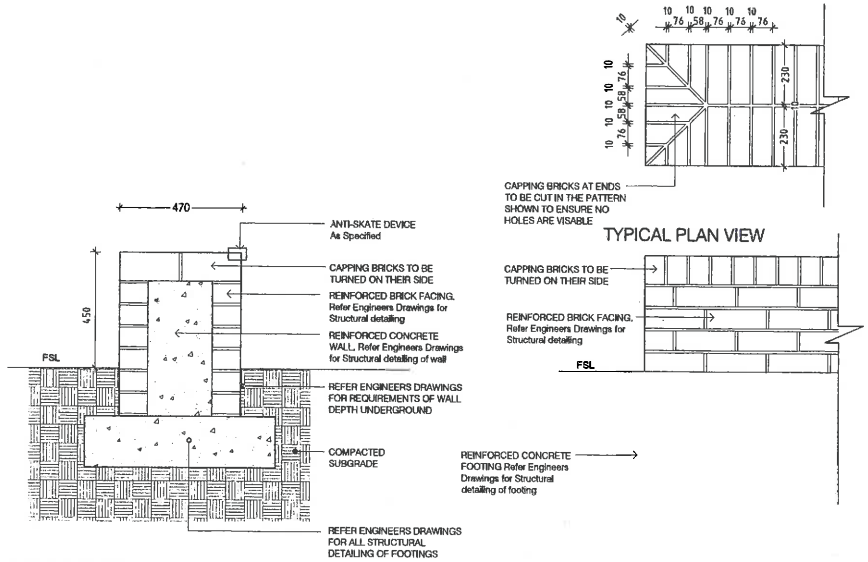
DETAIL LD001 - Subsoil Drainage

SCALE 1:10 @ A1; 1:20 @ A3



DETAIL LD002 - Spade Edge

SCALE 1:10 @ A1; 1:20 @ A3



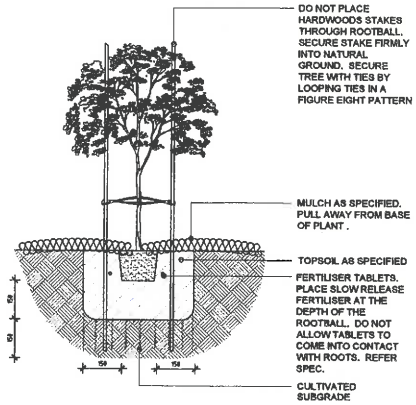
DETAIL LD003 - Low Seat / Wall

SCALE 1:10 @ A1; 1:20 @ A3

TABLE GUIDE	
PLANT SIZE	STAKE SIZE
450 - 600	900x25x25
600 - 900	1200x25x25
900 - 1200	1500x25x25
1200 - 1500	1800x25x25
1500 - 1800	2100x38x38
1800 - 2400	2400x38x38

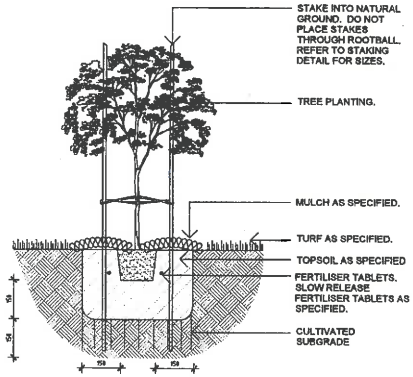
NOTES

- STAKING TO BE CARRIED OUT PRIOR TO BACKFILLING PLANTING HOLE
- POSITION STAKES AWAY FROM ROOTBALL STAKES TO BE ROUGH SAWN HWD TO SIZES AS SPECIFIED
- TIES SHALL BE NON-ABRASIVE, HEAVY DUTY POLYTHENE STRIPS LOOSELY TIED AROUND STEM IN A FIGURE EIGHT
- CONFIGURATION
  TIES SHALL BE ATTACHED TO STAKES WITH GALV. WIRE STAPLES.



DETAIL LD004 - Typical Tree Planting & Staking

SCALE nts



DETAIL LD005 - Tree Planting in Turf

SCALE nts

APPROVED

PRELIMINARY

NOTES

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7. VERIFY ALL RL'S PRIOR TO STARTING ON SITE

AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	18.01.18	50% ISSUE - CONTRACT DOCUMENTATION	RM
B	26.03.18	80% ISSUE - CONTRACT DOCUMENTATION	RM

REVISION HISTORY

BE WHAT YOU WANT TO BE cqu.edu.au

PAYNTER DIXON BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0700
Facsimile: (07) 3844 0722
Email: jeremy@jeremyferrier.com.au

CONSULTANTS:

Architects:
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Acoustic Engineer:
Renzo Tonin
Ron Rumble

Traffic Engineer:
Prentse

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Sera

CAMPUS: CQU Gladstone Marina

PROJECT: CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION: HAIR & BEAUTY BUILDING
LANDSCAPE DETAILS

DATE	SCALE (A1)	DRAWN
26/03/18	AS SHOWN	RM
CQU PROJECT MANAGER		CHECKED
PAUL BAILEY		
		APPROVED JF

N

CQU PROJECT NO. CQU-RSO-17-0-DFM

DRAWING NO. CQU-GLD-602-GN-LSS-5001

REVISION B

SPECIFICATION FOR LANDSCAPE WORKS
AT
CQU GALDSTONE MARINA
CAMPUS CONSOLIDATION
DFM SHED
FOR
CQU AUSTRALIA

ISSUE C (90% Issue – Contract Documentation) – 28th March 2018

GENERAL

Supply materials and execute works described in this specification or as shown on

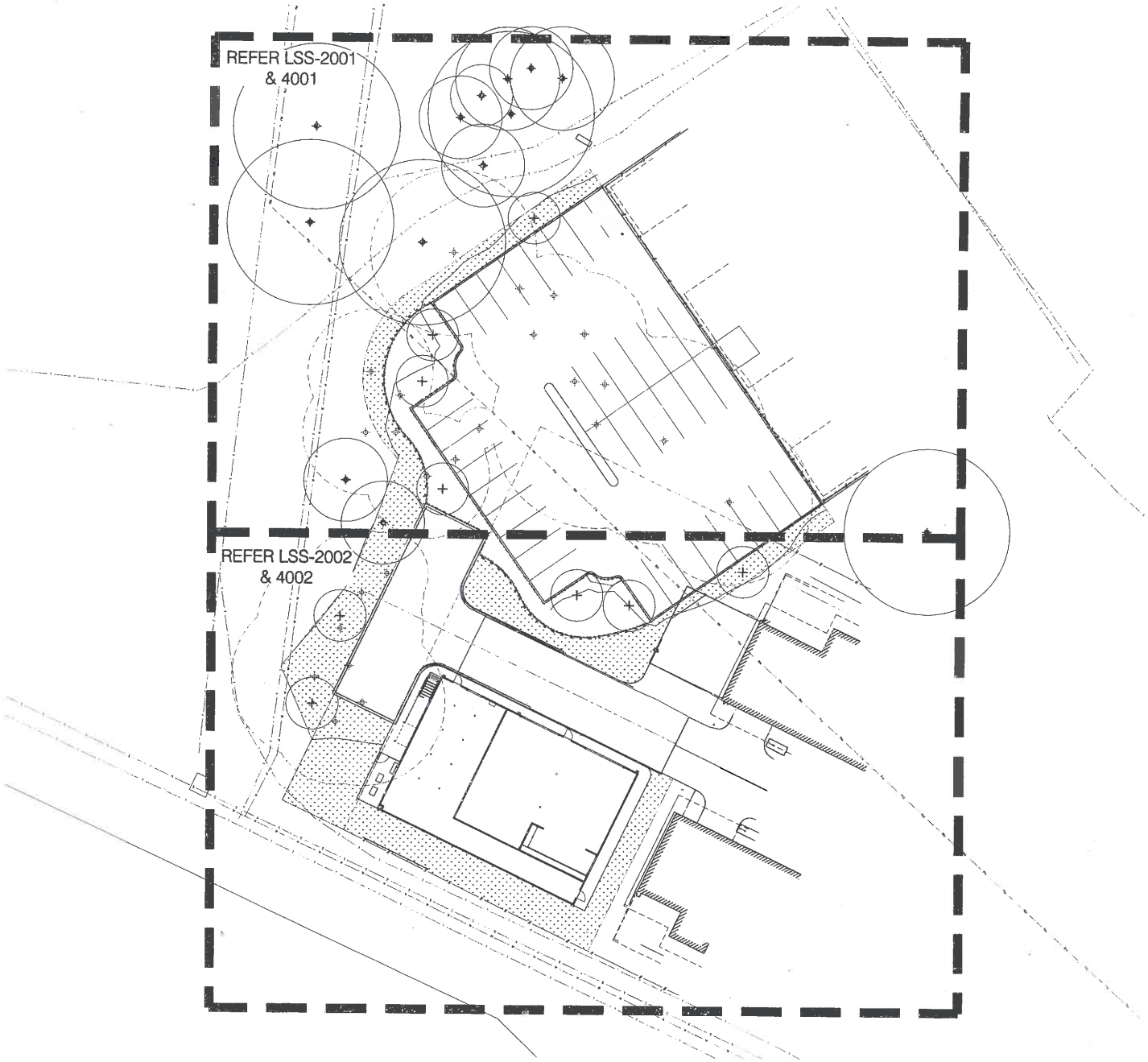
Landscape Drawing Nos.
CQU-GLD-613-GN-LSS-1001 Key Plan; Legend & Notes
CQU-GLD-613-GN-LSS-2001 Grading & Finishes Plan
CQU-GLD-613-GN-LSS-2002 Grading & Finishes Plan
CQU-GLD-613-GN-LSS-4001 Planting Plan
CQU-GLD-613-GN-LSS-4002 Planting Plan
CQU-GLD-613-GN-LSS-5001 Landscape Details

EXTENT OF WORKS

The landscape works shall comprise:

Section 1 – General
Section 2 – Earthworks
Section 3 – Drainage
Section 4 – Edging
Section 5 – Topsoiling & Mulching
Section 6 – Planting Works
Section 7 – Turfing
Section 8 – Irrigation
Section 9 – Establishment

APPROVED



LEGEND

- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- EXISTING SURFACE LEVELS
- SE SE — SPADE EDGE AS SPEC.
- TURFED AREA AS SPEC.
- PLANTING BEDS AS SPEC.
- FALLS AS SPEC.
- ADJACENT SURFACES FLUSH AS SPEC.
- PLANTING AS SPEC.
- NEW TREE PLANTING AS SPEC.

NOTES:

- Trees have been located away from existing services that have been surveyed and new services and lighting. When planting trees ensure there are no unidentified services underneath or new services that have been relocated on site conflicting with the tree locations. If there is any conflict seek Landscape Architects advice on repositioning any trees
- Refer Civil drawings for grading of all landscape areas. Ensure minimum and maximum falls (as outlined in the landscape specification) are adhered to.
- Refer civil drawings for all drainage details unless otherwise specified on the landscape plans
- Provide Irrigation to all planting beds as outlined in the landscape specification

APPROVED

PRELIMINARY

0 2 4 6 8 10 12 14 16 18 20 [m]

SCALE 1:200 @ A1

NOTES

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6. COND SHOWN FOR REFERENCE PURPOSE ONLY. MEASURE OFF EXISTING STRUCTURE WHERE INDICATED

7. VERIFY ALL R's PRIOR TO STARTING ON SITE

AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	21.12.17	80% ISSUE - DOCUMENTATION	BW
B	26.02.18	90% ISSUE - DOCUMENTATION	RM

REVISION HISTORY

PAYNTER DIXON
BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0700
Facsimile: (07) 3844 0722
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Ron Rumble

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Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Bera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
OFM SHED
KEY PLAN; LEGEND & NOTES

DATE	SCALE (A1)	DRAWN
26/02/2018	1:200	RM
CQU PROJECT MANAGER: PAUL BAILEY		CHECKED
		APPROVED JF

N

CQU PROJECT NO. CQU-RSO-17-0-OFM

DRAWING NO. CQU-GLD-613-GN-LSS-1001

REVISION B

EXISTING TREES TO BE RETAINED

NEW FENCING Refer Architects Drawings

ADJOINS LSS-2001

drawings for extent and details.

TURF TO DISTURBED AREA As Spec. Grade turf in smoothly with surrounding surfaces. Max 1:4 grade. Refer Civil Drawings for grading details

TURF TO DISTURBED AREA As Spec. Grade turf in smoothly with surrounding surfaces. Max 1:4 grade. Refer Civil Drawings for grading details

PROPOSED NEW ROADWAY & TURN-A-ROUND

Refer to Civil Drawings for Details

EXISTING CONCRETE SLAB TO BE CUT BACK TO ALLOW FOR NEW CARPARK AREA

NEW FENCING Refer Architects Drawings

SPADE EDGE As Spec.

PLANTING BED As Spec.

TURFED AREA As Spec.

EXISTING BUILDING

EXISTING SECTION OF FENCE TO BE DEMOLISHED. Refer Architects drawings for extent and details.

EXISTING TREES TO BE REMOVED SHOWN DASHED

NEW FENCING Refer Architects Drawings

PROPOSED DFM SHED

TURF TO DISTURBED AREA As Spec. Grade turf in smoothly with surrounding surfaces. Max 1:4 grade. Refer Civil Drawings for grading details

EXISTING BUILDING

APPROVED

PRELIMINARY

0 1 2 3 4 5 6 7 8 9 10 [m]

SCALE 1:100 @ A1

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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	21.11.17	90% ISSUE - DOCUMENTATION	RM
B	28.03.18	100% ISSUE - DOCUMENTATION	RM

REVISION HISTORY

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PAYNTER DIXON — BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101

Telephone: (07) 3844 0700
Facsimile: (07) 3844 0722
Email: jeremy@jeremyferrier.com.au

CONSULTANTS:

Architects:
arkLAB

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer:
Uncle Lal

Building Certifier:
Building Certifiers Australia

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Northgroup Consulting

Acoustic Engineer:
Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Bera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
DFM SHED
GRADING & FINISHES PLAN

DATE	SCALE (A1)	DRAWN
28/03/2018	1:100	RM
CQU PROJECT MANAGER: PAUL BAILEY		CHECKED
		APPROVED JF

N

CQU PROJECT NO. CQU-RSO-17-0-DFM

DRAWING NO. CQU-GLD-613-GN-LSS-2002

REVISION B

EXISTING TREES TO BE RETAINED

EXISTING SHED

EXISTING SHED

EXISTING SHED

TURF TO DISTURBED AREA As Spec. Grade turf in smoothly with surrounding surfaces. Max 1:4 grade. Refer Civil Drawings for grading details

SPADE EDGE As Spec.

PLANTING BED As Spec.

PROPOSED CARPARK
Refer to Civil Drawings for Details

EXISTING TREES TO BE REMOVED SHOWN DASHED

EXISITNG SECTION OF FENCE TO BE DEMOLISHED Refer Architects drawings for extent and details.

EXISTING TREES TO BE RETAINED

NEW FENCING Refer Architects Drawings

ADJOINS LSS-2002

TURF TO DISTURBED AREA As Spec.

APPROVED

0 1 2 3 4 5 6 7 8 9 10 [m]

SCALE 1:100 @ A1

PRELIMINARY

NOTES

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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	08.11.17	30% ISSUE	RM
B	24.11.17	40% ISSUE - DEVELOPED DESIGN	RM
C	7.12.17	90% ISSUE - DOCUMENTATION	RM
D	28.03.18	90% ISSUE - DOCUMENTATION	RM

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PAYNTER DIXON
BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0709
Facsimile: (07) 3844 0722
Email: jeremy@jeremyferrier.com.au

CONSULTANTS:

Architects:
arkLAB

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire
Mechanical/ Hydraulic Engineer:
Uncw Ltd

Building Certifier:
Building Certifiers Australia

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Ron Rumble

Traffic Engineer:
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Green Star/ ESD:
Bera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
DFM SHED
GRADING & FINISHES PLAN

DATE	SCALE (A1)	DRAWN
28/03/2018	1:100	RM
CQU PROJECT MANAGER		CHECKED
PAUL BAILEY		
		APPROVED JF

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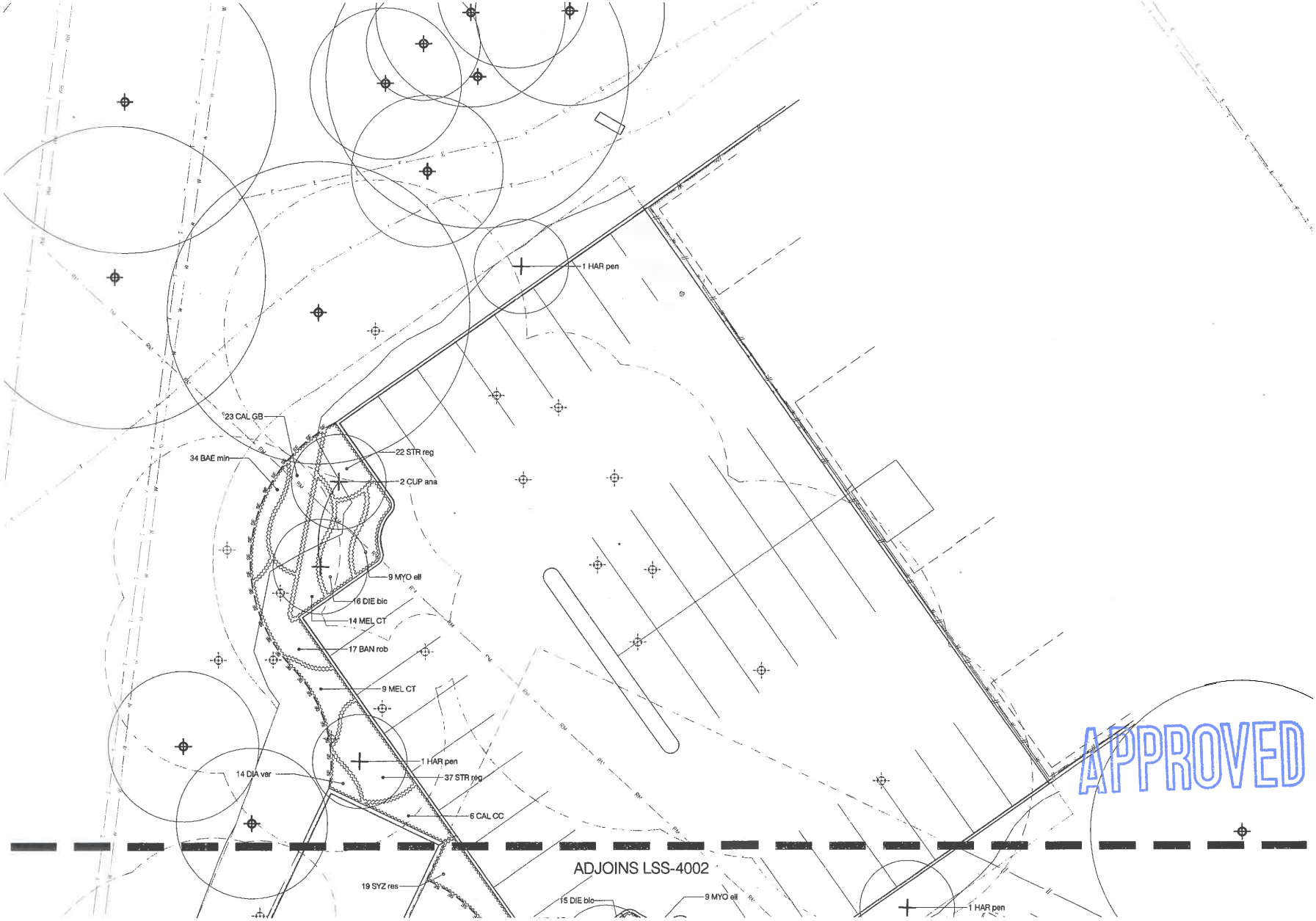
CQU PROJECT NO.
CQU-RSQ-17-8-DFM

DRAWING NO.
CQU-GLB-613-GN-LSS-2001

REVISION
D



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SCALE 1:100 @ A1

PRELIMINARY

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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	21.12.17	90% ISSUE - DOCUMENTATION	RM
B	26.03.18	90% ISSUE - DOCUMENTATION	RM

REVISION HISTORY

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PAYNTER DIXON
BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0700
Facsimile: (07) 3844 0722
Email: jeremy@jeremyferrier.com.au

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arkLAB

Civil/ Storm Water:
Premise

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STP Consultants

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Uncw Lai

Building Certifier:
Building Certifiers Australia

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Northgroup Consulting

Acoustic Engineer:
Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Jera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
DFM SHED
PLANTING PLAN

DATE	SCALE (A1)	DRAWN
26/03/2018	1:100	RM

CQU PROJECT MANAGER: PAUL BAILEY

CHECKED

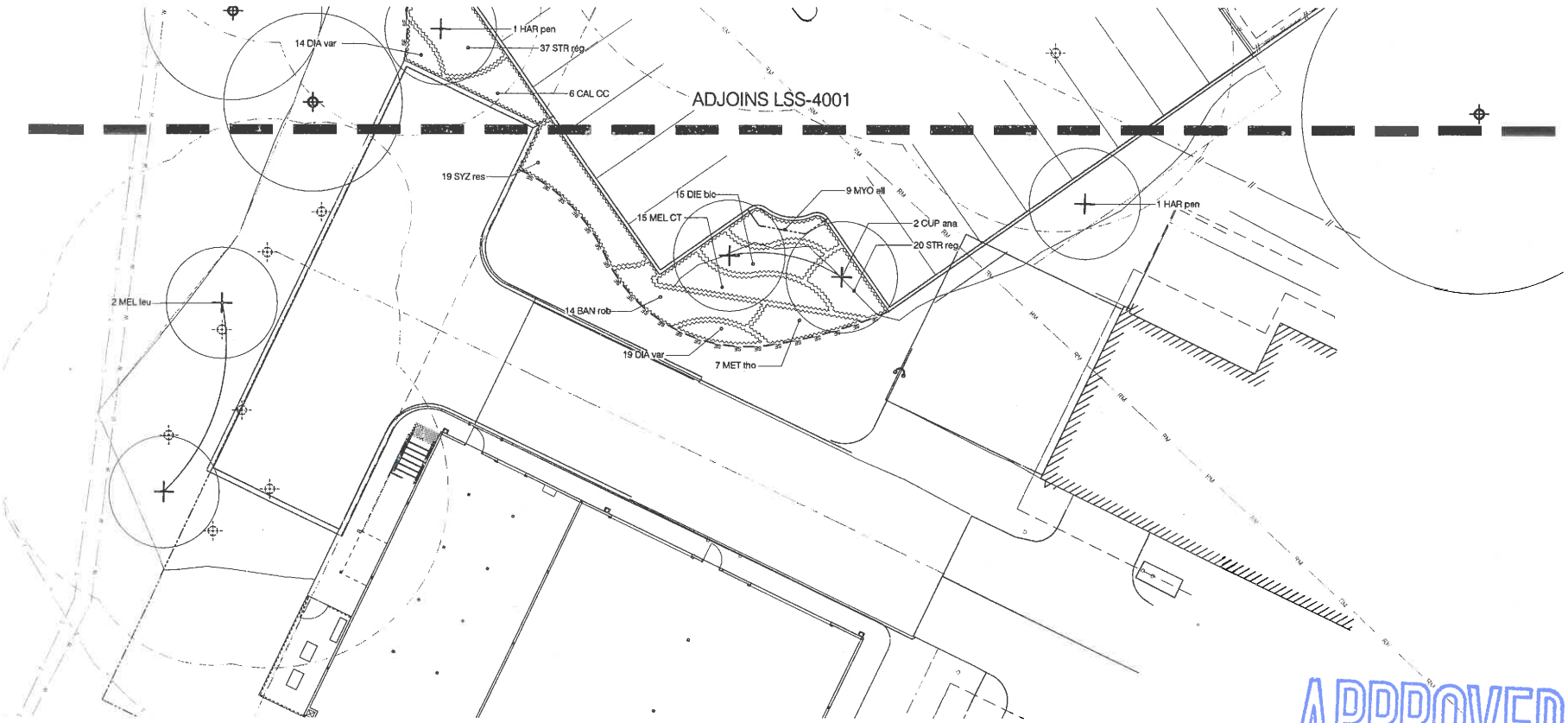
APPROVED: JF

N

CQU PROJECT NO.: CQU-RSQ-17-9-DFM

DRAWING NO.: CQU-GLD-613-GN-LSS-4001

REVISION: B



APPROVED

PLANT SCHEDULE

CODE	BOTANICAL NAME	NO.	SIZE	HEIGHT	SPREAD	STAKING / GUYING
BAE min	BAECKEA minima	34	200mm	300mm	-	-
BAN rob	BANKSIA robur	31	200mm	500mm	-	-
CAL CC	CALLISTEMON 'captain cook'	6	200mm	500mm	-	-
CAL GB	CALLISTEMON Great Balls of Fire	23	200mm	400mm	-	-
CUP ana	CUPANIOPSIS anacardioides	4	45Lt	1800mm	600mm	S
DIA var	DIANELLA variegata	33	140mm	250mm	-	-
DIE bic	DIETES bicolor	31	140mm	300mm	-	-
HAR pen	HARPULLIA pendula	3	45Lt	1800mm	700mm	S
MEL CT	MELALEUCA linarifolia 'Claret tops'	38	200mm	400mm	-	-
MEL leu	MELALEUCA leucadendra 'Broad leaf'	2	45Lt	2200mm	800mm	S
MET tho	METROSIDEROS thomasii	7	200mm	450mm	-	-
MYO ell	MYOPORUM ellipticum	18	140mm	-	250mm	-
STR reg	STRELITZIA reginae	79	200mm	450mm	-	-
SYZ res	SYZYGIUM resiliense	19	200mm	500mm	-	-

0 1 2 3 4 5 6 7 8 9 10 [m]

SCALE 1:100 @ A1

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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	21.12.17	90% ISSUE - DOCUMENTATION	RM
B	28.02.18	90% ISSUE - DOCUMENTATION	RM

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BE WHAT YOU WANT TO BE
cqu.edu.au

PAYNTER DIXON
BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0700
Facsimile: (07) 3844 0722
Email: jeremy@jeremyferrier.com.au

CONSULTANTS:

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Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Ibera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
DFM SHED
PLANTING PLAN

DATE	SCALE (A1)	DRAWN
28/03/2018	1:100	RM
CQU PROJECT MANAGER		CHECKED
PAUL BAILEY		
		APPROVED JF

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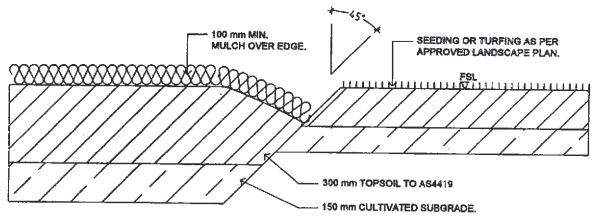
CQU PROJECT NO. CQU-RSQ-17-8-DFM

DRAWING NO. CQU-GLD-613-GN-LSS-4002

REVISION B

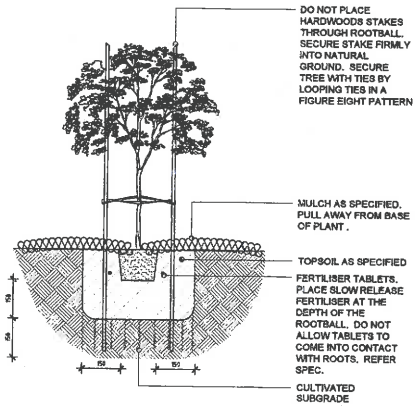


DETAIL LD001 - SPADE Edge

SCALE 1:10 @ A1; 1:20 @ A3

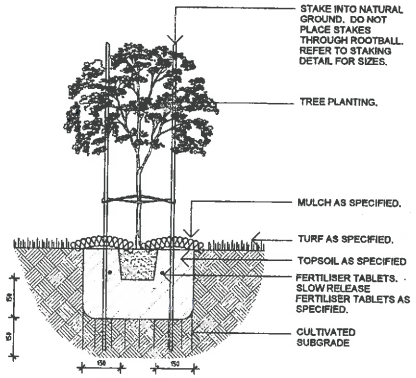
TABLE GUIDE	
PLANT SIZE	STAKE SIZE
450 - 600	900x25x25
600 - 900	1200x25x25
900 - 1200	1500x25x25
1200 - 1500	1800x25x25
1500 - 1800	2100x38x38
1800 - 2400	2400x38x38

NOTES
- STAKING TO BE CARRIED OUT PRIOR TO BACKFILLING PLANTING HOLE
- POSITION STAKES AWAY FROM ROOTBALL STAKES TO BE ROUGH SAWN HWD TO SIZES AS SPECIFIED
- TIES SHALL BE NON-ABRASIVE, HEAVY DUTY POLYTHENE STRIPS LOOSELY TIED AROUND STEM IN A FIGURE EIGHT
- CONFIGURATION
  TIES SHALL BE ATTACHED TO STAKES WITH GALV. WIRE STAPLES.



DETAIL LD002 - Typical Tree Planting & Staking

SCALE nts



DETAIL LD003 - Typical Tree Planting in Turf

SCALE nts

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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	21.12.17	90% TENDER DOCUMENTATION	RM
B	24.05.18	90% TENDER - DOCUMENTATION	RM

REVISION HISTORY

PAYNTER DIXON
BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0700
Facsimile: (07) 3844 0722
Email: jeremy@jeremyferrier.com.au

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Construction Sciences

Green Star/ ESD:
Bera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
DFM SHED
LANDSCAPE DETAILS

DATE	SCALE (A1)	DRAWN
28/03/2018	AS SHOWN	RM
CQU PROJECT MANAGER: PAUL BAILEY		CHECKED
		APPROVED JF

N

CQU PROJECT NO.: CQU-RSQ-17-0-DFM

DRAWING NO.: CQU-GLD-613-GN-LSS-5003

REVISION: B

SPECIFICATION FOR LANDSCAPE WORKS
AT
CQU GALDSTONE MARINA
CAMPUS CONSOLIDATION
ETC BUILDING
FOR
CQU AUSTRALIA

ISSUE C (90% Issue – Contract Documentation) – 28th March 2018

GENERAL

Supply materials and execute works described in this specification or as shown on

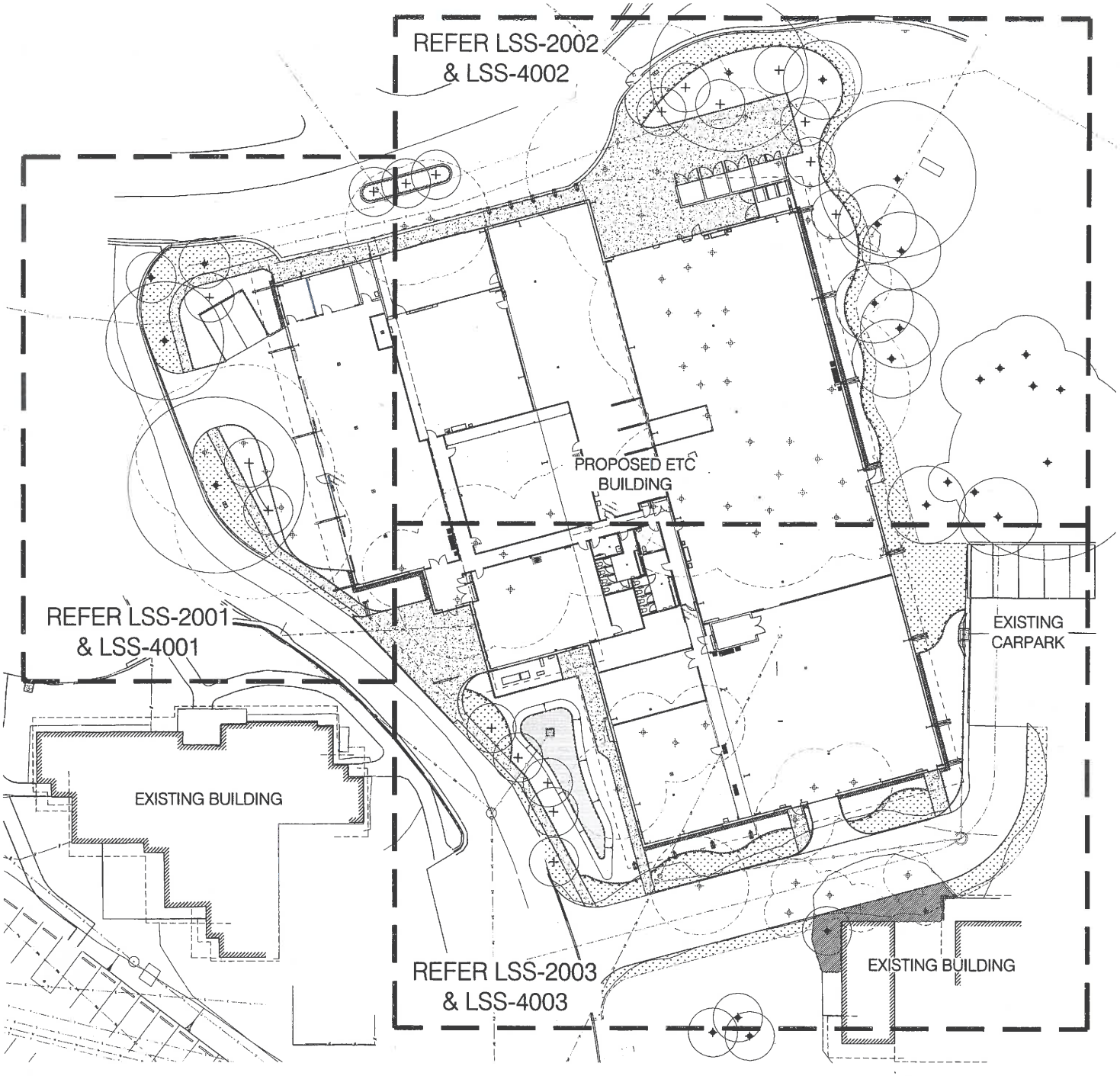
Landscape Drawing Nos.
CQU-GLD-605-GN-LSS-1001 Key Plan, Legend & Notes
CQU-GLD-605-GN-LSS-2001 Grading & Finishes Plan
CQU-GLD-605-GN-LSS-2002 Grading & Finishes Plan
CQU-GLD-605-GN-LSS-2003 Grading & Finishes Plan
CQU-GLD-605-GN-LSS-4001 Planting Plan
CQU-GLD-605-GN-LSS-4002 Planting Plan
CQU-GLD-605-GN-LSS-4003 Planting Plan
CQU-GLD-605-GN-LSS-5001 Landscape Details

EXTENT OF WORKS

The landscape works shall comprise:

Section 1 – General
Section 2 – Earthworks
Section 3 – Drainage
Section 4 – Edging
Section 5 – Paving
Section 6 – Topsoiling & Mulching
Section 7 – Bio-Retention Basin
Section 8 – Planting Works
Section 9 – Turfing
Section 10 – Irrigation
Section 11 – Establishment

APPROVED



LEGEND

- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- EXISTING SURFACE LEVELS
- PLAIN GREY CONCRETE AS SPEC.
- SE SE — SPADE EDGE AS SPEC.
- TERMITE BARRIER STRIP AS SPEC.
- TURFED AREA AS SPEC.
- PLANTING BEDS AS SPEC.
- EXISTING PLANTING TO BE RETAINED
- BIO-RETENTION PLANTING AS SPEC.
- FALLS AS SPEC.
- SUBSOIL DRAINAGE AS SPEC.
- ADJACENT SURFACES FLUSH AS SPEC.
- PLANTING AS SPEC.
- NEW TREE PLANTING AS SPEC.

NOTES:

- Trees have been located away from existing services that have been surveyed as well as new services and lighting. When planting trees ensure there are no unidentified services underneath or new services that have been relocated on site conflicting with the tree locations. If there is any conflict seek Landscape Architects advice on repositioning any trees
- Refer Civil drawings for grading of all landscape areas. Ensure minimum and maximum falls (as outlined in the landscape specification) are adhered to.
- Refer civil drawings for all drainage details unless otherwise specified on the landscape plans
- Provide Irrigation to all planting beds as outlined in the landscape specification

APPROVED

PRELIMINARY

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SCALE 1:200 @ A1

NOTES

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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	19.01.18	90% ISSUE - CONTRACT DOCUMENTATION	RM
B	26.03.18	95% ISSUE - CONTRACT DOCUMENTATION	RM

REVISION HISTORY

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PAYNTER DIXON
BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0700
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Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Sera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
ETC BUILDING
KEY PLAN; LEGEND & NOTES

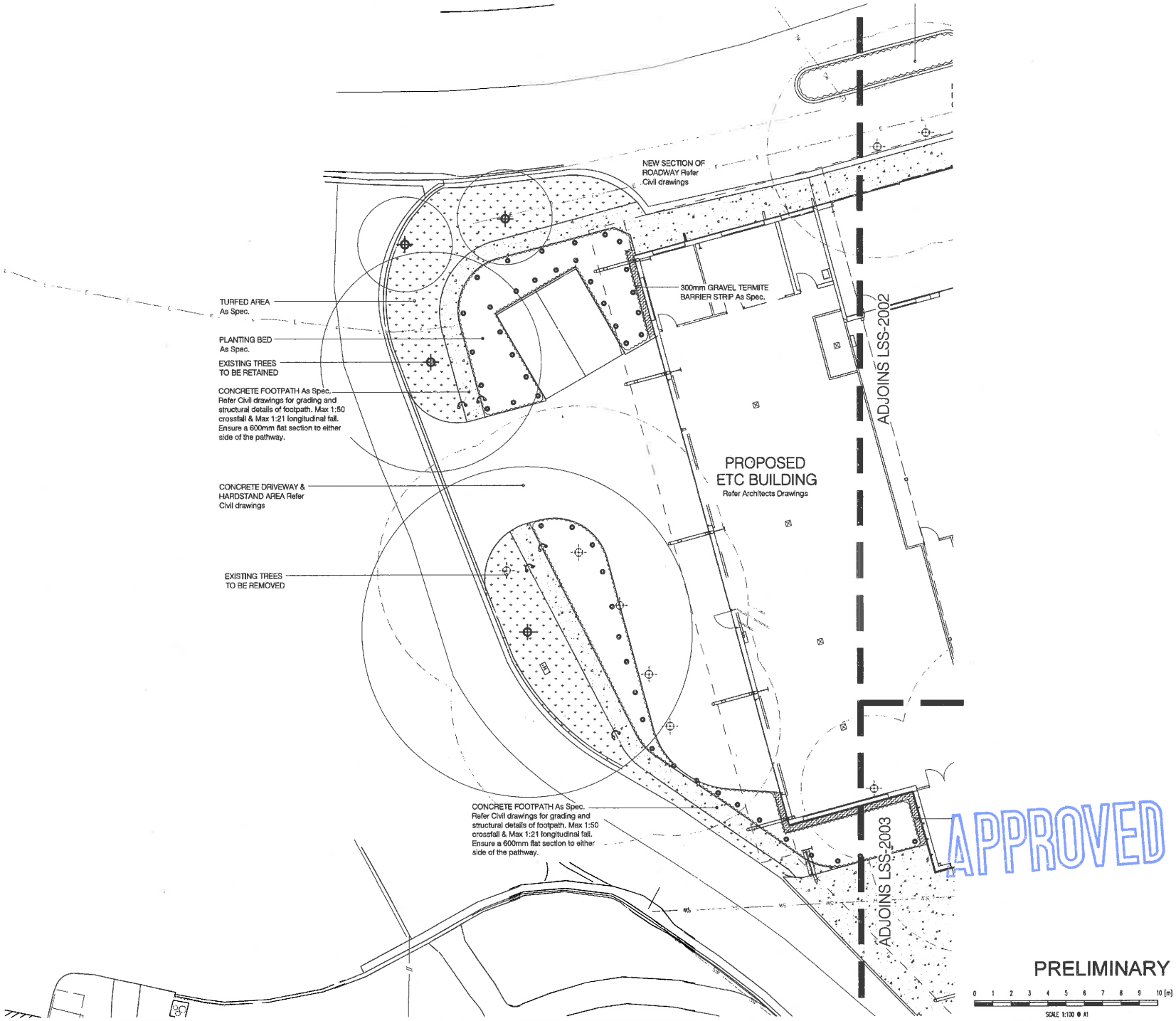
DATE	SCALE (A1)	DRAWN
26/03/18	1:200	RM
CQU PROJECT MANAGER		CHECKED
PAUL BAILEY		APPROVED JF

N

CQU PROJECT NO.
CQU-RSQ-17-8-DFM

DRAWING NO.
CQU-GLD-605-GN-LSS-1001

REVISION
B



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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	06.11.17	30% ISSUE	RM
B	06.12.17	50% ISSUE - DEVELOPED DESIGN	RM
C	19.01.18	90% ISSUE - CONTRACT DOCUMENTATION	RM
D	26.03.18	90% ISSUE - CONTRACT DOCUMENTATION	RM

REVISION HISTORY

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PAYNTER DIXON
BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0700
Facsimile: (07) 3844 0732
Email: jeremy@jeremyferrier.com.au

CONSULTANTS:

Architects:
arkLAB

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire
Mechanical/ Hydraulic Engineer:
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Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Sera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
ETC BUILDING
GRADING & FINISHES PLAN

DATE	SCALE (A1)	DRAWN
26/03/18	1:100	RM

CQU PROJECT MANAGER: PAUL BAILEY
CHECKED:
APPROVED: JF

N

CQU PROJECT NO.: CQU-RSG-17-0-DFM
DRAWING NO.: CQU-GLD-605-GN-LSS-2001
REVISION: D

TURF TO DISTURBED AREA As Spec. Grade turf in smoothly with surrounding surface levels. Max grade 1:4. Refer civil drawing s for grading details

EXISTING TREES TO BE RETAINED

PLANTING BED As Spec.

SPADE EDGE As Spec.

PLANTING BED As Spec.

EXISTING TREES TO BE REMOVED

CONCRETE FOOTPATH & HARDSTAND AREA As Spec. Refer Civil drawings for grading and structural details of footpath. Max 1:50 crossfall & Max 1:21 longitudinal fall.

NEW SECTION OF ROADWAY Refer Civil drawings

300mm GRAVEL TERMITE BARRIER As Spec.

EXISTING TREES TO BE RETAINED

PROPOSED ETC BUILDING

Refer Architects Drawings

ADJOINS LSS-2001

ADJOINS LSS-2003

APPROVED

PRELIMINARY

0 1 2 3 4 5 6 7 8 9 10 [m]

SCALE 1:100 @ A1

N

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AMENDMENTS

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PAYNTER DIXON

BUILDING YOUR BUSINESS

JEREMY FERRIER

LANDSCAPE ARCHITECT

72 Vulture Street,

West End QLD 4101

Telephone: (07) 3844 0700

Facsimile: (07) 3844 0722

Email: jeremy@jeremyferrier.com.au

CONSULTANTS:

Architects:
arkLAB

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer:
Urow Lai

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Ron Rumble

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Construction Sciences

Green Star/ ESD:
Sera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
ETC BUILDING
GRADING & FINISHES PLAN

DATE	SCALE (A1)	DRAWN
26/03/18	1:100	RM
CQU PROJECT MANAGER: PAUL BAILEY		CHECKED
		APPROVED JF

CQU PROJECT NO.
CQU-RSQ-17-0-DFM

DRAWING NO.
CQU-GLB-605-GN-LSS-2002

REVISION
B

ADJOINS LSS-2002

ADJOINS LSS-2001

300mm GRAVEL TERMITE BARRIER STRIP As Spec.

CONCRETE FOOTPATH & HARDSTAND AREA As Spec. Refer Civil drawings for grading and structural details of footpath. Max 1:50 crossfall & Max 1:21 longitudinal fall.

TURF TO DISTURBED AREA As Spec. Grade turf in smoothly with surrounding surface levels. Max grade 1:4. Refer civil drawing s for grading details

EXISTING (REDUCED) CARPARK

Refer Engineers Drawings

CONCRETE FOOTPATH As Spec. Refer Civil drawings for grading and structural details of footpath. Max 1:50 crossfall & Max 1:21 longitudinal fall. Ensure a 600mm flat section to either side of the pathway.

PROPOSED ETC BUILDING

Refer Architects Drawings

CONCRETE FOOTPATH As Spec. Refer Civil drawings for grading and structural details of footpath. Max 1:50 crossfall & Max 1:21 longitudinal fall. Ensure a 600mm flat section to either side of the pathway.

EXISTING TREES TO BE REMOVED

TURFED AREA As Spec.

PLANTING BED As Spec.

BIO-RETENTION BASIN PLATING IN FILTER MEDIA As Spec. Refer Civil drawings for bio-retention basin details

SPADE EDGE As Spec.

PLANTING BED As Spec.

300mm GRAVEL TERMITE BARRIER STRIP As Spec.

SPADE EDGE As Spec.

NEW SECTION OF ROADWAY Refer Civil drawings

TURFED AREA As Spec.

EXISTING PLANTING TO BED TO BE CUT BACK AND PLANTING RETAINED WHERE POSSIBLE. Make good any disturbance to the planting bed between the new roadway and the existing building

EXISTING BUILDING

TURF TO DISTURBED AREA As Spec. Grade turf in smoothly with surrounding surface levels. Max grade 1:4. Refer civil drawing s for grading details

EXISTING BUILDING

APPROVED

PRELIMINARY

0 1 2 3 4 5 6 7 8 9 10 [m]

SCALE 1:100 @ A1

NOTES

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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	19.03.18	90% ISSUE - CONTRACT DOCUMENTATION	RM
B	26.03.18	90% ISSUE - CONTRACT DOCUMENTATION	RM

REVISION HISTORY

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PAYNTER DIXON — BUILDING YOUR BUSINESS

JEREMY FERRIER LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0700
Facsimile: (07) 3844 0722
Email: jeremy@jeremyferrier.com.au

CONSULTANTS:

Architects:
arkLAB

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire
Mechanical/ Hydraulic Engineer:
Union Lai

Building Certifier:
Building Certifiers Australia

Town Planning:
Northgroup Consulting

Acoustic Engineer:
Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Zero

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
ETC BUILDING
GRADING & FINISHES PLAN

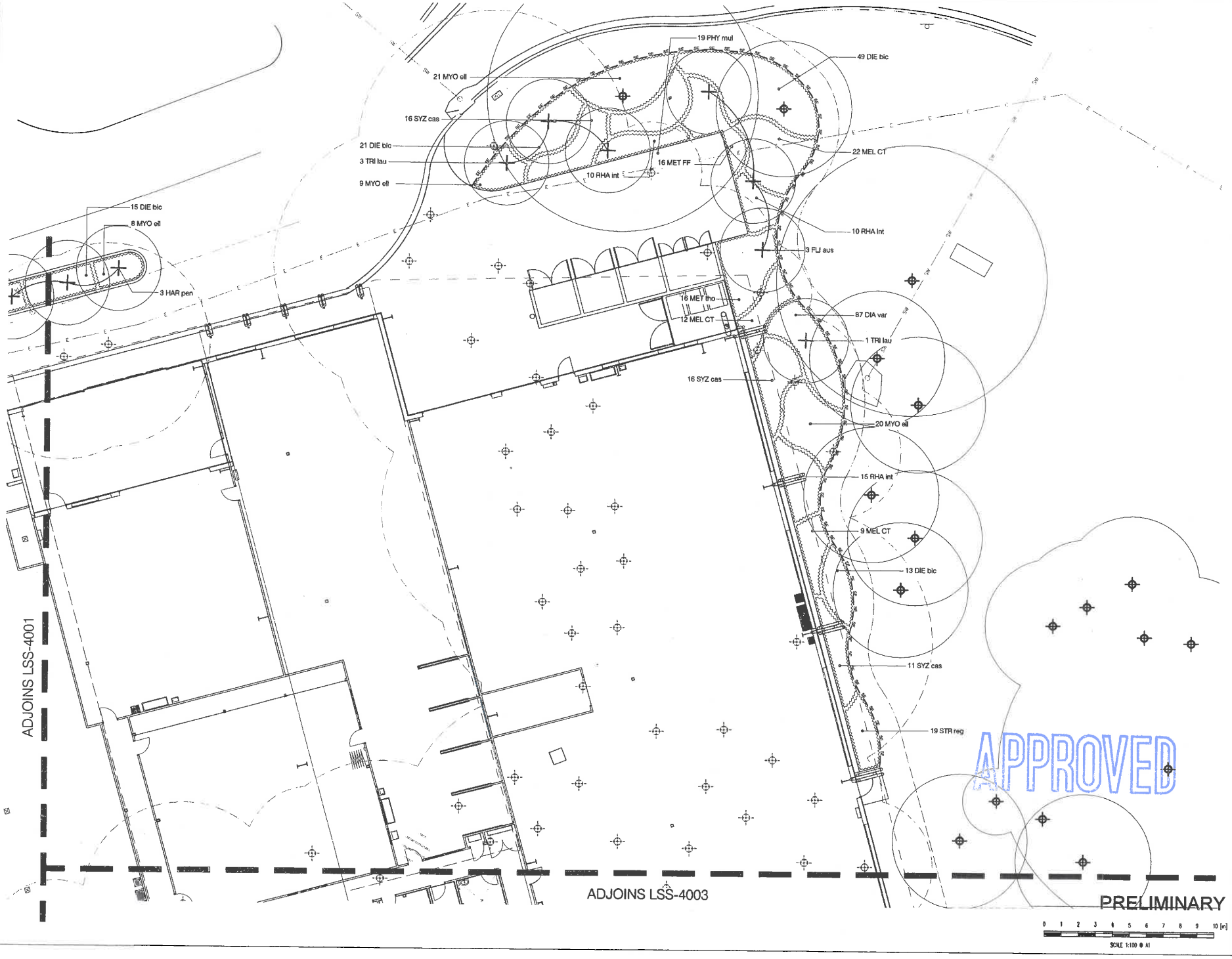
DATE	SCALE (A1)	DRAWN
26/03/18	1:100	RM
CQU PROJECT MANAGER		CHECKED
PAUL BAILEY		
		APPROVED JF

N

CQU PROJECT NO. CQU-RSQ-17-0-DFM

DRAWING NO. CQU-GLD-605-GN-LSS-2003

REVISION B



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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	14.01.14	90% ISSUE - CONTRACT DOCUMENTATION	RM
B	30.03.14	90% ISSUE - CONTRACT DOCUMENTATION	RM

REVISION HISTORY

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PAYNTER DIXON
BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0700
Facsimile: (07) 3844 0722
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Green Star/ ESD:
Bera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
ETC BUILDING
PLANTING PLAN

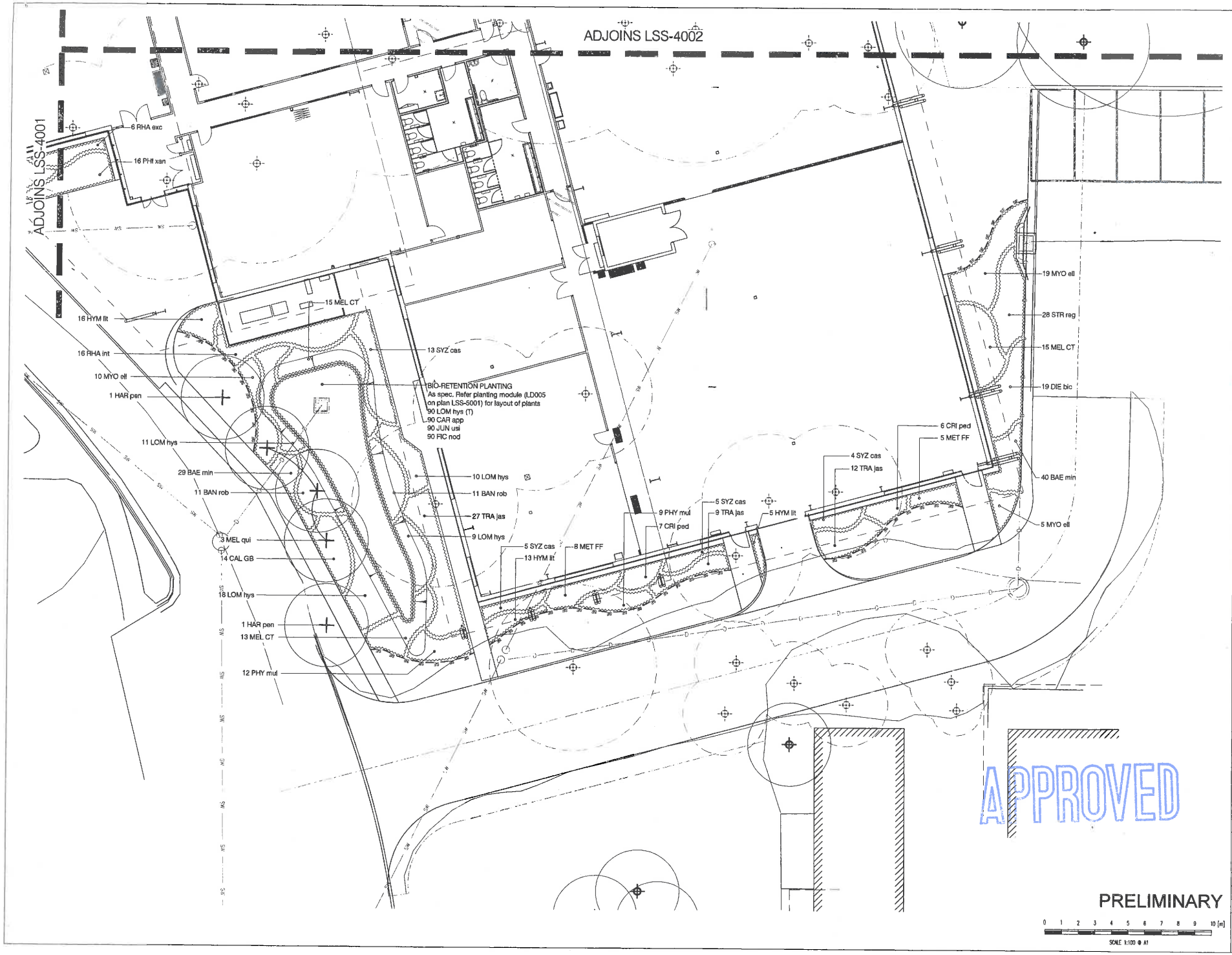
DATE	SCALE (A1)	DRAWN
28/03/18	1:100	RM
CQU PROJECT MANAGER		CHECKED
PAUL BAILEY		
		APPROVED JF

N

CQU PROJECT NO.
CQU-RSO-17-8-DFM

DRAWING NO.
CQU-GLD-605-GN-LSS-4003

REVISION
B



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PAYNTER DIXON
BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0790
Facsimile: (07) 3844 0722
Email: jeremy@jeremyferrier.com.au

CONSULTANTS:

Architects:
arkLAB

Civil/ Storm Water:
Premise

Structural Engineer:
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CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
ETC BUILDING
PLANTING PLAN

DATE	SCALE (A1)	DRAWN
28/03/18	1:100	RM
CQU PROJECT MANAGER: PAUL BAILEY		CHECKED
		APPROVED JF

N

CQU PROJECT NO. CQU-RSQ-17-6-DFM

DRAWING NO. CQU-GLD-605-GN-LSS-4003

REVISION B

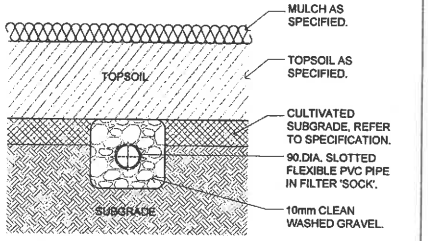
NOTES

1. CONNECT: Connect all subsoil drains to stormwater.

2. FALLS: Fall all pipes at a minimum of 1:60 or as indicated on drawings.

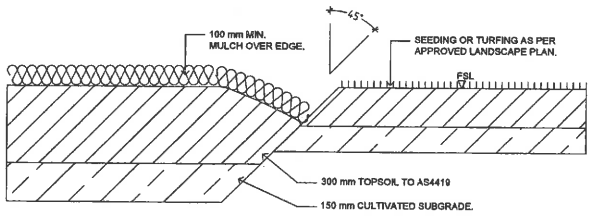
3. CONDUITS: Join drains to 100mm dia UPVC conduits when placing drains under paving areas.

4. GEOTEXTILE: Bidim A12 or similar



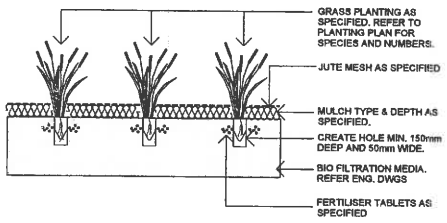
DETAIL LD001 - Subsoil Drainage

SCALE 1:10 @ A1; 1:20 @ A3



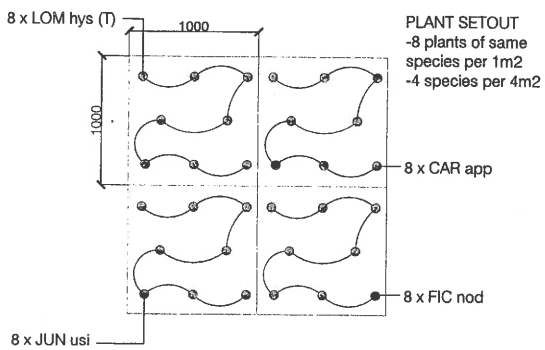
DETAIL LD002 - Spade Edge

SCALE 1:10 @ A1; 1:20 @ A3



DETAIL LD003 - Bio-retention Planting in Filter Media

SCALE nts



PLANT SETOUT
-8 plants of same species per 1m2
-4 species per 4m2

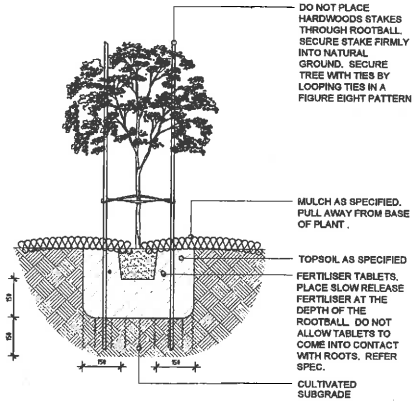
DETAIL LD004 - Bio-Retention Planting Setout / Module

SCALE 1:20 @ A1; 1:40 @ A3

TABLE GUIDE

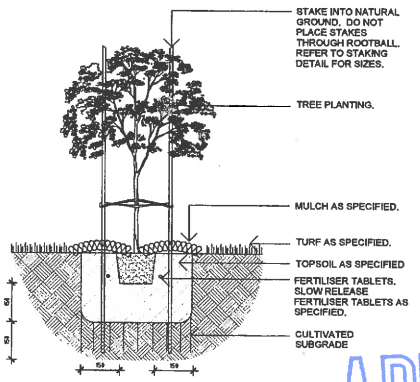
PLANT SIZE	STAKE SIZE
450 - 600	900x25x25
600 - 900	1200x25x25
900 - 1200	1500x25x25
1200 - 1500	1800x25x25
1500 - 1800	2100x38x38
1800 - 2400	2400x38x38

NOTES
- STAKING TO BE CARRIED OUT PRIOR TO BACKFILLING PLANTING HOLE
- POSITION STAKES AWAY FROM ROOTBALL STAKES TO BE ROUGH SAWN HWD TO SIZES AS SPECIFIED
- TIES SHALL BE NON-ABRASIVE, HEAVY DUTY POLYTHENE STRIPS LOOSELY TIED AROUND STEM IN A FIGURE EIGHT
- CONFIGURATION
  TIES SHALL BE ATTACHED TO STAKES WITH GALV. WIRE STAPLES.



DETAIL LD005 - Typical Tree Planting & Staking

SCALE nts



DETAIL LD006 - Tree Planting in Turf

SCALE nts

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PRELIMINARY

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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	19.07.18	60% IMPLE - CONTRACT DOCUMENTATION	RM
B	24.08.18	60% IMPLE - CONTRACT DOCUMENTATION	RM

REVISION HISTORY

PAYNTER DIXON
BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0700
Facsimile: (07) 3844 0722
Email: jeremy@jeremyferrier.com.au

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Bera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
ETC BUILDING
LANDSCAPE DETAILS

DATE	SCALE (A1)	DRAWN
28/03/18	AS SHOWN	RM
CQU PROJECT MANAGER: PAUL BAILEY		CHECKED
		APPROVED JF

N

CQU PROJECT NO. CQU-RSQ-174-DFM

DRAWING NO. CQU-GLB-605-GN-LSS-5001

REVISION B

SPECIFICATION FOR LANDSCAPE WORKS
AT
CQU GALDSTONE MARINA
CAMPUS CONSOLIDATION
101 SPACE CARPARK
FOR
CQU AUSTRALIA

ISSUE C (90% Issue – Contract Documentation) – 28th March 2018

GENERAL

Supply materials and execute works described in this specification or as shown on

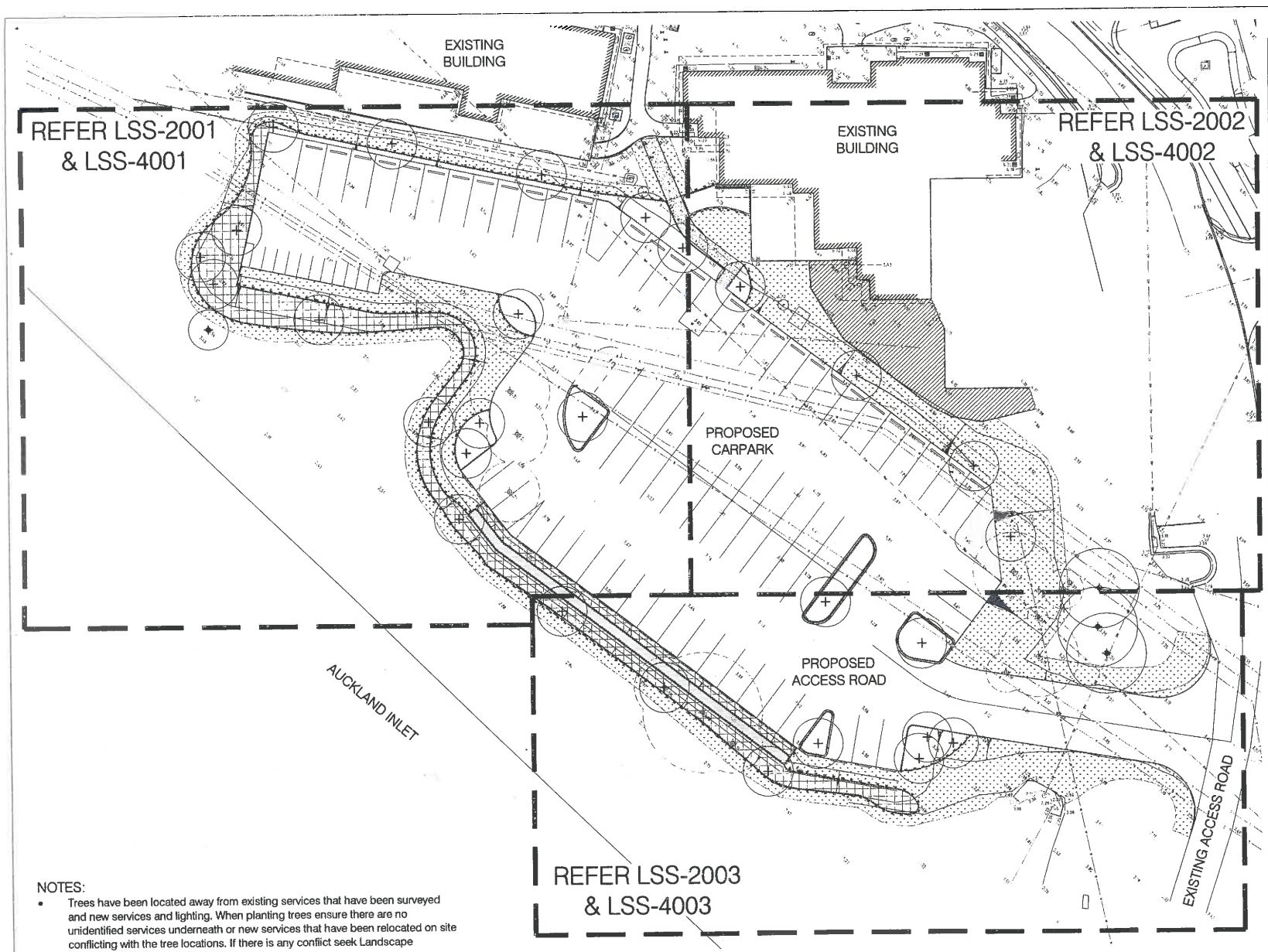
Landscape Drawing Nos.	CQU-GLD-000-GN-LSS-1001 Key Plan, Legend & Notes
	CQU-GLD-000-GN-LSS-2001 Grading & Finishes Plan
	CQU-GLD-000-GN-LSS-2002 Grading & Finishes Plan
	CQU-GLD-000-GN-LSS-2003 Grading & Finishes Plan
	CQU-GLD-000-GN-LSS-4001 Planting Plan
	CQU-GLD-000-GN-LSS-4002 Planting Plan
	CQU-GLD-000-GN-LSS-4003 Planting Plan
	CQU-GLD-000-GN-LSS-5001 Landscape Details

EXTENT OF WORKS

The landscape works shall comprise:

Section 1 – General
Section 2 – Earthworks
Section 3 – Drainage
Section 4 – Edging
Section 5 – Paving
Section 6 – Topsoiling & Mulching
Section 7 – Bio-Retention Basin
Section 8 – Planting Works
Section 9 – Turfing
Section 10 – Irrigation
Section 11 – Establishment

APPROVED



LEGEND

- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- EXISTING SURFACE LEVELS
- PLAIN GREY CONCRETE AS SPEC.
- SE SE — SPADE EDGE AS SPEC.
- TERMITE BARRIER STRIP AS SPEC.
- TURFED AREA AS SPEC.
- PLANTING BEDS AS SPEC.
- EXISTING PLANTING TO BE RETAINED
- BIO-RETENTION PLANTING AS SPEC.
- PLANTING BED WITH EROSION CONTROL MESH As Spec.
- FALLS AS SPEC.
- SUBSOIL DRAINAGE AS SPEC.
- ADJACENT SURFACES FLUSH AS SPEC.
- PLANTING AS SPEC.
- NEW TREE PLANTING AS SPEC.

NOTES:

- Trees have been located away from existing services that have been surveyed and new services and lighting. When planting trees ensure there are no unidentified services underneath or new services that have been relocated on site conflicting with the tree locations. If there is any conflict seek Landscape Architects advice on repositioning any trees
- Refer Civil drawings for grading of all landscape areas. Ensure minimum and maximum falls (as outlined in the landscape specification) are adhered to.
- Ensure no area's of mangroves are affected by construction or site runoff.
- Refer civil drawings for all drainage details unless otherwise specified on the landscape plans
- Provide Irrigation to all planting beds as outlined in the landscape specification

0 2 4 6 8 10 12 14 16 18 20 [m]

SCALE 1:200 @ A1

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PRELIMINARY

NOTES

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7. VERIFY ALL RL'S PRIOR TO STARTING ON SITE

AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	21.12.17	90% ISSUE - CONTRACT DOCUMENTATION	RM
B	28.03.18	100% ISSUE - CONTRACT DOCUMENTATION	RM

REVISION HISTORY

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PAYNTER DIXON
BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0700
Facsimile: (07) 3844 0722
Email: jeremy@jeremyferrier.com.au

CONSULTANTS:

Architects:
arkLAB

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer:
Umow Lai

Building Certifier:
Building Certifiers Australia

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Northgroup Consulting

Acoustic Engineer:
Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Bera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
101 SPACE CARPARK
KEY PLAN; LEGEND & NOTES

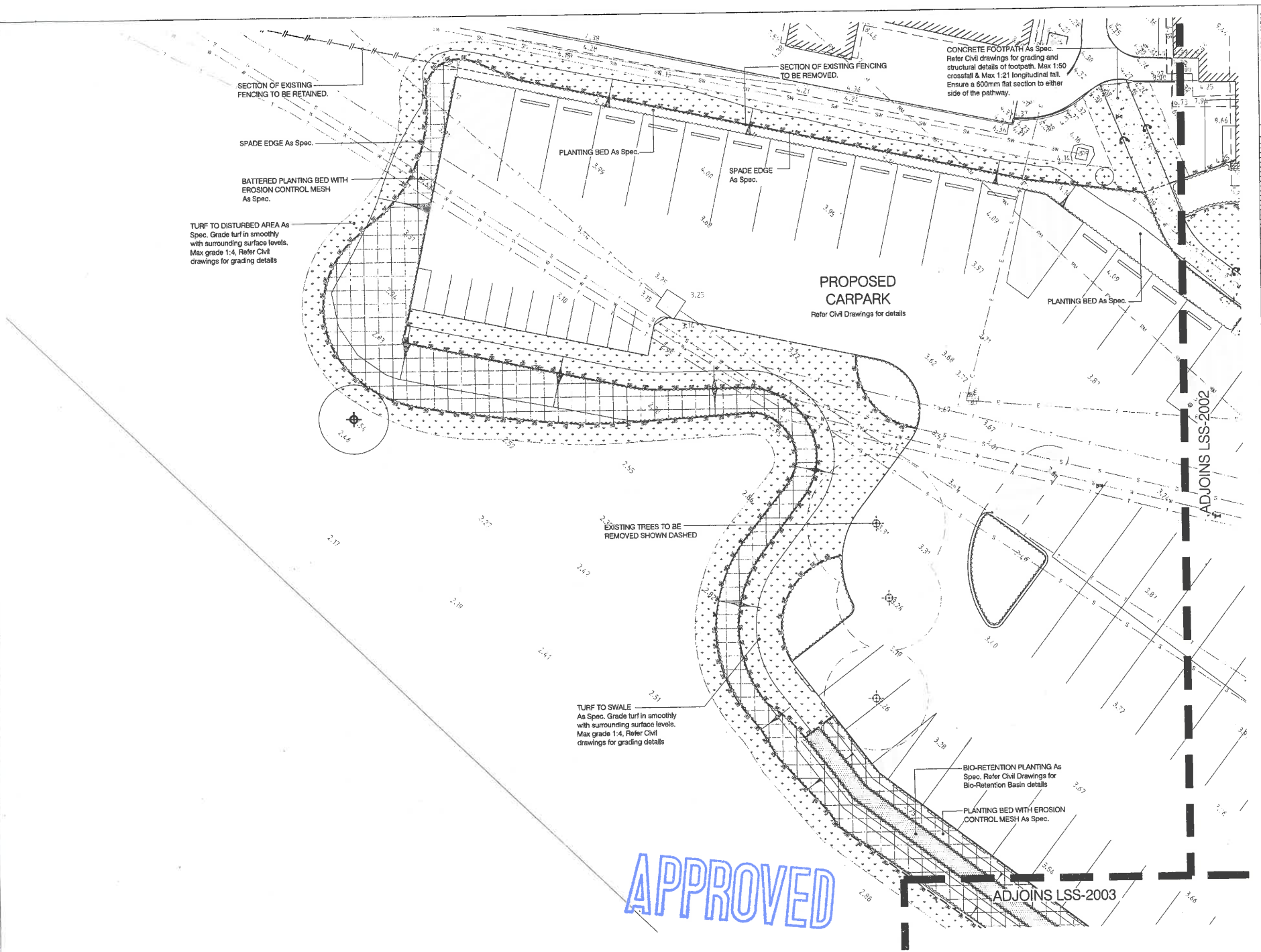
DATE	SCALE (A1)	DRAWN
28.03.18	1:200	RM
CQU PROJECT MANAGER: PAUL BAILEY		CHECKED
		APPROVED JF

N

CQU PROJECT NO.: CQU-RSQ-17-0-OFM

DRAWING NO.: CQU-GLD-000-GN-LSS-1001

REVISION: B



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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	06.11.17	30% ISSUE	RM
B	01.12.17	COORDINATION	RM
C	08.12.17	50% ISSUE - DEVELOPED DESIGN	RM
D	21.12.17	90% ISSUE - CONTRACT DOCUMENTATION	RM
E	26.03.18	90% ISSUE - CONTRACT DOCUMENTATION	RM

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PAYNTER DIXON
BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0769
Facsimile: (07) 3844 0722
Email: jeremy@jeremyferrier.com.au

CONSULTANTS:

Architects:
arkLAB

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire
Mechanical/ Hydraulic Engineer:
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Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Bera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
101 SPACE CARPARK
GRADING & FINISHES PLAN

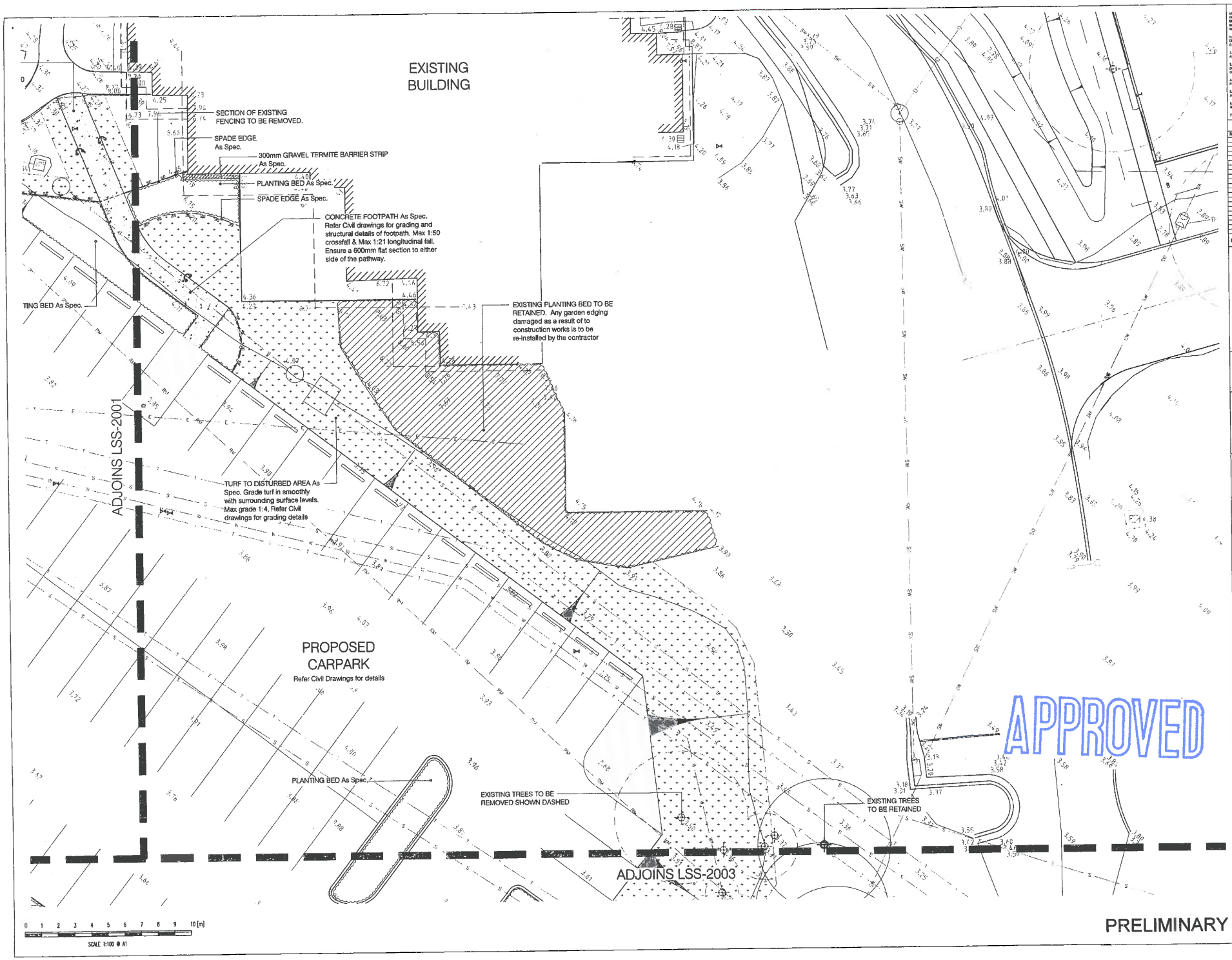
DATE	SCALE (A1)	DRAWN
26.03.18	1:100	RM
CQU PROJECT MANAGER		CHECKED
PAUL BAILEY		
		APPROVED JF

N

CQU PROJECT NO. CQU-RSQ-17-8-DFM

DRAWING NO. CQU-GLD-000-GN-LSS-2001

REVISION E



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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	31.12.17	60% ISSUE - CONTRACT DOCUMENTATION	RM
B	26.05.18	90% ISSUE - CONTRACT DOCUMENTATION	RM

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BE WHAT YOU WANT TO BE
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PAYNTER DIXON
BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0700
Facsimile: (07) 3844 0722
Email: jeremy@jeremyferrier.com.au

CONSULTANTS:

Architects:
arkLAB

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire
Mechanical/ Hydraulic Engineer:
Uncw Lai

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Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Bera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
101 SPACE CARPARK
GRADING & FINISHES PLAN

DATE	SCALE (A1)	DRAWN
26.05.18	1:100	RM
CQU PROJECT MANAGER		CHECKED
PAUL BAILEY		APPROVED JF

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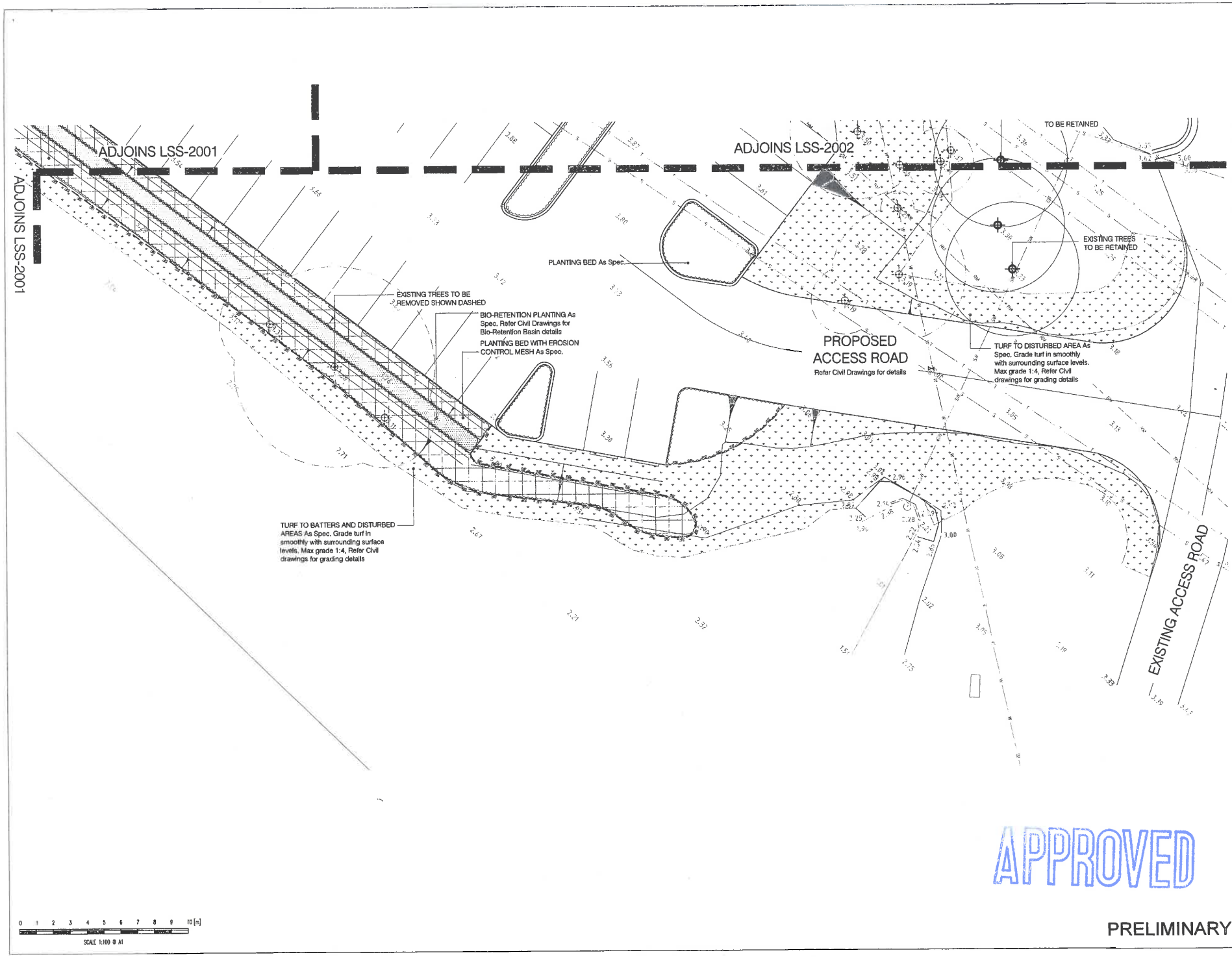
CQU PROJECT NO.
CQU-RSQ-17-9-DFM

DRAWING NO.
CQU-QLD-000-GN-LSS-2002

REVISION
B



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AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	31.10.17	90% ISSUE - CONTRACT DOCUMENTATION	RM
B	28.03.18	90% ISSUE - CONTRACT DOCUMENTATION	RM

REVISION HISTORY

PAYNTER DIXON
BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0700
Facsimile: (07) 3844 0722
Email: jeremy@jeremyferrier.com.au

CONSULTANTS:

Architects:
arkLAB

Civil/ Storm Water:
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Northgroup Consulting

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Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Sera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
101 SPACE CARPARK
GRADING & FINISHES PLAN

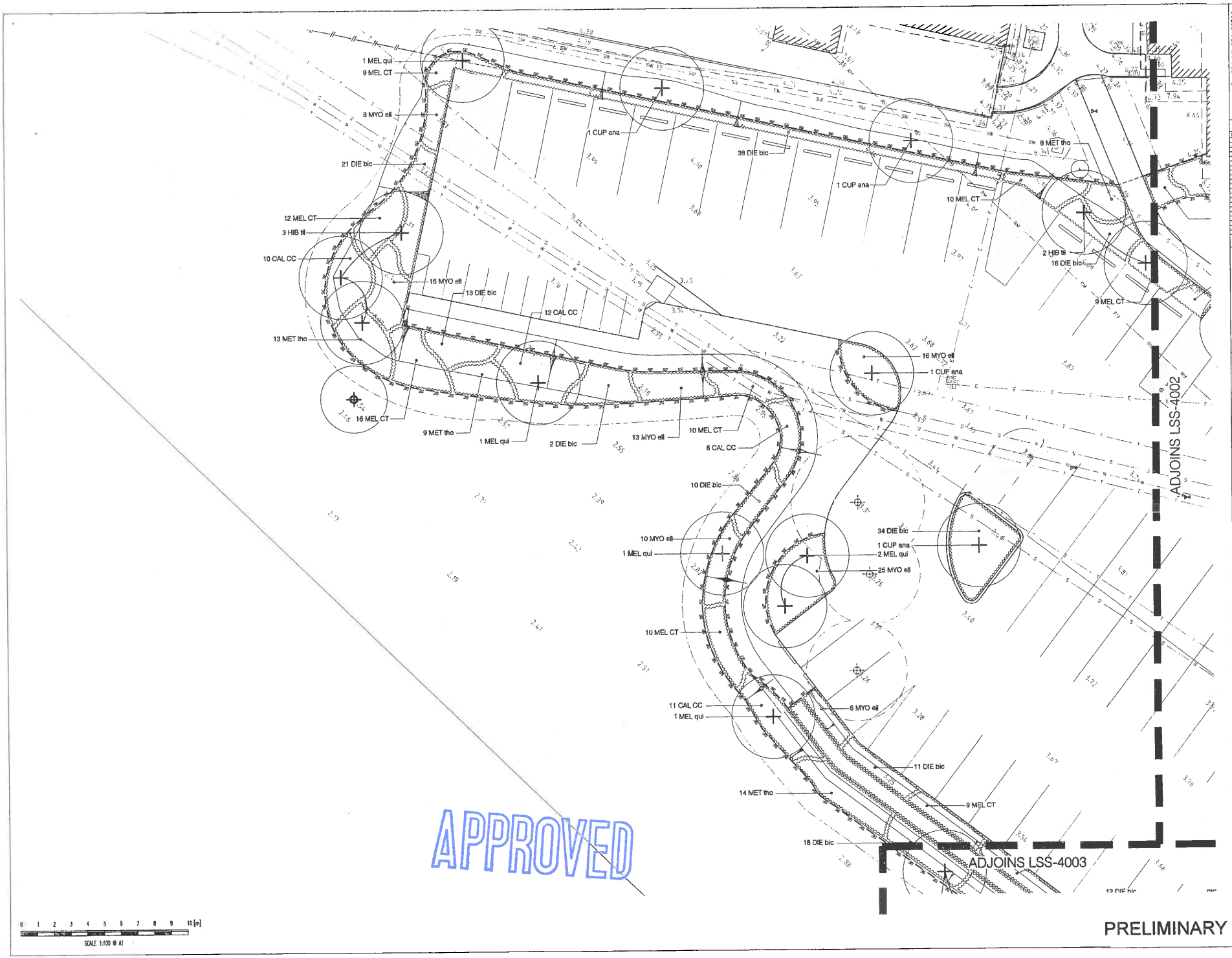
DATE	SCALE (A1)	DRAWN
28.03.18	1:100	RM
CQU PROJECT MANAGER		CHECKED
PAUL BAILEY		
		APPROVED JF

N

CQU PROJECT NO. CQU-RSQ-17-9-OFM

DRAWING NO. CQU-GLD-000-GN-LSS-2003

REVISION B



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B	28.03.18	50% IBUS - CONTRACT DOCUMENTATION	RM

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PAYNTER DIXON
BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0700
Facsimile: (07) 3844 0722
Email jeremy@jeremyferrier.com.au

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Renzo Tonin
Ron Rumble

Traffic Engineer:
Prensse

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Ibrra

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
101 SPACE CARPARK
PLANTING PLAN

DATE	SCALE (A1)	DRAWN
28.03.18	1:100	RM
CQU PROJECT MANAGER: PAUL BAILEY		CHECKED
		APPROVED JF

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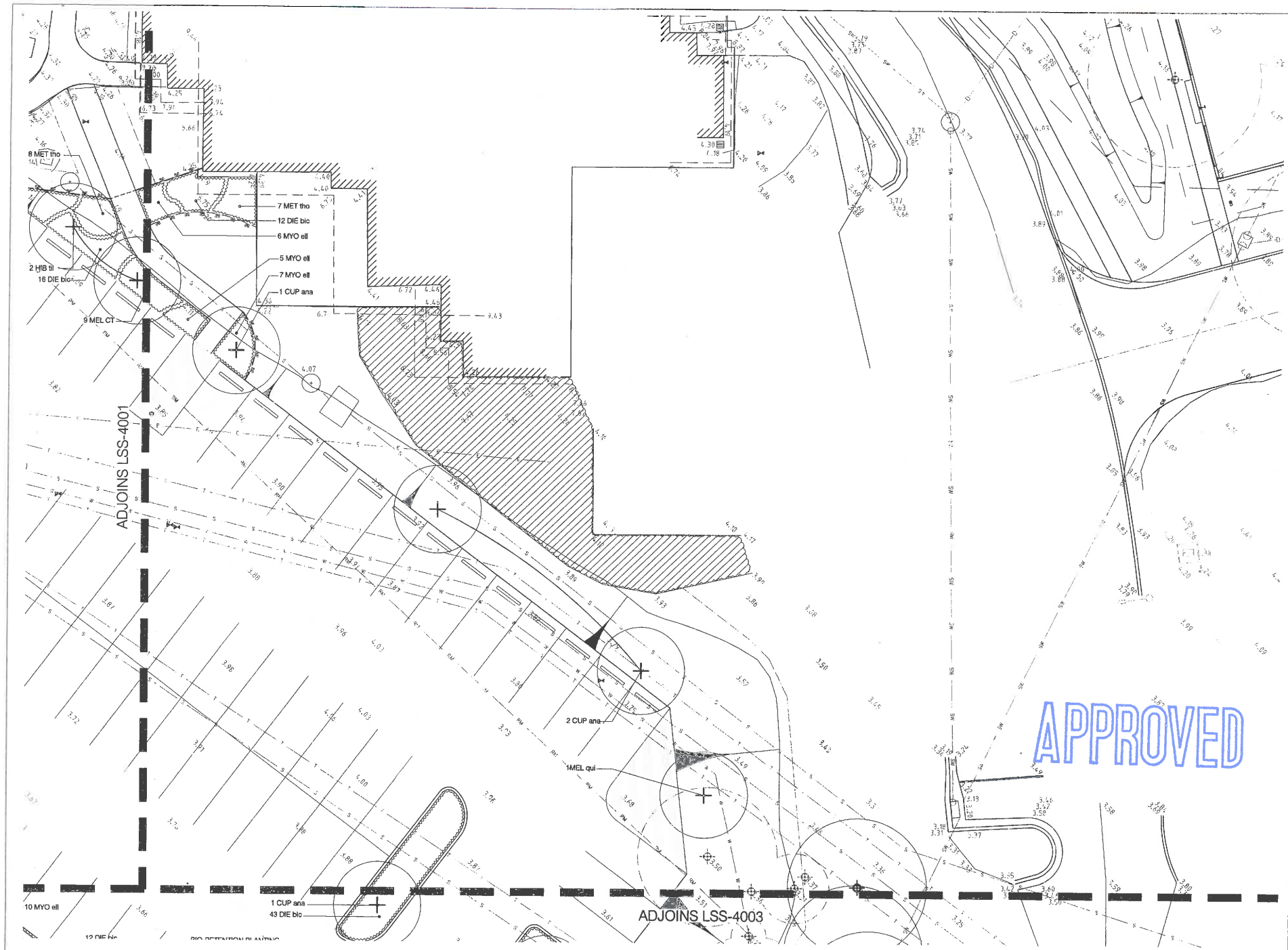
CQU PROJECT NO. CQU-RSQ-17-0-DFM

DRAWING NO. CQU-GLD-000-GN-LSS-4001

REVISION B



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AMENDMENTS

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PAYNTER DIXON
BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101

Telephone: (07) 3844 0700
Facsimile: (07) 3844 0722
Email: jeremy@jeremyferrier.com.au

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Traffic Engineer:
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Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Ibera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
101 SPACE CARPARK
PLANTING PLAN

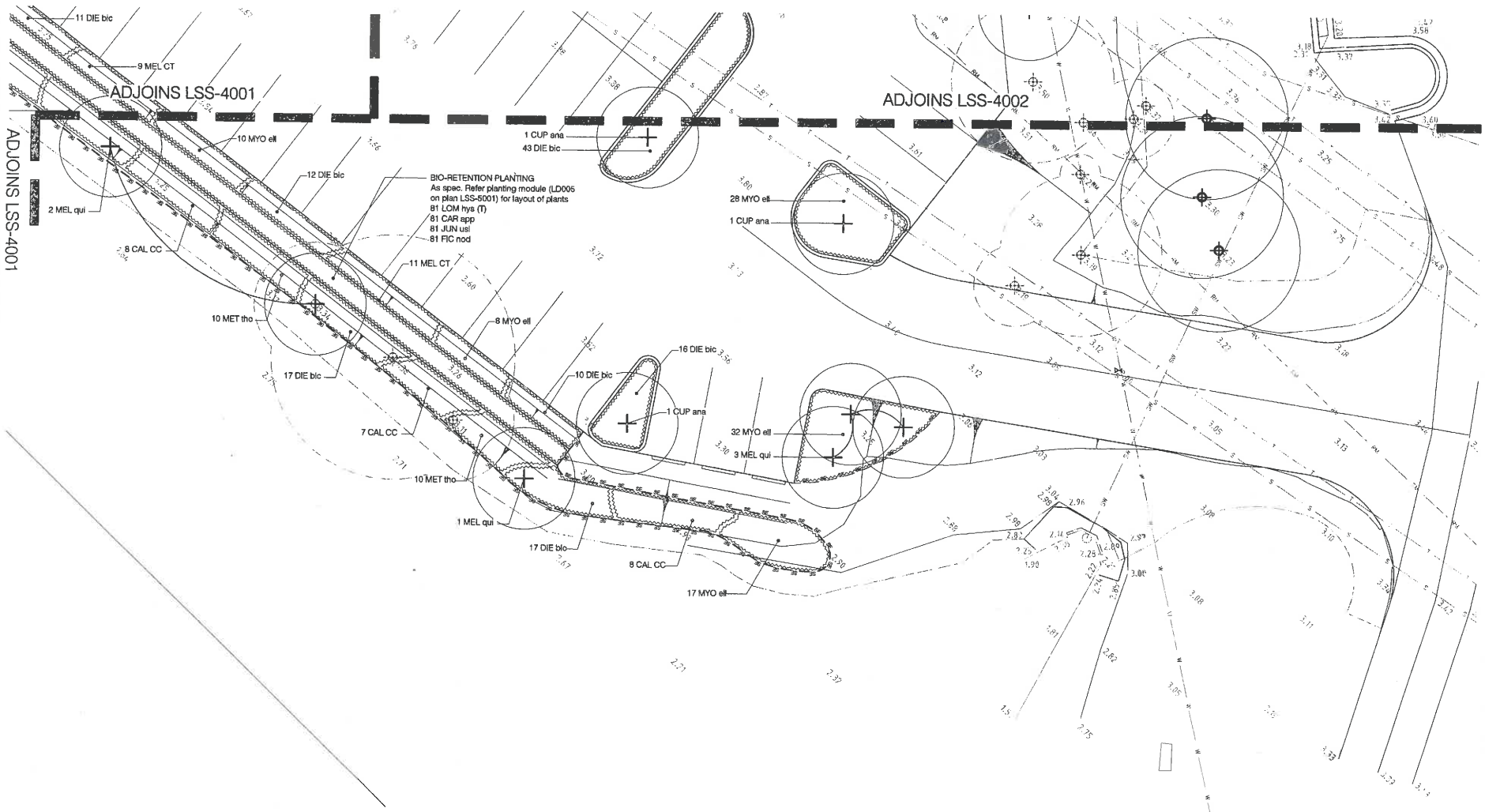
DATE	SCALE (A1)	DRAWN
28.03.18	1:100	RM
CQU PROJECT MANAGER: PAUL BAILEY		CHECKED
		APPROVED JF

N

CQU PROJECT NO.
CQU-R50-174-DFM

DRAWING NO.
CQU-GLD-000-GN-LSS-4002

REVISION
B



PLANT SCHEDULE

CODE	BOTANICAL NAME	NO.	SIZE	HEIGHT	SPREAD	STAKING / GUYING
CAL CC	CALLISTEMON Captain Cook	62	200mm	500mm	-	-
CAR app	CAREX appresa	81	tube	150mm	-	-
CUP ana	CUPANIOPSIS anacardioides	10	45Lt	1800mm	600mm	S
DIE bic	DIETES bicolor	290	140mm	300mm	-	-
FIC nod	FICINIA nodosa	81	tube	150mm	-	-
HIB til	HIBISCUS tiliaceus Rubra	5	100Lt	2200mm	1000mm	S
JUN usi	JUNCUS usitatus	81	tube	150mm	-	-
LOM hys (T)	LOMANDRA hystrix	81	tube	150mm	-	-
MEL CT	MELALEUCA linariifolia 'Claret tops'	96	200mm	400mm	-	-
MEL qui	MELALEUCA quinquenervia	13	45Lt	2000mm	700mm	S
MET THO	METROSIDEROS thomasii	71	200mm	450mm	-	-
MYO ell	MYOPORUM ellipticum	206	140mm	-	250mm	-

0 1 2 3 4 5 6 7 8 9 10 [m]

SCALE 1:100 @ A1

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PRELIMINARY

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AMENDMENTS

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A	21.12.17	90% ISSUE - CONTRACT DOCUMENTATION	RM
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PAYNTER DIXON
BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0799
Facsimile: (07) 3844 0722
Email: jeremy@jeremyferrier.com.au

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Bera

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
101 SPACE CARPARK
PLANTING PLAN

DATE	SCALE (A1)	DRAWN
26.03.18	1:100	RM

CQU PROJECT MANAGER: PAUL BAILEY

CHECKED

APPROVED: JF

N

CQU PROJECT NO.: CQU-RSQ-17-8-DFM

DRAWING NO.: CQU-GLD-000-GN-LSS-4003

REVISION: B

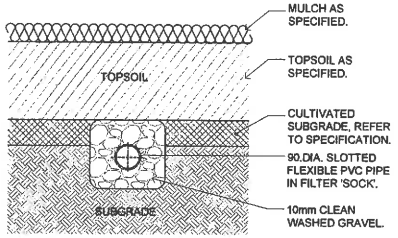
NOTES

1. CONNECT: Connect all subsoil drains to stormwater.

2. FALLS: Fall all pipes at a minimum of 1:60 or as indicated on drawings.

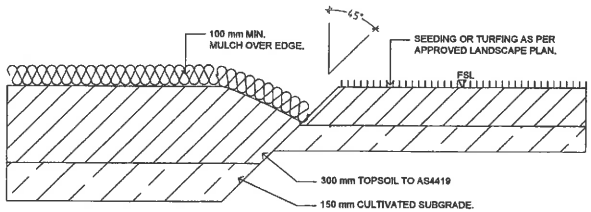
3. CONDUITS: Join drains to 100mm dia UPVC conduits when placing drains under paving areas.

4. GEOTEXTILE: Bidim A12 or similar



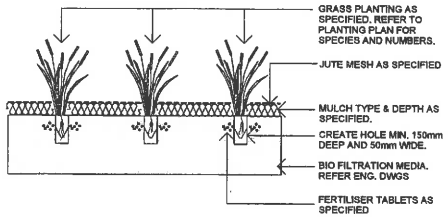
DETAIL LD001 - Subsoil Drainage

SCALE 1:10 @ A1; 1:20 @ A3



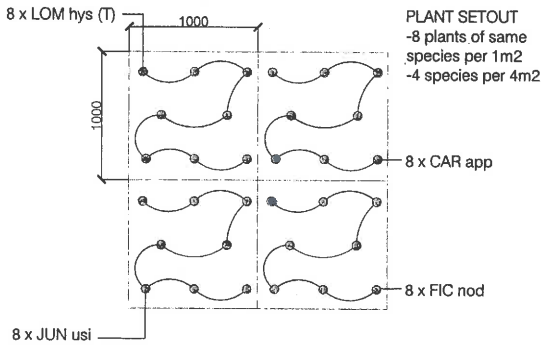
DETAIL LD002 - Spade Edge

SCALE 1:10 @ A1; 1:20 @ A3



DETAIL LD003 - Bio-retention Planting in filter media

SCALE 1:10 @ A1; 1:20 @ A3

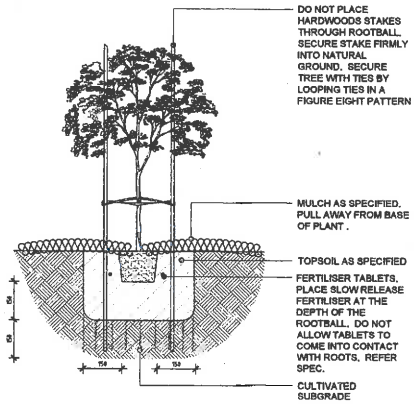


DETAIL LD004 - Bio-Retention Plantig Module / Setout

SCALE 1:20 @ A1; 1:40 @ A3

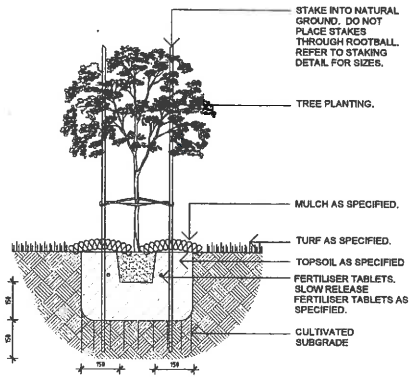
TABLE GUIDE	
PLANT SIZE	STAKE SIZE
450 - 600	900x25x25
600 - 900	1200x25x25
900 - 1200	1500x25x25
1200 - 1500	1800x25x25
1500 - 1800	2100x38x38
1800 - 2400	2400x38x38

NOTES
- STAKING TO BE CARRIED OUT PRIOR TO BACKFILLING PLANTING HOLE
- POSITION STAKES AWAY FROM ROOTBALL STAKES TO BE ROUGH SAWN HWD TO SIZES AS SPECIFIED
- TIES SHALL BE NON-ABRASIVE, HEAVY DUTY POLYTHENE STRIPS LOOSELY TIED AROUND STEM IN A FIGURE EIGHT
- CONFIGURATION
  TIES SHALL BE ATTACHED TO STAKES WITH GALV. WIRE STAPLES.



DETAIL LD005 - Typical Tree Planting & Staking

SCALE nts



DETAIL LD006 - Typical Tree Planting in Turf

SCALE nts

APPROVED

PRELIMINARY

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7. VERIFY ALL RL'S PRIOR TO STARTING ON SITE

AMENDMENTS

REV	DATE	DESCRIPTION	BY
A	21.12.17	80% ISSUE - CONTRACT DOCUMENTATION	RJ
B	28.03.18	90% ISSUE - CONTRACT DOCUMENTATION	RM

REVISION HISTORY

CQ University AUSTRALIA
BE WHAT YOU WANT TO BE
cqu.edu.au

PAYNTER DIXON
BUILDING YOUR BUSINESS

JEREMY FERRIER
LANDSCAPE ARCHITECT
72 Vulture Street,
West End QLD 4101
Telephone: (07) 3844 0700
Facsimile: (07) 3844 0722
Email: jeremy@jeremyferrier.com.au

CONSULTANTS:

Architects:
arkLAB

Civil/ Storm Water:
Premise

Structural Engineer:
STP Consultants

Electrical/ Comms/ Security/ Dry Fire
Mechanical/ Hydraulic Engineer:
Unox Lai

Building Certifier:
Building Certifiers Australia

Town Planning:
Northgroup Consulting

Acoustic Engineer:
Renzo Tonin
Ron Rumble

Traffic Engineer:
Premise

Geotechnical Engineer:
Construction Sciences

Green Star/ ESD:
Zero

CAMPUS: CQU Gladstone Marina

PROJECT:
CONSOLIDATION

DISCIPLINE: LANDSCAPE

DESCRIPTION:
101 SPACE CARPARK
LANDSCAPE DETAILS

DATE	SCALE (A1)	DRAWN
28.03.18	AS SHOWN	RM
CQU PROJECT MANAGER: PAUL BAILEY		CHECKED
		APPROVED: JF

N

CQU PROJECT NO.: CQU-RSQ-17-6-DFM

DRAWING NO.: CQU-QLD-000-GN-LSS-3001

REVISION: B

Premise

PAYNTER DIXON QUEENSLAND PTY LTD

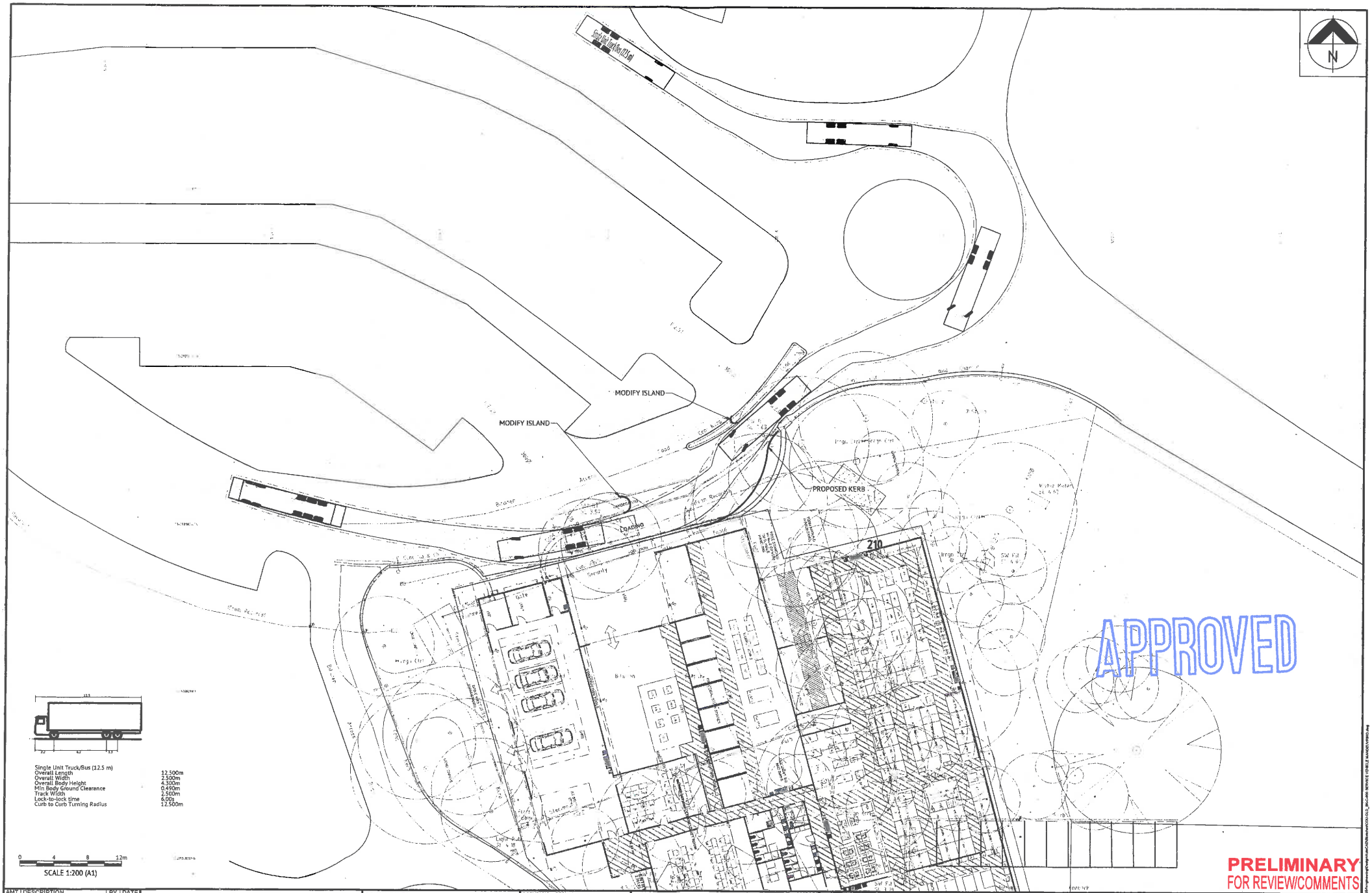
CQU GLADSTONE CAMPUS CONSOLIDATION CIVIL DESIGN SERVICES

TRAFFIC IMPACT ASSESSMENT

Report NO. MIS0354/R01
Rev: B
Date: 01 March 2018

APPROVED

ENGINEERING ENVIRONMENT AGRICULTURE WATER



PRELIMINARY
FOR REVIEW/COMMENTS

AMT	DESCRIPTION	BY	DATE
A	PRELIMINARY ISSUE	RPB	09/11/17

CONSULTANTS:
Premise
BRISBANE OFFICE
LEVEL 1, 100 BRUNSWICK STREET
PO BOX 361
FORTITUDE VALLEY, QLD 4006
PH: (07) 3253 2222
WEB: www.premise.com.au

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PAYNTER DIXON QUEENSLAND PTY. LTD.
A.B.N. 32 060 951 182 / QBCC LICENSE #: 83889
LEVEL 3/290 CORONATION DRIVE, MILTON, QLD 4064
P.O. BOX 1206 MILTON, QLD, 4064
TELEPHONE: 07-3368 5500 FAX: 07-3367 4600
EMAIL: info@paynter.com.au
WEB: www.paynter.com.au

PROJECT:
CQU GLADSTONE MARINA
CAMPUS CONSOLIDATION

TITLE:
PROPOSED ETC BUILDING
(12.5m) HRV MANOEUVRING
OPTION 1

Date	11/2017	Drawn	RPB
Scale	1:200	Checked	-
Job No	MIS-0354	Approved	-
PD Ref No.	CEQU0402	Drawing No.	CQU-QLD-605-GN-CIV-SKC910
		Revision	A

PRELIMINARY
FOR REVIEW/COMMENTS

AMT	DESCRIPTION	BY	DATE
A	PRELIMINARY ISSUE	RPB	08/11/17

CONSULTANTS:
Premise
BRISBANE OFFICE
LEVEL 1, 100 BRUNSWICK STREET
PO BOX 361
FORTITUDE VALLEY, QLD 4006
PH: (07) 3253 2222
WEB: www.premise.com.au

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LEVEL 3/298 CORONATION DRIVE, MILTON, QLD 4064
P.O. BOX 1206 MILTON, QLD, 4064
TELEPHONE: 07-3368 3500 FAX: 07-3367 4600
EMAIL: info@paynter.com.au
WEB: www.paynter.com.au

PROJECT:
CQU GLADSTONE MARINA
CAMPUS CONSOLIDATION

TITLE:
PROPOSED ETC BUILDING
(8.8m) SERVICE VEHICLE MANOEUVRING

Date	11/2017	Drawn	RPB
Scale	1:200	Checked	
Job No	MIS-0354	Approved	
PD Ref No.	CEQU0402	Drawing No. CQU-GLD-605-GN-CIV-SKC920	Revision A

Premise

WATER

APPROVED

SITE BASED STORMWATER MANAGEMENT PLAN

FOR PROPOSED DEVELOPMENT AT CQ UNIVERSITY – GLADSTONE MARINA CAMPUS

Report No: MIS-0354 Document No: 1701809 REV: V2

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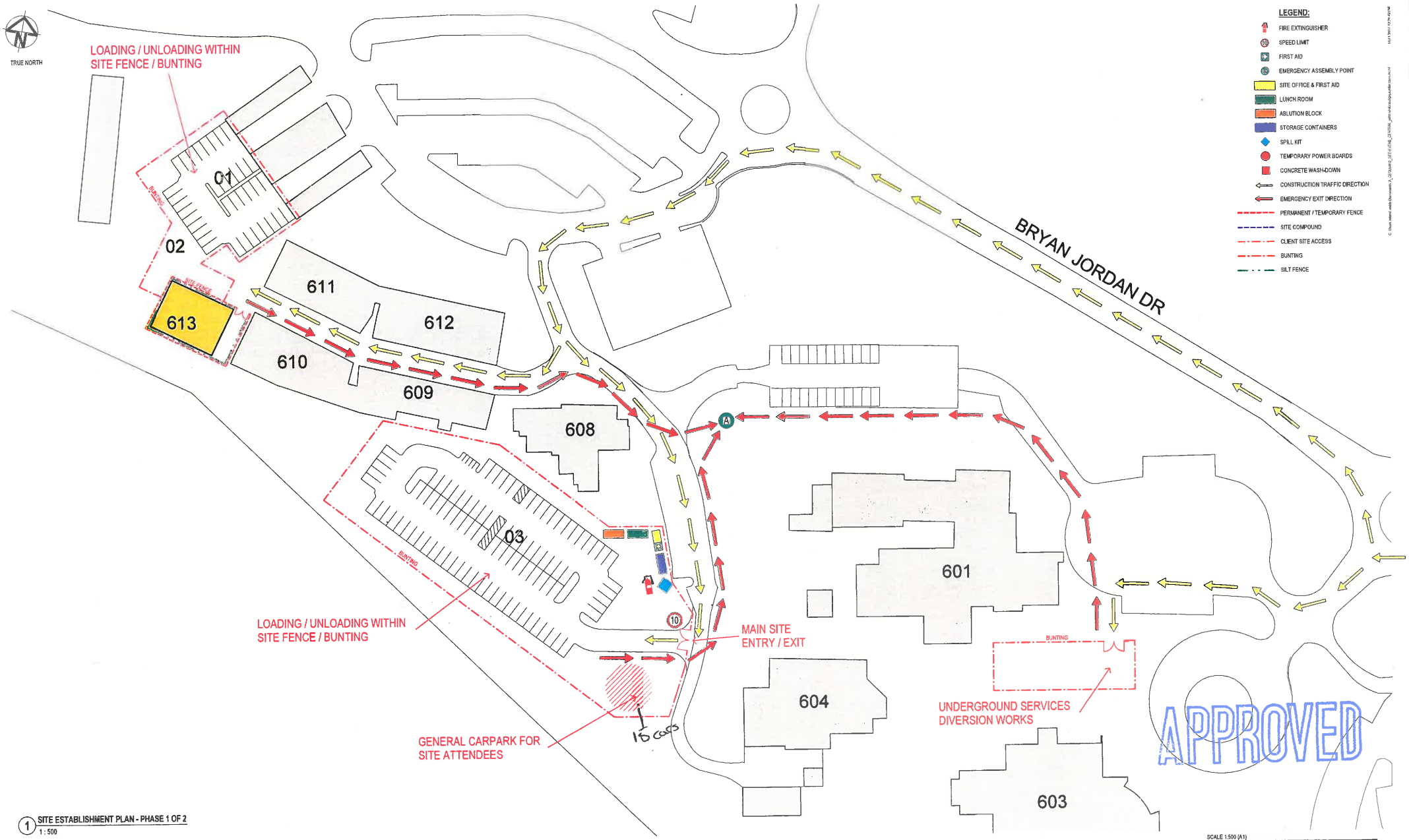

1 SITE ESTABLISHMENT PLAN - PHASE 1 OF 2
1 : 500

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GLADSTONE CAMPUS CONSOLIDATION

CQU GLADSTONE MARINA

SITE ESTABLISHMENT PLAN - PHASE 1 OF 2

CEQU0402 SK A1-01 B

ISSUE DATE: 17/11/17

GPC APPLICATION ISSUE

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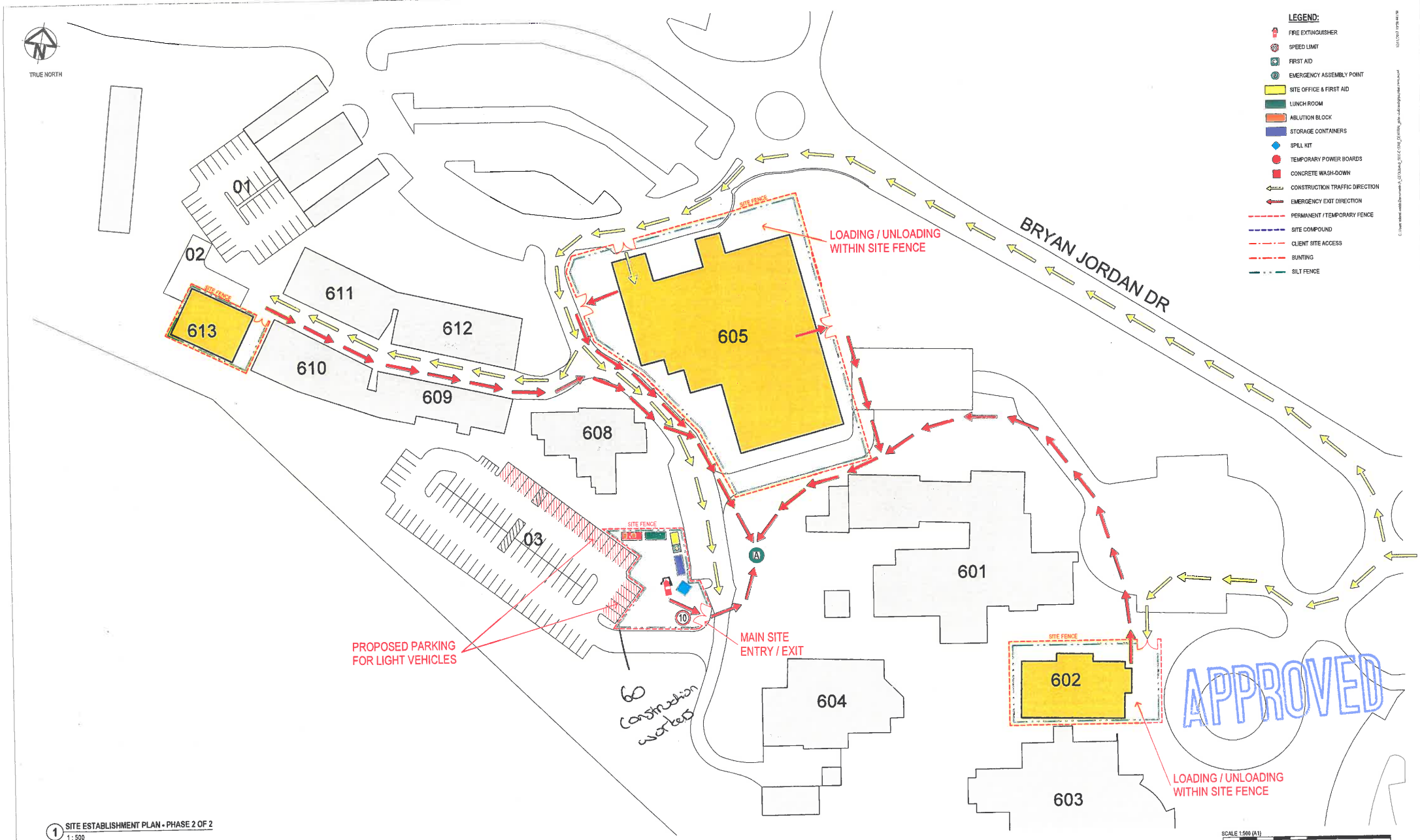
BUILDING YOUR BUSINESS
A.B.N. 32 060 951 162 / QBCC LICENSE #: 63889
LEVEL 3/299 CORONATION DRIVE, MILTON, QLD 4064
TELEPHONE: 07-3368 5500 / FAX: 07-3367 4600
EMAIL: info@paynter.com.au / WEB: www.paynter.com.au



1 SITE ESTABLISHMENT PLAN - PHASE 2 OF 2
1 : 500

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GLADSTONE CAMPUS CONSOLIDATION

CQU GLADSTONE MARINA

SITE ESTABLISHMENT PLAN - PHASE 2 OF 2

CEQU0402 SK A1-02 B

ISSUE DATE: 17/11/17

GPC APPLICATION ISSUE

PAYNTER DIXON
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LEVEL 3/299 CORONATION DRIVE, MILTON, QLD 4064
TELEPHONE: 07-3368 5500 / FAX: 07-3367 4600
EMAIL: info@paynter.com.au / WEB: www.paynter.com.au

Acid Sulfate Soils Management Plan

CQU Campus, Gladstone Marina

P328

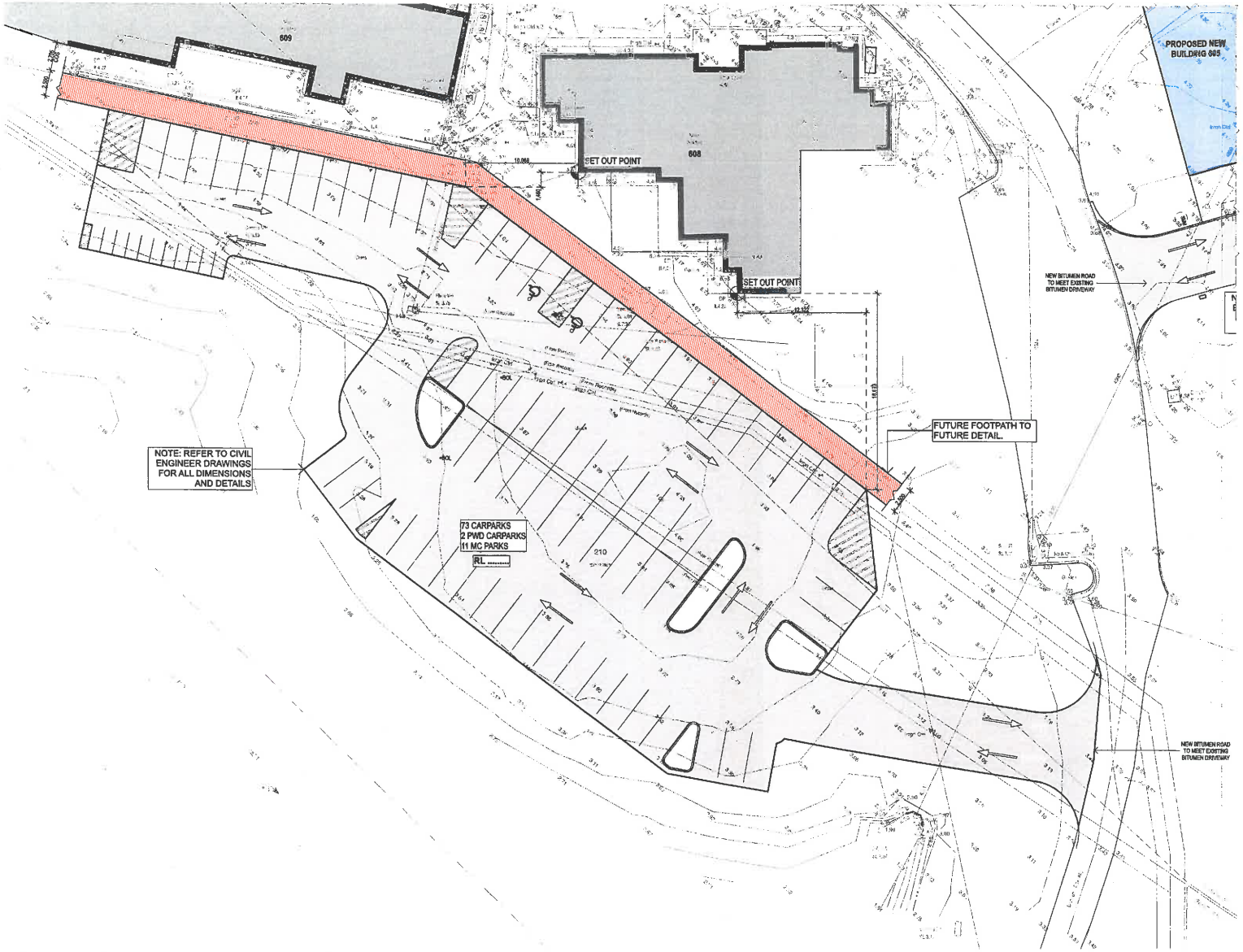
Prepared for

Paynter Dixon

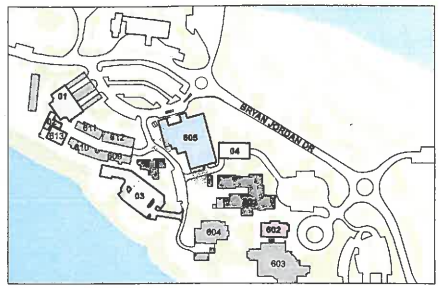
7 December 2017

APPROVED

Cardno
Shaping the Future



1 PROPOSED NEW CARPARK
1:200



2 LOCALITY PLAN
1:3000

LOCALITY PLAN LEGEND

606	PROPOSED NEW ENGINEERING TTC
602	PROPOSED NEW HAIR & BEAUTY TTC
01	PROPOSED NEW CARPARK (37) EXTENSION
02	PROPOSED NEW TURNAROUND BAY
03	PROPOSED NEW CAR PARK (101 SPACE)
04	PROPOSE CARPARK ALTERATIONS
601	EXISTING MARTIN HANSON BLDG
603	EXISTING LEO ZUSSINO BLD Q
604	EXISTING ENVIRONMENTAL SCIENCE CENTRE
613	EXISTING DFM WORKSHOP AND OFFICE
608-612	EXISTING ENGINEERING CENTRE

CAR PARK LEGEND

FUTURE FOOTPATH AS PER GPC DA CONDITION 16

SCALE 1:100 (A1)

1:100 @ A1

NOTES

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7. VERIFY ALL RL'S PRIOR TO STARTING ON SITE

EA. R.	DATE.	ISSUE DETAILS.	BY.
	18/06/2018	FOR GPC APPROVAL	BA

REVISION HISTORY

arkLAB
ALAN JORDAN MARCH
ARCHITECTURE
P: 07 3236 9965
E: thelAB@arkLAB.com.au
538 BOUNDARY ST SPRING HILL QLD 4000
ARKLAB ARCHITECTURE PTY LTD
ABN 15121400713

CQ University AUSTRALIA

PAYNTER DIXON BUILDING YOUR BUSINESS

CONSULTANTS:

Civil/ Storm Water: Premise
Structural Engineer: STP Consultants
Geotechnical Engineer: Construction Sciences
Electrical/ Comms/ Security/ Dry Fire Mechanical/ Hydraulic Engineer: Umow Lai
Landscape Architect: Jeremy Ferrier
Building Certifier: Building Certifiers Australia
Town Planning: Northgroup Consulting
Acoustic Engineer: Renzo Tonin Ron Rumble
Traffic Engineer: Premise
Green Star/ ESD: Bere

arkLAB project number: 201718

CAMPUS: CQU Gladstone Marina	DATE 18/6/18	SCALE (A1) AS INDICATED	DRAWN BA
PROJECT: CONSOLIDATION	CQU PROJECT MANAGER MICHAEL WAKEHAM		CHECKED AJ
DISCIPLINE: ARCHITECTURAL			APPROVED AJ
DESCRIPTION: BUILDING ETTC SITE PLAN: PROPOSED NEW CARPARK (03)	CQU PROJECT NO. CQU-ASQ-17-9-DFM		
	DRAWING NO. CQU-GLD-605-00-ARC-1002		REVISION R

Monday, 18 June 2018 3:53 pm • BIM Server: server - BIM Server 21/201718_RD_CQU_GLA_ETTC_CD

ATTACHMENT 3: EXTRACT OF APPEAL PROVISIONS

(2) The person is taken to have engaged in the representative's conduct, unless the person proves the person could not have prevented the conduct by exercising reasonable diligence.

(3) In this section—

conduct means an act or omission.

representative means—

(a) of a corporation—an executive officer, employee or agent of the corporation; or

(b) of an individual—an employee or agent of the individual.

state of mind, of a person, includes the person's—

(a) knowledge, intention, opinion, belief or purpose; and

(b) reasons for the intention, opinion, belief or purpose.

Chapter 6 Dispute resolution

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

(1) Schedule 1 states—

(a) matters that may be appealed to—

(i) either a tribunal or the P&E Court; or

(ii) only a tribunal; or

(iii) only the P&E Court; and

(b) the person—

(i) who may appeal a matter (the ***appellant***); and

(ii) who is a respondent in an appeal of the matter; and

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(iii) who is a co-respondent in an appeal of the matter; and

(iv) who may elect to be a co-respondent in an appeal of the matter.

(2) An appellant may start an appeal within the appeal period.

(3) The ***appeal period*** is—

(a) for an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or

(b) for an appeal against a deemed refusal—at any time after the deemed refusal happens; or

(c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or

(d) for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or

(e) for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the applicant gives the deemed approval notice to the assessment manager; or

(f) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note—

See the P&E Court Act for the court's power to extend the appeal period.

(4) Each respondent and co-respondent for an appeal may be heard in the appeal.

(5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.

Authorised by the Parliamentary Counsel

(6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—

(a) the adopted charge itself; or

(b) for a decision about an offset or refund—

(i) the establishment cost of trunk infrastructure identified in a LGIP; or

(ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

(1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that—

(a) is in the approved form; and

(b) succinctly states the grounds of the appeal.

(2) The notice of appeal must be accompanied by the required fee.

(3) The appellant or, for an appeal to a tribunal, the registrar, must, within the service period, give a copy of the notice of appeal to—

(a) the respondent for the appeal; and

(b) each co-respondent for the appeal; and

(c) for an appeal about a development application under schedule 1, table 1, item 1—each principal submitter for the development application; and

(d) for an appeal about a change application under schedule 1, table 1, item 2—each principal submitter for the change application; and

(e) each person who may elect to become a co-respondent for the appeal, other than an eligible submitter who is not a principal submitter in an appeal under paragraph (c) or (d); and

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(f) for an appeal to the P&E Court—the chief executive; and

(g) for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.

(4) The ***service period*** is—

(a) if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or

(b) otherwise—10 business days after the appeal is started.

(5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).

(6) A person elects to be a co-respondent by filing a notice of election, in the approved form, within 10 business days after the notice of appeal is given to the person.

(7) Despite any other Act or rules of court to the contrary, a copy of a notice of appeal may be given to the chief executive by emailing the copy to the chief executive at the email address stated on the department's website for this purpose.

231 Other appeals

(1) Subject to this chapter, schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.

(2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.

(3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.

(4) In this section—

decision includes—

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(a) conduct engaged in for the purpose of making a decision; and

(b) other conduct that relates to the making of a decision; and

(c) the making of a decision or the failure to make a decision; and

(d) a purported decision; and

(e) a deemed refusal.

non-appealable, for a decision or matter, means the decision or matter—

(a) is final and conclusive; and

(b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, any tribunal or another entity; and

(c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, any tribunal or another entity on any ground.

232 Rules of the P&E Court

(1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.

(2) However, the P&E Court may hear and decide an appeal even if the person has not complied with rules of the P&E Court.

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Part 2 Development tribunal

Division 1 General

233 Appointment of referees

(1) The Minister, or chief executive, (the ***appointer***) may appoint a person to be a referee, by an appointment notice, if the appointer considers the person—

(a) has the qualifications or experience prescribed by regulation; and

(b) has demonstrated an ability—

(i) to negotiate and mediate outcomes between parties to a proceeding; and

(ii) to apply the principles of natural justice; and

(iii) to analyse complex technical issues; and

(iv) to communicate effectively, including, for example, to write informed succinct and well-organised decisions, reports, submissions or other documents.

(2) The appointer may—

(a) appoint a referee for the term, of not more than 3 years, stated in the appointment notice; and

(b) reappoint a referee, by notice, for further terms of not more than 3 years.

(3) If an appointer appoints a public service officer as a referee, the officer holds the appointment concurrently with any other appointment that the officer holds in the public service.

(4) A referee must not sit on a tribunal unless the referee has given a declaration, in the approved form and signed by the referee, to the chief executive.

(5) The appointer may cancel a referee's appointment at any time by giving a notice, signed by the appointer, to the referee.

Authorised by the Parliamentary Counsel