



Gladstone Ports Corporation

Growth, Prosperity, Community.

GPC Document No. 1455351
GPC Ref: DA2018/09
Your Ref.:

31 October 2018

Gladstone Ports Corporation
c/- Anthea Bennett
PO Box 259
GLADSTONE QLD 4680

Attention: Ms Bennett

Email: bennetta@gpcl.com.au

Dear Ms Bennett

DECISION NOTICE – APPROVAL WITH CONDITIONS – DA2018/09

(GIVEN UNDER S63 PLANNING ACT 2016 AND THE PROVISIONS OF GLADSTONE PORTS CORPORATION LAND USE PLAN 2012)

1. Application Details

This development application was properly made to the Gladstone Ports Corporation Limited on **9 September 2018**.

Application Number:	DA2018/09
Applicant Name:	Gladstone Ports Corporation
Applicant Contact Details:	Ms Anthea Bennett Gladstone Ports Corporation PO Box 259 GLADSTONE QLD 4680 Email: bennetta@gpcl.com.au
Approvals Sought:	Operational Works that is Tidal Works for East Shores Stage 1B Ferry Transfer Pontoon
Details of Proposed Development:	Pontoon refurbishment works and the permanent location of a ferry transfer pontoon at East Shores Parklands
Location Street Address:	Flinders Parade GLADSTONE QLD 4680
Location Real Property Description:	Lot 305 SP235961, Lot 304 SP231549, Lot 1 SP293583, Lot 3 SP239713
Land Owner:	Department of Natural Resources, Mines & Energy
Present Zoning & Precinct	Strategic Port Waters & Strategic Port Land – Wharves (Offshore)

2. Details Of Proposed Development

Tidal Works for East Shores Stage 1B Ferry Transfer Pontoon.

3. Details Of Decision

This development application was **decided** on **31 October 2018**.

This development application is **approved in full with conditions**. These conditions are set out in Attachment 1 and are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

4. Details Of Approval

This development approval is a **Development Permit** given for:

- a) Operational Works that is Tidal Works – (*Planning Regulation 2017* reference Schedule 10, part 13 - Ports, division 5 - Strategic Port Land, subdivision 1, section 20 Schedule 10, part 17 – Tidal Works, division 1, section 28).

5. Conditions

This development approval is subject to the conditions in Attachment 1 - Part 1 and Part 2.

6. Further Development Permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

1. Not applicable

7. Properly made submissions

Not applicable – No part of the application required public notification.

8. Referral Agencies for the Application

The referral agencies for this application are:

For an application involving	Name of referral agency	Advice agency or concurrence agency	Address
Operational Works that is Tidal Works	Department of State Development, Manufacturing, Infrastructure and Planning	Concurrence	State Assessment and Referral Agency PO Box 113 ROCKHAMPTON QLD 4700

9. Approved Plans and Specifications –

Copies of the following plans, specifications or drawings are enclosed in **Attachment 2**:

Drawing/report title	Prepared by	Date	Reference no.	Version
Aspect of development: Operational Work that is Tidal Works				
Ferry Transfer Pontoon - Site Plan	Madsen Giersing	06/09/2018	1584A-DWG-005	D
Ferry Transfer Pontoon – General Arrangement	Madsen Giersing	06/09/2018	1584A-DWG-010	D
Ferry Transfer Pontoon – Sections – SH.1	Madsen Giersing	06/09/2018	1584A-DWG-011	D
Ferry Transfer Pontoon – Sections – SH.2	Madsen Giersing	06/09/2018	1584A-DWG-012	D
Ferry Transfer Pontoon – Tidal Sections	Madsen Giersing	03/09/2018	1584A-DWG-015	D
Ferry Transfer Pontoon – Pile Plan	Madsen Giersing	03/09/2018	1584A-DWG-020	B
Ferry Transfer Pontoon – General Arrangement	Madsen Giersing	03/09/2018	1584A-DWG-030	B
Ferry Transfer Pontoon – Section	Madsen Giersing	03/09/2018	1584A-DWG-031	B
Ferry Transfer Pontoon – Demolition General Arrangement	Madsen Giersing	03/09/2018	1584A-DWG-035	B
Link Span & Gangway – General Arrangement	Madsen Giersing	06/09/2018	1584A-DWG-100	A
Link Span & Gangway – Sections	Madsen Giersing	06/09/2018	1584A-DWG-101	A
Link Span & Gangway - Abutment	Madsen Giersing	06/09/2018	1584A-DWG-135	A
General Arrangement Plan	Mode	31/08/2018	AR-S13-1000	I
General Arrangement – Plan Roof Level	Mode	31/08/2018	AR-S13-1002	F
Gangway Plans	Mode	31/08/2018	AR-S13-1003	A
Elevations	Mode	31/08/2018	AR-S13-1100	F
Reflected Ceiling Plan – Ground Level	Mode	31/08/2018	AR-S13-2000	B
PWD, WC's, Change Rooms and Pump Room Plan & Elevations	Mode	31/08/2018	AR-S13-2200	B
Amenities Area Details	Mode	31/08/2018	AR-S13-5001	A
Balustrade Type 1 Details	Mode	31/08/2018	AR-S13-5010	A
Balustrade Type 2 Details	Mode	31/08/2018	AR-S13-5011	A

10. Currency Period for the Approval

This development approval will lapse at the end of the periods set out below:

- For Material Change of Use this approval lapses 6 years after this approval decision date – reference section 85 of the *Planning Act 2016*;

- For all other approvals excluding Reconfiguring a Lot, the approval lapses 2 years after this approval decision date – reference section 85 of the *Planning Act 2016*.

11. Rights of Appeal

The rights of applicants to appeal to a tribunal or the Planning and Environment Court against decisions about a development application are set out in chapter 6, part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).

Attachment 3 is an extract from the *Planning Act 2016* that sets down the applicant's appeal rights and the appeal rights of a submitter.

For further information please contact Sarah Hunter, Principal Planner, on 07 4976 1287 or via email hunters@gpcl.com.au.

Yours sincerely



Sarah Hunter
Principal Planner

31 October 2018

Cc: relevant local government

Enc. Attachment 1: Conditions of Approval
Part 1 – Conditions imposed by the assessment manager
Part 2 – Conditions required by the referral agency response
a) Department of State Development, Manufacturing, Infrastructure and Planning, 23 May 2018

Attachment 2: Approved plans and specifications

Attachment 3: Extract of appeal provisions

ATTACHMENT 1: CONDITIONS OF APPROVAL

PART 1: ASSESSMENT MANAGER CONDITIONS

In general the development proposal is in compliance with the requirements of Gladstone Ports Corporation Limited (GPC). This development approval is subject to each of the following conditions which are stated by GPC, the assessment manager.

Part 1a: Approval sought under *Planning Act 2016* – Operational Works that is Tidal Works and assessable development on Strategic Port Land

GENERAL

1. The proposed development must be carried out generally in accordance with the plans as lodged with the application except where modified by conditions of this permit.
2. Unless otherwise stated, all conditions must be completed prior to the commencement of the use.
3. Where additional “approval” is required under these conditions by GPC for drawings or documentation, the proponent must submit for review, amend to the satisfaction of, and obtain written acceptance from the Gladstone Ports Corporation. Only in this manner can compliance with the condition be achieved.
4. All other relevant regulatory approvals must be obtained before commencement of works or operation of the facility.
5. The proponent must inform GPC of completion of works within 14 days of practical completion and undertake a site inspection with GPC. The proponent must also certify that the development is constructed as per design and provide RPEQ certification that the development has been constructed generally in accordance with the approved plans.

ENGINEERING & PLANNING

6. Upon completion of the works, the proponent must supply to GPC with RPEQ certified “As Constructed” plans in both hard copy (2 of) and electronic (CAD format) which illustrate all infrastructure and services installed on and adjacent to Port land associated with the activity.
7. Any site lighting used during construction should not impact on the visibility of Navigational Aids utilised for the primary shipping channels nor illuminate a landward glare beyond the site boundary. Lighting must be continually reviewed during construction and operations with respect to navigation and will be revised as required in response to negative impacts as they arise.

ENVIRONMENT

Management Plans

8. Prior to construction and operational phases of the works commencing on site, a Construction Environmental Management Plan (CEMP) and an Operational EMP (OEMP) respectively specific to these works, are to be submitted to GPC for approval. GPC requires no less than 10 business days to initially assess the EMP's. Should further information be required for the assessment of the EMP's, GPC will require a further 5 business days to complete the assessment of any information request response.

The EMP's are to include cyclone preparedness.

9. The activity must be undertaken in accordance with the approved EMP's that ensures:
- (a) environmental risks are identified, managed and continually assessed in relation to the activity (this includes construction, operations, and rehabilitation as applicable);
 - (b) that staff are trained and aware of their obligations under the EMP;
 - (c) that reviews of environmental performance are undertaken at least annually; and
 - (d) any amendments to the EMP are to be submitted to GPC for review and approval.

Incident notification

10. Gladstone Ports Corporation Environment Hotline (07) 4976 1617 is to be notified of the occurrence of any:
- (a) release / spill of contaminants (e.g. fuels / chemicals / sewerage) greater than 250L to land;
 - (b) release / spill of contaminants (e.g. fuels / chemicals / sewerage) of any amount to water;
 - (c) any environmental complaints received by the holder of this approval; and
 - (d) non-compliance with conditions of this approval or any other environmental approval obtained in relation to the approved activity.

PART 2: REFERRAL AGENCY CONDITIONS

Referral Agency Name: Department of State Development, Manufacturing, Infrastructure and Planning



Department of
**State Development,
 Manufacturing,
 Infrastructure and Planning**

Our reference: 1809-7223 SRA
 Your reference: DA2018/09

17 October 2018

The Chief Executive Officer
 Gladstone Ports Corporation Limited
 PO Box 259
 Gladstone Qld 4680
 hunters@gpcl.com.au

Attention: Sarah Hunter

Dear Sir/Madam,

Referral agency response—with conditions

(Given under section 56 of the *Planning Act 2016*)

The development application described below was properly referred to the Department of State Development, Manufacturing, Infrastructure and Planning on 10 September 2018.

Applicant details

Applicant name:	Gladstone Ports Corporation Limited
Applicant contact details:	40 Goondoon Street, Gladstone QLD 4680 bennetta@gpcl.com.au

Location details

Street address:	Flinders Parade, Gladstone Central
Real property description:	Lot 305 on SP235961, Lot 304 on SP231549, Lot 1 on SP293583, Lot 3 on SP239713
Local government area:	Gladstone Regional Council

Application details

Development permit	Tidal works for pontoon refurbishment works and the permanent location of a ferry transfer pontoon at East Shores Parklands
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Referral triggers

The development application was referred to the department under the following provisions of the Planning Regulation 2017:

- 10.17.3.1.1 Tidal works or work in a coastal management district
- 10.17.3.2.1 Tidal works or work in a coastal management district

Conditions

Under section 56(1)(b)(i) of the *Planning Act 2016* (the Act), the conditions set out in Attachment 1 must be attached to any development approval.

Reasons for decision to impose conditions

The department must provide reasons for the decision to impose conditions. These reasons are set out in Attachment 2.

Advice to the applicant

Under section 56(3) of the Act, the department offers advice about the application to the applicant.

Approved plans and specifications

The department requires that the plans and specifications set out below and enclosed must be attached to any development approval.

Drawing/report title	Prepared by	Date	Reference no.	Version/issue
Aspect of development: Operational work				
Ferry Transfer Pontoon – General Arrangement	Madsen Giersing Consulting Engineers	07/09/2018	1584A-DWG-010	D
Ferry Transfer Pontoon – Sections – SH.1	Madsen Giersing Consulting Engineers	06/09/2018	1584A-DWG-011	D
Ferry Transfer Pontoon – Tidal sections	Madsen Giersing Consulting Engineers	03/09/2018	1584A-DWG-015	C
Ferry Transfer Pontoon – Sections	Madsen Giersing Consulting Engineers	03/09/2018	1584A-DWG-031	B
Hydraulics – Typical Details Sheet 2 (as amended in red)	Aquatic One	06/09/2018	AQT-H-201	A

A copy of this response has been sent to the applicant for their information.

For further information please contact Haidar Etemadi, Planning Officer, on (07) 4924 2915 or via email RockhamptonSARA@dsmip.qld.gov.au who will be pleased to assist.

Yours sincerely



Anthony Walsh
Manager Planning

cc Gladstone Ports Corporation Limited, bennetta@gpcl.com.au

enc Attachment 1—Conditions to be imposed
Attachment 2—Reasons for decision to impose conditions
Attachment 3—Advice to the applicant
Approved plans and specifications

Attachment 1—Conditions to be imposed

No.	Conditions	Condition timing
Operational work		
Tidal works—The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of Department of Environment and Science to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):		
1.	<p>The tidal works must be carried out generally in accordance with the following plans:</p> <ul style="list-style-type: none"> • Ferry Transfer Pontoon – General Arrangement prepared by Madsen Giersing Consulting Engineers dated 07/09/2018, reference 1584A-DWG-010 and revision D. • Ferry Transfer Pontoon – Sections – SH.1 prepared by Madsen Giersing Consulting Engineers dated 06/09/2018, reference 1584A-DWG-011 and revision D • Ferry Transfer Pontoon –Tidal sections prepared by Madsen Giersing Consulting Engineers dated 03/09/2018, reference 1584A-DWG-015 and revision C • Ferry Transfer Pontoon – Sections prepared by Madsen Giersing Consulting Engineers dated 03/09/2018, reference 1584A-DWG-031 and revision B • Hydraulics – Typical Details Sheet 2 prepared by Aquatic One dated 06/09/18, reference AQT-H-201 and revision A as amended in red. 	For the duration of works.
2.	For the proposed works, only use clean materials and ensure that the works do not cause contamination.	For the duration of works.
3.	Erosion and sediment control measures which are in accordance with Best Practice Erosion and Sediment Control (BPESC) guidelines for Australia (International Erosion Control Association), are to be installed and maintained to prevent the release of sediment to tidal waters.	For the duration of works.
4.	<p>Should the pontoon infrastructure collapse, fail or otherwise suffer structural consequences which impact their integrity or ability to function as intended, the works must be:</p> <p>(a) reinstated in accordance with this development approval; or</p> <p>(b) removed and disposed of at an appropriately licenced facility.</p>	As soon as reasonably practicable subsequent to the damage
5.	<p>Submit “As Constructed drawings” to palm@des.qld.gov.au or mail to:</p> <p style="padding-left: 40px;">Department of Environment and Science Permit and Licence Management Implementation and Support Unit GPO Box 2454 Brisbane Qld 4001</p>	Within two (2) weeks of the completion of the works.
6.	(a) In the event that the works cause disturbance or oxidisation of acid sulfate soil, the affected soil must be treated and thereafter managed (until the affected soil has been neutralised or contained) in accordance with the current <i>Queensland Acid Sulfate Soil</i>	(a) Upon disturbance or oxidisation until the affected soil has been

	<p><i>Technical Manual: Soil management guidelines</i>, prepared by the Department of Science, Information Technology, Innovation and the Arts, 2014.</p> <p>(b) Certification by an appropriately qualified person, confirming that the affected soil has been neutralised or contained, in accordance with (a) above is to be provided to palm@des.qld.gov.au or mailed to:</p> <p style="padding-left: 40px;">Department of Environment and Science Permit and Licence Management Implementation and Support Unit GPO Box 2454 Brisbane Qld 4001</p> <p>Appropriately qualified person(s) means a person or persons who has professional qualifications, training, skills and experience relevant to soil chemistry or acid sulfate soil management and can give authoritative assessment, advice and analysis in relation to acid sulfate soil management using the relevant protocols, standards, methods or literature.</p>	<p>neutralised or contained.</p> <p>(b) At the time the soils have been neutralised or contained.</p>
<p>Tidal works in tidal waters—The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of Department of Transport and Main Roads to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):</p>		
7.	<p>(a) The construction, operation or maintenance of the approved development must not damage or interfere (physically or by electrical or electro-magnetic emissions) with any aid to navigation.</p> <p>(b) In the event that damage or interference is caused to any aid to navigation, the Harbour Master must be immediately contacted on (07) 49715200, and at the applicant's cost the damage or interference must be promptly repaired replaced or interference removed.</p>	<p>(a) At all times.</p> <p>(b) As indicated.</p>
8.	<p>"As Constructed" drawings of the approved structure must be provided to the Regional Harbour Master Gladstone by email to Gladstone.rhm@msq.qld.gov.au</p>	<p>Within two (2) weeks of the completion of the works.</p>
9.	<p>(a) Provide written notice to Regional Harbour Master Gladstone by email to Gladstone.rhm@msq.qld.gov.au, when the development authorised under this approval is scheduled to commence.</p> <p>Each notice must state this application number, the location and name of registered place and the condition number under which the notice is being given.</p> <p>(b) Provide written notice to Regional Harbour Master Gladstone by email to Gladstone.rhm@msq.qld.gov.au when the development authorised under this approval has been completed.</p> <p>Each notice must state this application number, the location and</p>	<p>(a) At least two (2) weeks prior to the commencement of works.</p> <p>(b) Within two (2) weeks of the completion of works.</p>

	name of registered place and the condition number under which the notice is being given.	
10.	<p>All vessels, structures, plant and equipment associated with the construction of the approved works must be lit/marked in accordance with the following specifications and requirements such that undertaking the construction works does not cause a risk to the safe navigation of ships:</p> <p>(a) Any associated construction equipment including anchors and lines deployed must be marked and lit as detailed in the approved Marine Execution Plan (MEP). All vessels must comply with relevant lighting standards.</p> <p>Lighting provided must not obscure, disguise or otherwise interfere with the effectiveness of navigational lighting.</p>	While the works are occurring.
11.	<p>The structure must be lit/marked in accordance with the following specifications, such that it does not cause a risk to the safe navigation of other ships:</p> <p>(a) Port lateral light must be fitted to the structure to adequately mark the entrance to Auckland creek.</p> <p>Lighting provided must not obscure, disguise or otherwise interfere with the effectiveness of navigational lighting.</p>	At all times.

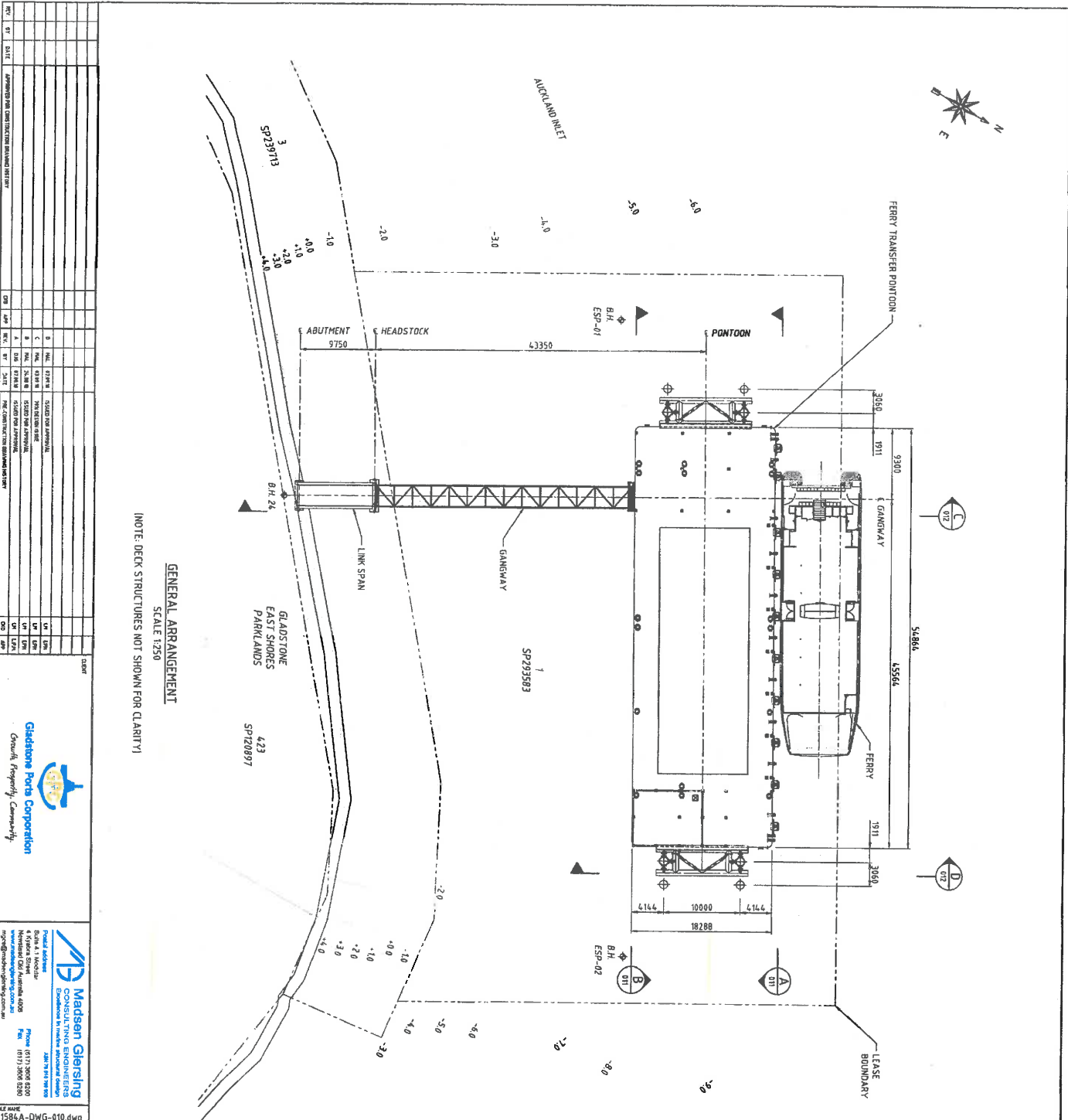
Attachment 2—Reasons for decision to impose conditions

The reasons for this decision are to:

- ensure the development is carried out generally in accordance with the plans of development submitted with the application
- ensure the development avoids or minimises adverse impacts on coastal resources and their values
- ensure landowners are aware they must take responsibility for their damaged property as they can impact on coastal resources and public safety
- allow for compliance in relation to what is considered generally in accordance with the approved plans when preliminary plans are submitted with the application. Development inconsistent with the approval may have an impact on coastal management that was not considered in assessment.
- ensure any disturbance to acid sulfate soils is managed to prevent impacts to coastal environments
- ensure that the development does not interfere with any existing aids to navigation
- facilitate the monitoring of the development works for compliance purposes
- ensure that at all times, all lights on or above the development site do not interfere with safe navigation in surrounding waterways.

Attachment 3—Advice to the applicant

General advice – Release of contaminants to waters	
1.	Chemical toxicant (i. e. chlorine) and backwash from swimming pools are listed as prescribed water contaminants under Schedule 9 of the Environmental Protection Regulation 2008. Under section 440zg of the <i>Environmental Protection Act 1994</i> , it is an offence to deposit, even indirectly, prescribed water contaminants in waters. As such, all reasonable and practicable measures must be taken to prevent or minimise release of contaminants (chlorine and swimming pool backwater) to natural waters.



GENERAL ARRANGEMENT
SCALE 1:250
NOTE: DECK STRUCTURES NOT SHOWN FOR CLARITY

NOTES:
1. ALL LEVELS AND CONTOURS ARE IN METRES RELATIVE TO AHD DATUM.

PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE

SARA ref: 1809-7223 SRA

Date: 17/10/2018

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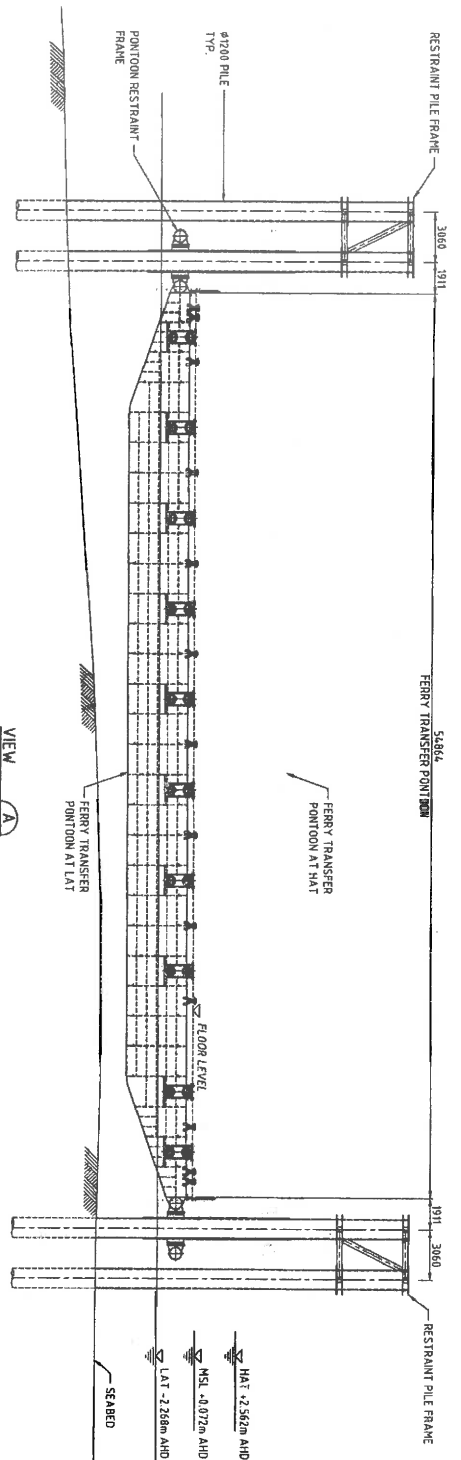
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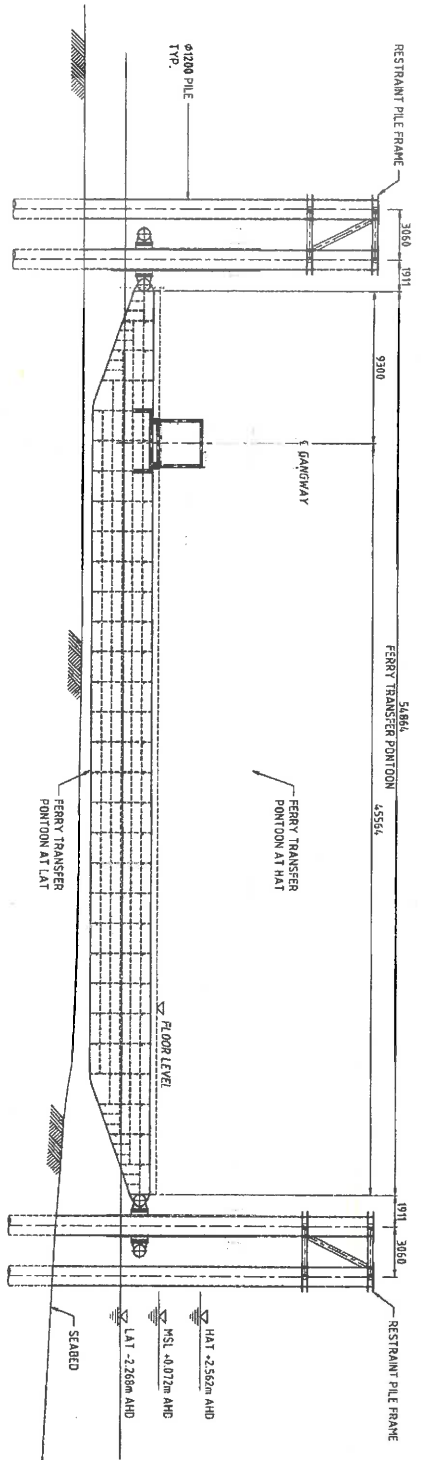
UNLESS STATED OTHERWISE, ALL WORKING IS TO BE DONE TO THE BEST OF THE MATERIAL FROM TO WHICH IT RELATES.

OWNER Gladstone Ports Corporation <i>Growth, Prosperity, Community</i>		
DESIGNER Madson Giersting CONSULTING ENGINEERS Suite 4, 1 Mackillop Street, Gladstone QLD 4850 Phone: 0177 3066 3200 Fax: 0177 3066 3290 www.madsongiersting.com.au info@madsongiersting.com.au		
DATE 1584A-DWG-010-010	SCALE AS SHOWN	PROJECT GLADSTONE EAST SHORES PARKLANDS: STAGE 1B
PROJECT NO. 1584A	DESCRIPTION FERRY TRANSFER PONTOON GENERAL ARRANGEMENT	ISSUE NO. A1
CLIENT GLADSTONE PORTS CORPORATION	DESIGNER MADSON GIERSTING CONSULTING ENGINEERS	DATE 17/10/2018
DATE 17/10/2018	SCALE AS SHOWN	PROJECT GLADSTONE EAST SHORES PARKLANDS: STAGE 1B
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VIEW A
SCALE 1:50 0/0



VIEW B
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PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE

SARA ref: 1809-7223 SRA

Date: 17/10/2018

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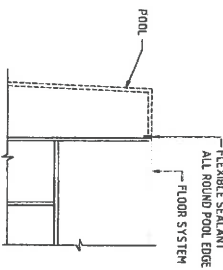
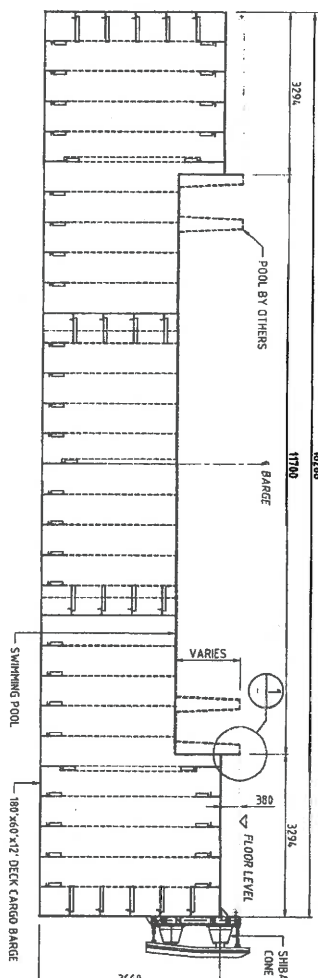
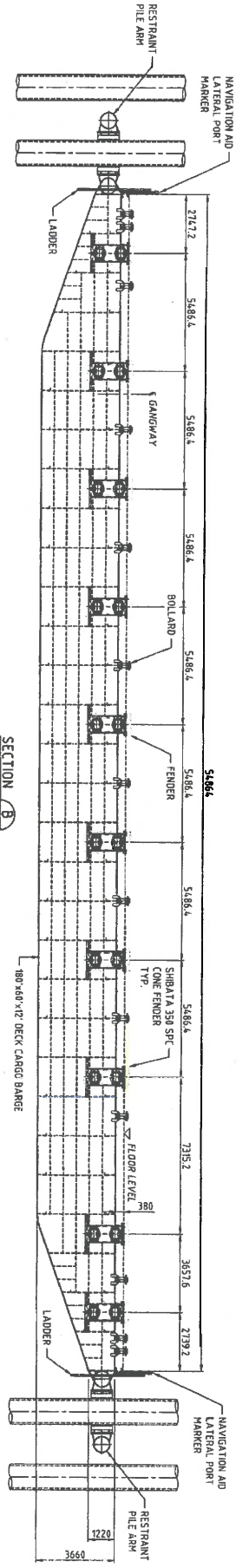
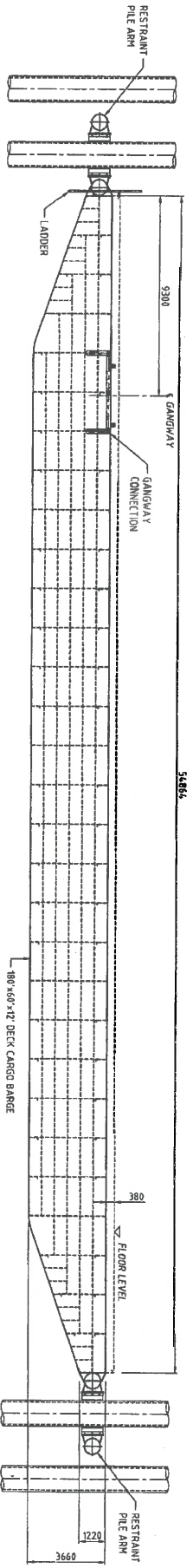
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96			ISSUED FOR APPROVAL		
97			ISSUED FOR APPROVAL		
98			ISSUED FOR APPROVAL		
99			ISSUED FOR APPROVAL		
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Phone: (07) 2000 8200
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mgs@madsglensting.com.au

PROJECT	GLADSTONE EAST SHORES PARKLANDS STAGE 1B
SECTION	FERRY TRANSFER PONTON SECTIONS - SH1
SCALE	AS SHOWN
DATE	15/04/18
NO.	D



- NOTES:**
- FOR RESTRAINT PILE ARM REFER 584A-DWG-050
 - FOR FENDER DETAILS REFER 584A-DWG-055
 - FOR BOLLARD DETAILS REFER 584A-DWG-060
 - FOR NAVIGATIONAL AID DETAILS REFER 584A-DWG-067
 - FOR LADDER DETAILS REFER 584A-DWG-062
 - FOR GANGWAY CONNECTION DETAILS REFER 584A-DWG-043
 - FOR STRUCTURAL COLUMNS TO BARGE DECK CONNECTION DETAILS REFER 584A-DWG-064
 - FOR ACCESS HATCH DETAILS REFER 584A-DWG-065

PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE

SARA ref: 1809-7223 SRA
Date: 17/10/2018

FOR INFORMATION ONLY

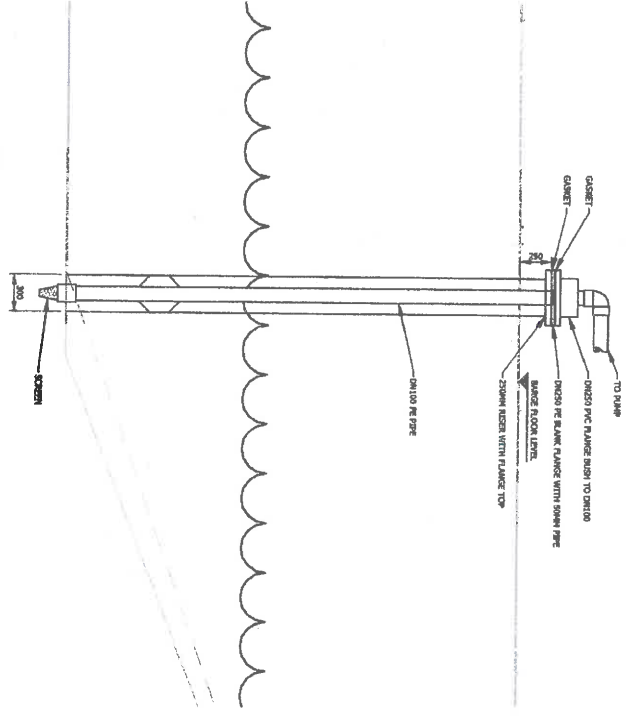
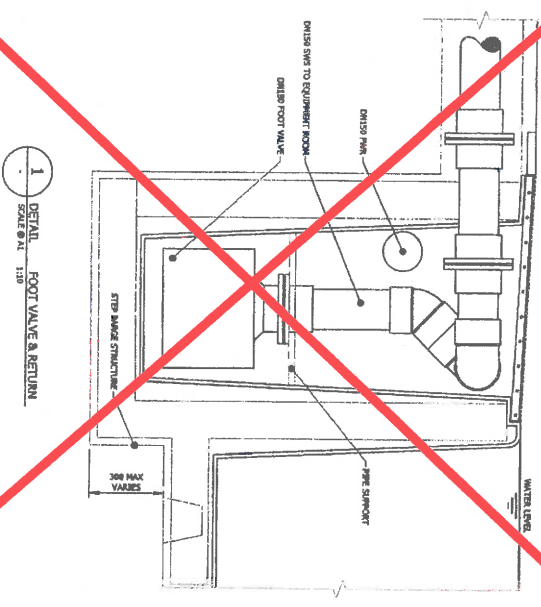
DOCUMENT CONTROL STATUS

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DATE: 10 OCT 18 08:54:31
NAME: N. J. J. J.

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COMPANY		CLIENT	
Gladstone Ports Corporation Growth, Prosperity, Community.		GLADSTONE EAST SHORES PARKLANDS STAGE 1B FERRY TRANSFER PONTOON SECTIONS 1584A-DWG-031	
Madsen Glensting CONSULTING ENGINEERS 10/150 STATION ROAD BRISBANE QLD 4000 PH: (07) 3208 6200 WWW.MADSENGLENSTING.COM.AU		Review by: Checked by: Approved by:	
NO.	DATE	BY	DATE



PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE

SARA ref: 1809-7223 SRA

Date: 17/10/2018

Amended in red by SARA on

17/10/2018

PROJECT
GLADSTONE EAST SHORES
STAGE 1B
GLADSTONE
QLD 4800

CLIENT
GLADSTONE PORTS
CORPORATION
40 GORNOON ST
GLADSTONE
QLD 4800

ARCHITECT
MODE
ARCHITECTS
828 ANN STREET
FORTITUDE VALLEY
QLD 4006

AQUATIC CONSULTANT
aquaticone
aquaticone.com.au 07 3207 7292
www.aquaticone.com.au

REVISIONS

NO.	DESCRIPTION	DATE	BY	CHKD
A	FOR INFORMATION	04/09/18	TRK	CSH

TITLE
HYDRAULICS
TYPICAL DETAILS
SHEET 2

DRAWING STATUS FOR INFORMATION
PROJECT NO. 8801
DRAWING NO. AQT-H-201

REV
A



Department of
**State Development,
 Manufacturing,
 Infrastructure and Planning**

Department of State Development, Manufacturing, Infrastructure and Planning

Statement of reasons for application 1809-7223 SRA

(Given under section 56 of the *Planning Act 2016*)

Departmental role: Referral agency

Applicant details

Applicant name: Gladstone Ports Corporation Limited
 Applicant contact details: 40 Goondoon Street, PO Box 259
 Gladstone QLD 4680
 bennetta@gpcl.com.au

Location details

Street address: Flinders Parade, Gladstone Central
 Real property description: Lot 305 on SP235961, Lot 304 on SP231549, Lot 1 on SP293583, Lot 3 on SP239713
 Local government area: Gladstone Regional Council

Development details

Development permit: Tidal works for pontoon refurbishment works and the permanent location of a ferry transfer pontoon at East Shores Parklands

Assessment matters

Aspect of development requiring code assessment	State Development Assessment Provisions, version 2.3 Applicable codes
Operational work	<ul style="list-style-type: none"> • State code 7: Maritime safety • State code 8: Coastal development and tidal works

Reasons for the department's decision

The reasons for the decision are the proposed development:

- includes two (2) aspects:
 - o Aspect 1: Pontoon refurbishment works – refit of existing lawful pontoon structure and relocate to a permanent location (Aspect 2).
 - o Aspect 2: East Shore Ferry Transfer Pontoon – relocate refurbished pontoon to new and permanent location with gangway and headstock.
- is coastal-dependent infrastructure (pontoon only) and proposed pool and related infrastructure are consistent with the purpose of the lease
- site is developed as port and a rock-wall is present along the shore
- avoids impacting on coastal processes
- ensures that the protective function of landforms and vegetation is maintained
- does not increase risk or impacts to people and property from coastal erosion
- has low risk to coastal waters
- maintains water quality with conditions

Fitzroy/Central regional office
 Level 2, 209 Bolsover Street,
 Rockhampton
 PO Box 113, Rockhampton QLD 4700

- in its new location at East Shores provides both a commercial marine use and a public use
- avoids impacts on matters of state environmental significance
- supports the viable operation of aids to navigation
- supports the safe operation of vessels in navigable waterways
- complies with State code 7 and State code 8 with conditions.

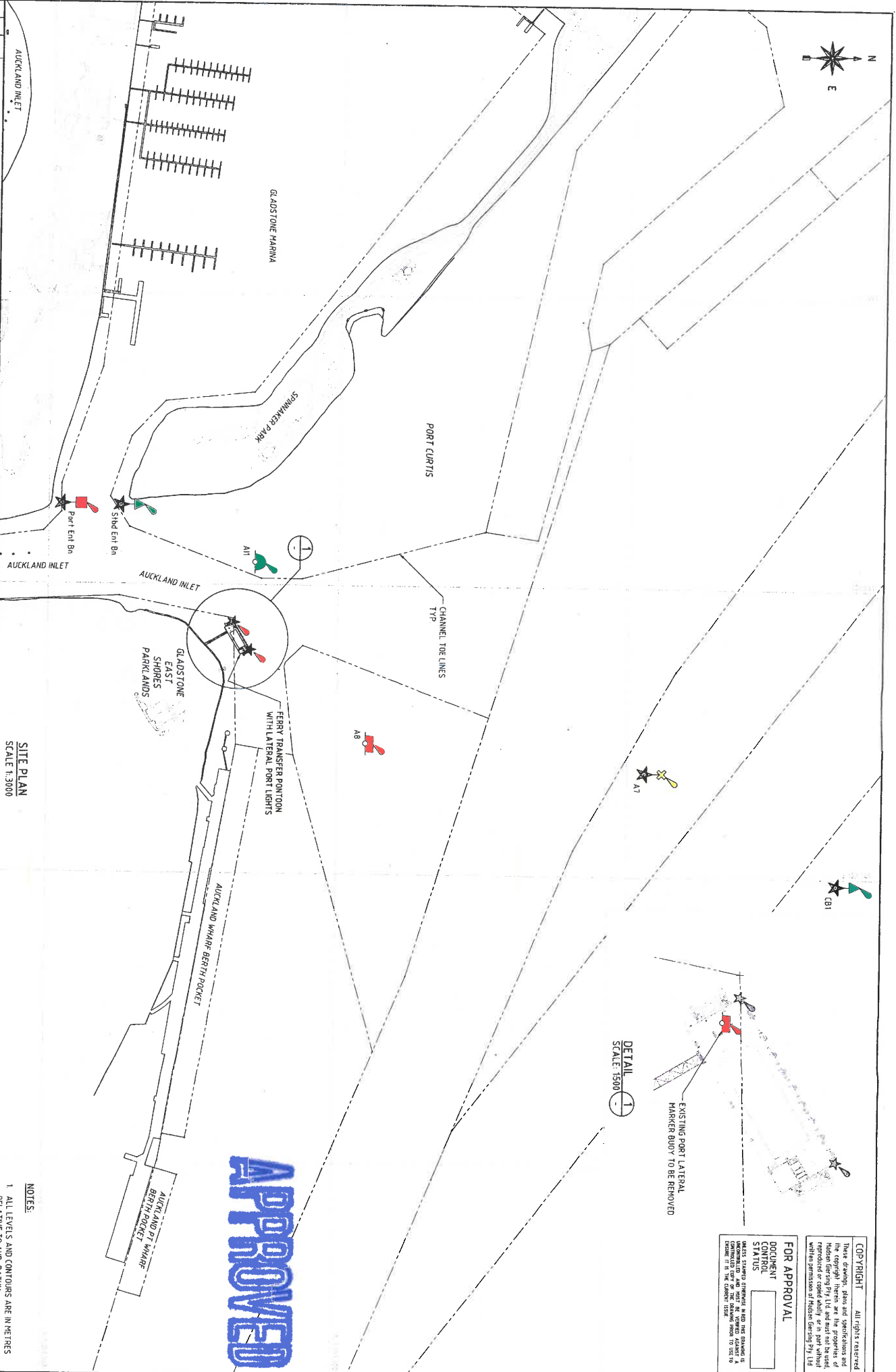
Response:

Nature of approval	Response details	Date of response
Development approval	Subject to conditions	17 October 2018

Relevant material:

- Development application material
- Information request response
- *Planning Act 2016*
- Planning Regulation 2017
- Development Assessment Rules
- Technical agency advice
- State Development Assessment Provisions

ATTACHMENT 2: APPROVED PLANS AND SPECIFICATIONS



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 DATE: 17/09/2013

EXISTING PORT LATERAL MARKER BUOY TO BE REMOVED

DETAIL 1
SCALE: 1:500

APPROVED

NOTES:
 1 ALL LEVELS AND CONTOURS ARE IN METRES RELATIVE TO AHD D.A.T.M.

REV	BY	DATE	APPROVED FOR CONSTRUCTION DRAWING SET WORK	CD	APP	REV	BY	DATE	FOR CONSTRUCTION DRAWING SET WORK
A	QDS	07/03/10	ISSUED FOR APPROVAL	LA					
B	NHL	24/04/10	ISSUED FOR APPROVAL	LA					
C	NHL	23/05/10	ISSUED FOR APPROVAL	LA					
D	NHL	18/03/10	ISSUED FOR APPROVAL	LA					

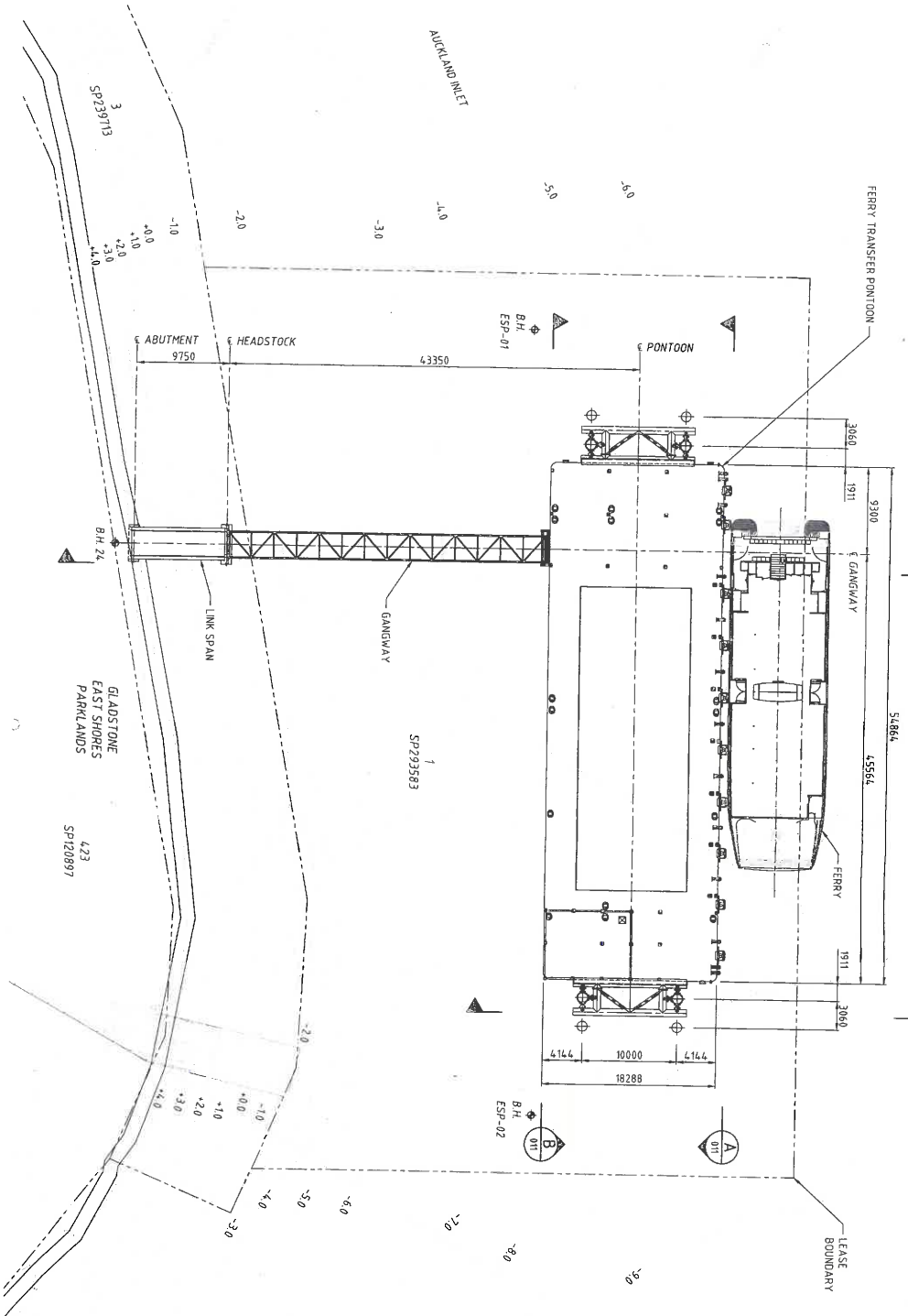
SITE PLAN
SCALE 1:3000

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 ENGINEERS IN TRAINING ENGINEERING DESIGN
 14/150 RIVERVIEW ROAD
 AUCKLAND
 Phone: (617) 3008 6200
 Fax: (617) 3008 6280
 mgs@madsengiering.com.au

NO	REVISION	DATE	BY	BY	BY	BY	BY	BY	BY
1	MAL								
2	LPH								
3	LH								

PROJECT	GLADSTONE EAST SHORES PARKLANDS: STAGE 1B
TITLE	FERRY TRANSFER PONTOON
SCALE	AS SHOWN 1:584A
DATE	15/09/13
DRAWN BY	A1
CHECKED BY	D



GENERAL ARRANGEMENT
SCALE 1:250
(NOTE: DECK STRUCTURES NOT SHOWN FOR CLARITY)

REV.	BY	DATE	REVISION	APP.	REV.	DATE	REVISION	APP.

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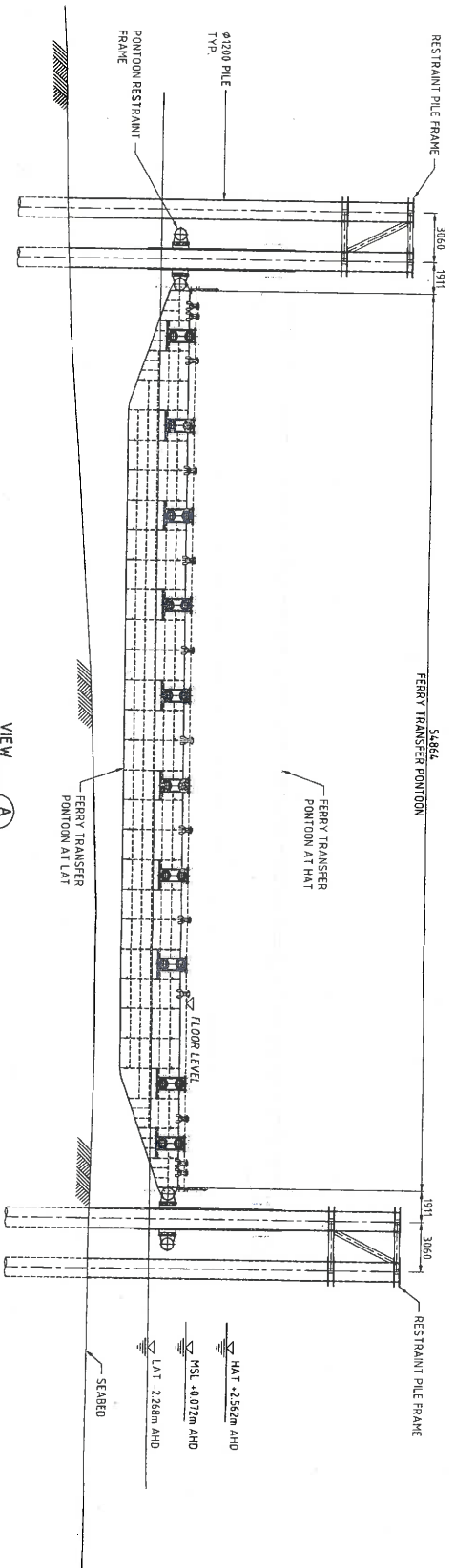
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FILE NAME	1584A-DWG-010
DATE	
DESIGNED BY	
CHECKED BY	
DATE APPROVED	
STATUS	

FOR APPROVAL

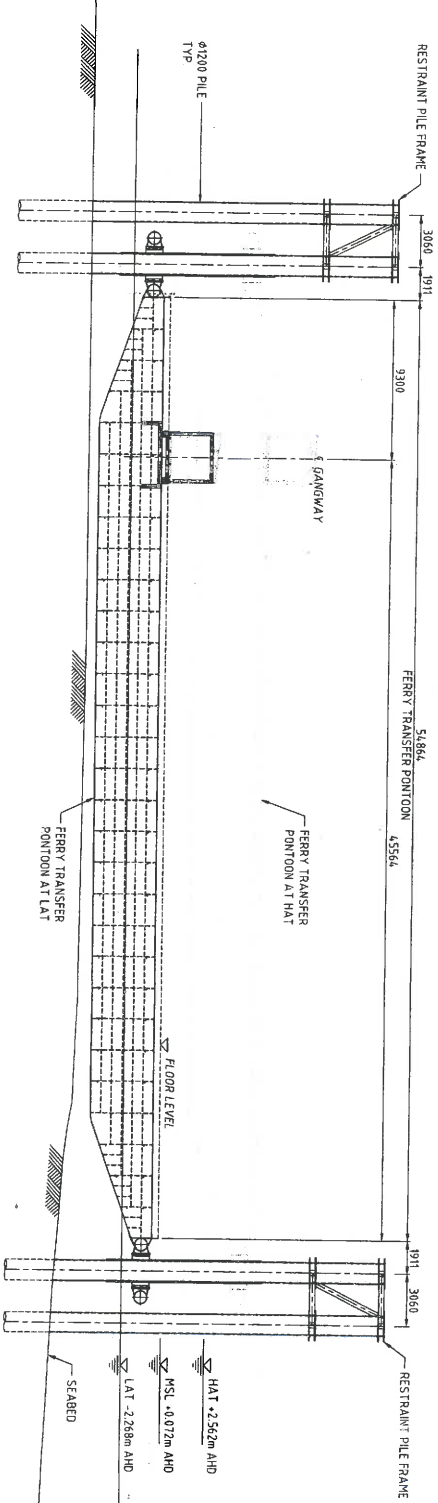
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APPROVED

NOTES:
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VIEW A
SCALE: 1:50



VIEW B
SCALE: 1:50

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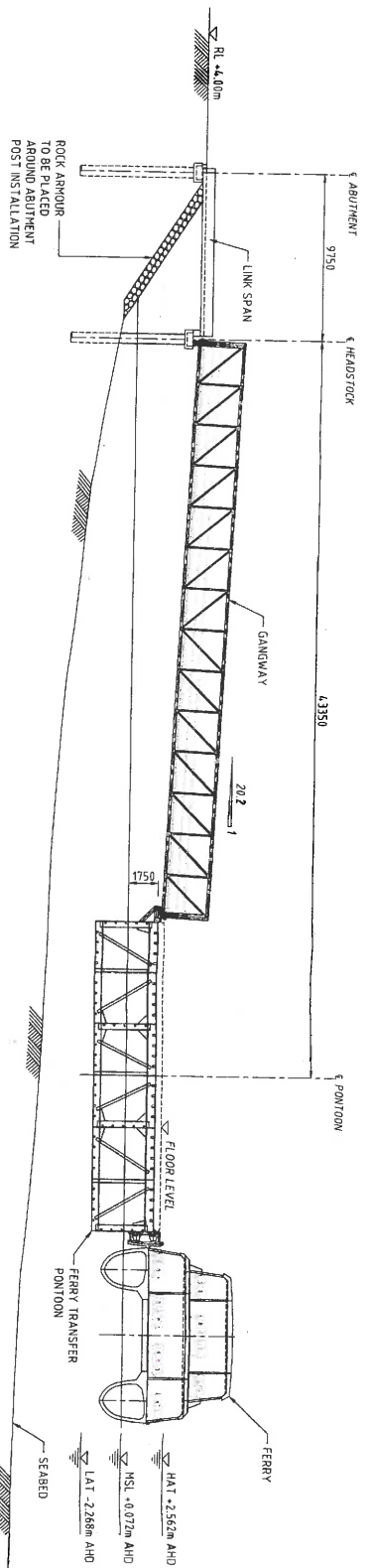
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GLADSTONE EAST SHORES PARKLANDS: STAGE 1B
FERRY TRANSFER PONTOON
SECTION - SH 1

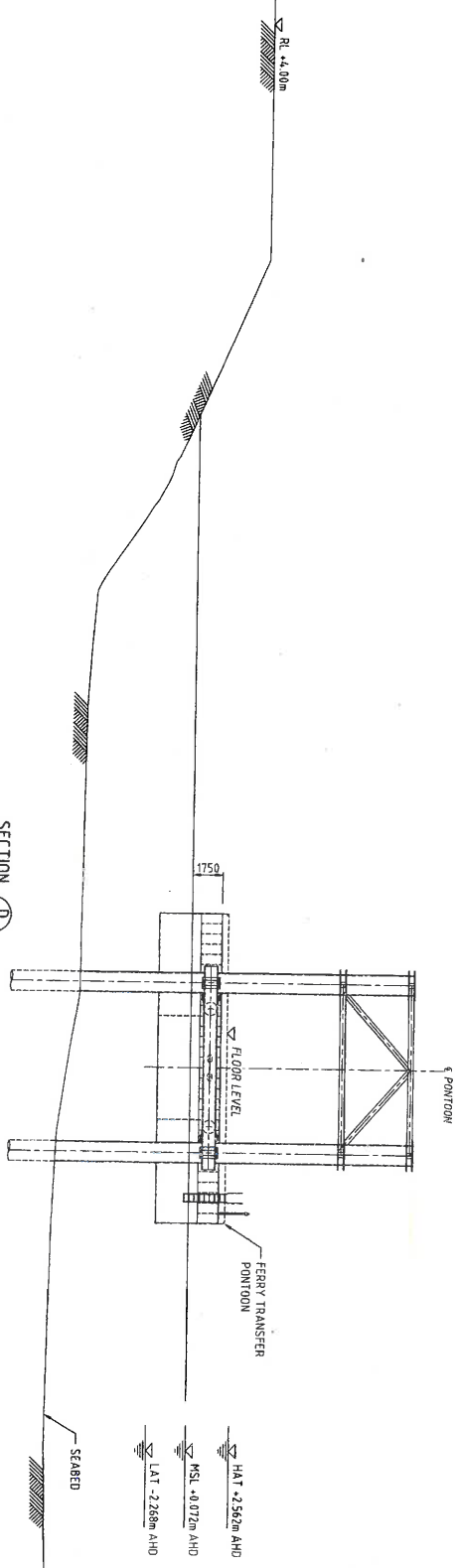
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SCALE: AS SHOWN
REV: D

Madsen Giersting CONSULTING ENGINEERS
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GLADSTONE PORTS CORPORATION
Growth. Responsibly. Community.



SECTION C
SCALE: 1:50 @ 0/0



SECTION D
SCALE: 1:50 @ 0/0

FERRY TRANSFER PONTON AT MSL TIDE LEVEL

APPROVED

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2	ML	03.11.10	FOR SCHEMATIC			
3	ML	14.04.11	FOR APPROVAL			
4	ML	02.03.11	FOR APPROVAL			
5	ML	02.03.11	FOR APPROVAL			

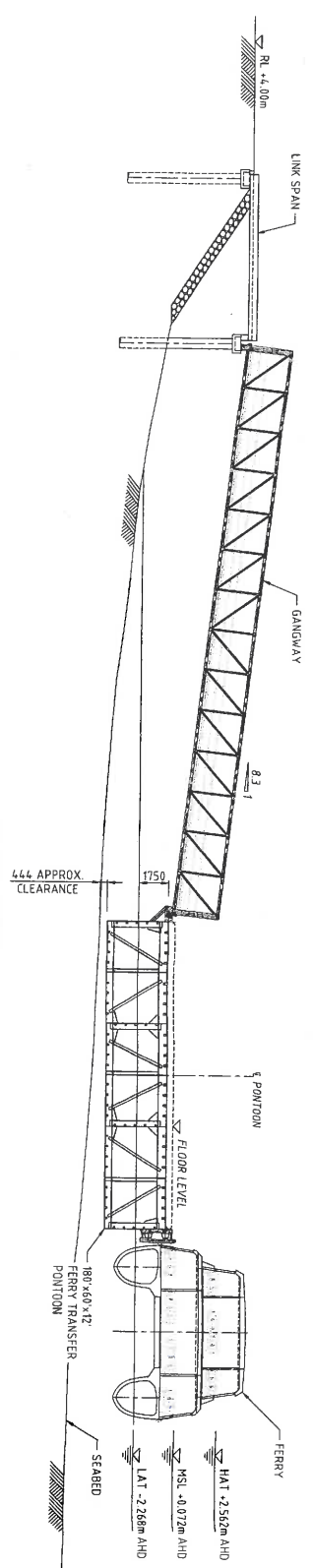
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 Evidence to inspire structural design

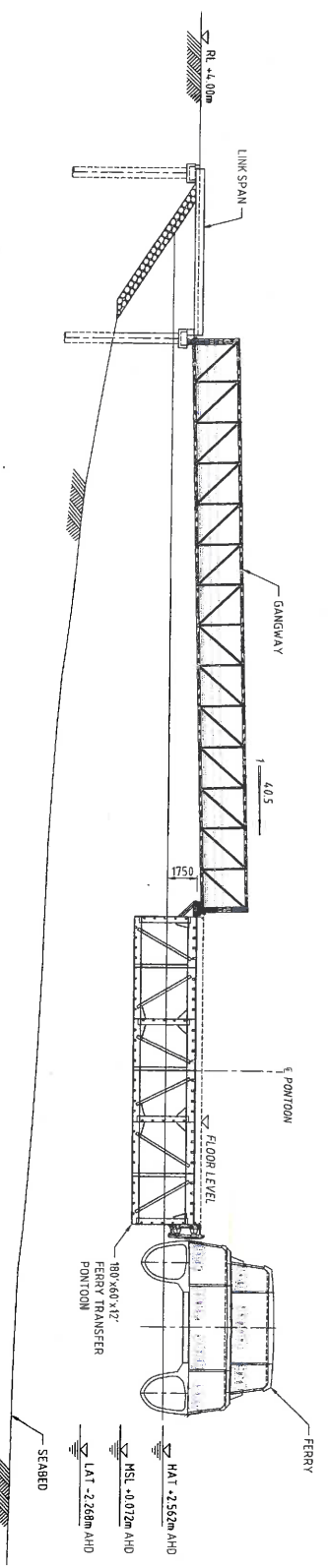
Postal address:
 4 Kynah Street
 Newstead QLD Australia 4006
 mgs@madsgiersting.com.au
 mgs01@madsgiersting.com.au

Phone: (07) 3088 0200
 Fax: (07) 3088 0280
 AEN 74 03 99 W9

PROJECT	GLADSTONE EAST SHORES PARKLANDS STAGE 1B
TITLE	FERRY TRANSFER PONTON
SECTION	SECTIONS - SH 2
SCALE	AS SHOWN
DATE	1584.A
REV	D



TYPICAL SECTION
SCALE 1:150
FERRY TRANSFER PONTON AT -2.268m AHD LOWEST ASTRONOMICAL TIDE (LAT)



TYPICAL SECTION
SCALE 1:150
FERRY TRANSFER PONTON AT +2.562m AHD HIGHEST ASTRONOMICAL TIDE (HAT)

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DATE: 15/05/10
DRAWN BY: AS SHOWN
SCALE: 1:150
PROJECT: GLADSTONE EAST SHORES PARPLANDS: STAGE 1B
TITLE: FERRY TRANSFER PONTON

REV	BY	DATE	DESCRIPTION
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Gladstone Ports Corporation
Specials, Prosperity, Community

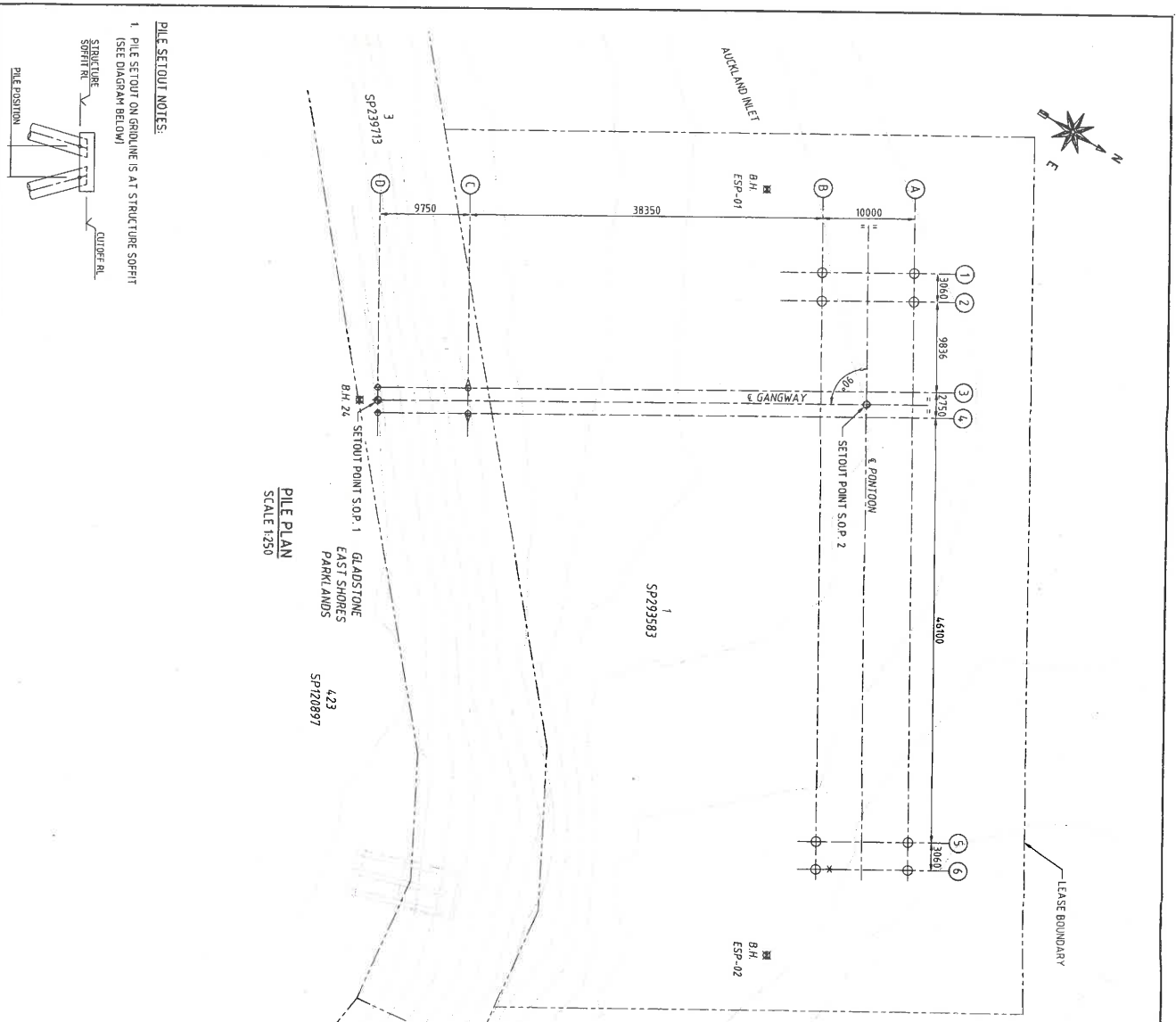
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Excellence in marine structural design
4 Kings Road, Gladstone QLD 4684
Phone: (08) 3098 8200 Fax: (08) 3098 8280
mgs@mgsengineering.com.au
mgs@mgsengineering.com.au

PROJECT: GLADSTONE EAST SHORES PARPLANDS: STAGE 1B
TITLE: FERRY TRANSFER PONTON

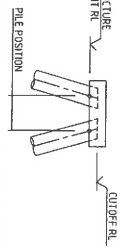
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TITLE: FERRY TRANSFER PONTON

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DRAWN: LHM
CHECKED: LHM
DESIGNED: LHM
DATE: 15/05/10

REV: C



PILE SETOUT NOTES:
 1. PILE SETOUT ON GROUNDLINE IS AT STRUCTURE SOFFIT (SEE DIAGRAM BELOW)



PILE PLAN
SCALE 1:250

REV	BY	DATE	DESCRIPTION	APP	CHK	DATE	DESCRIPTION
1	AS	15/04/2020	ISSUE FOR CONSTRUCTION (DRAWING NO. 1584A-DWG-020)	AS	AS	15/04/2020	ISSUE FOR CONSTRUCTION (DRAWING NO. 1584A-DWG-020)

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 CONSULTING ENGINEERS
 407-79 501 500
 1584A-DWG-020

PROJECT	GLADSTONE EAST SHORES PARKLANDS: STAGE 1B
TITLE	FERRY TRANSFER POINT
SCALE	AS SHOWN
DATE	15/04/2020
REV	B

PILE No.	PILE DIAMETER (mm)	PILE WALL THICKNESS (mm)	STEEL GRADE	RAKE	DESIGN ACTION EFFECT, E _d		PILE CUTOFF LEVEL (m)	PROVISIONAL PILE TOE LEVEL (m)	DYNAMIC PILE TESTING (YES/NO)
					ULTIMATE COMPRESSION (kN)	ULTIMATE TENSION (kN)			
A-1	1200	25	350	VERTICAL	-	-	-	-	-
A-2	1200	25	350	VERTICAL	-	-	-	-	-
A-5	1200	25	350	VERTICAL	-	-	-	-	-
A-6	1200	25	350	VERTICAL	-	-	-	-	-
B-1	1200	25	350	VERTICAL	-	-	-	-	-
B-2	1200	25	350	VERTICAL	-	-	-	-	-
B-5	1200	25	350	VERTICAL	-	-	-	-	-
B-6	1200	25	350	VERTICAL	-	-	-	-	-
C-3	610	16	350	1:8	-	-	-	-	-
C-4	610	16	350	VERTICAL	-	-	-	-	-
D-3	610	16	350	VERTICAL	-	-	-	-	-
D-4	610	16	350	VERTICAL	-	-	-	-	-

SETOUT POINTS			
S.O.P. 1	EASTING (m)	NORTHING (m)	7363271.622
S.O.P. 2	EASTING (m)	NORTHING (m)	7363317.265

NOTES:

- SUPPLY AND INSTALLATION OF PILES SHALL COMPLY WITH AS 5199 "PILING DESIGN AND INSTALLATION".
- ALL STEEL PILES GRADE SHALL BE AS NOTED IN PILE SCHEDULE TABLES.
- SPLICES IN PILES SHALL BE CFBW CATEGORY 'SP' (STRUCTURAL PURPOSE) UNO.
- PROTECTIVE COATINGS TO ALL PILES SHALL BE IN ACCORDANCE WITH THE SPECIFICATION UNO. PROTECTIVE COATING SHALL COVER A MINIMUM OF 2m BELOW THE SEA BED TO THE SOFFIT OF THE STRUCTURE.
- THE PILE DESIGN GEOTECHNICAL STRENGTH (R_{pd}) SHALL BE GREATER THAN THE DESIGN ACTION EFFECT (E_d) AS NOMINATED IN THE PILE SCHEDULE TABLES.
- THE DESIGN GEOTECHNICAL STRENGTH (R_{pd}) SHALL BE CALCULATED AS THE DESIGN ULTIMATE GEOTECHNICAL STRENGTH (R_{gd}) MULTIPLIED BY A GEOTECHNICAL REDUCTION FACTOR, Φ_g = 0.76, IN ACCORDANCE WITH AS 5199-2009 SECTION 4.3
- HIGH STRAIN DYNAMIC LOAD TESTING SHALL BE CARRIED OUT ON THE NOMINATED PILES.
- PROVISIONAL TOE LEVELS DETERMINED BASED ON PILE TEST REPORT
- FOR PILE DETAILS, REFER 1584A-DWG-021

LEGEND:

- ⊕ 41200 x 25WT
- ⊕ 4610 x 16WT
- ⊕ 4610 x 16WT (BANKING 1:8)
- ⊕ BONDHOLE
- ◆ SETOUT POINT
- * PILE TO BE TESTED

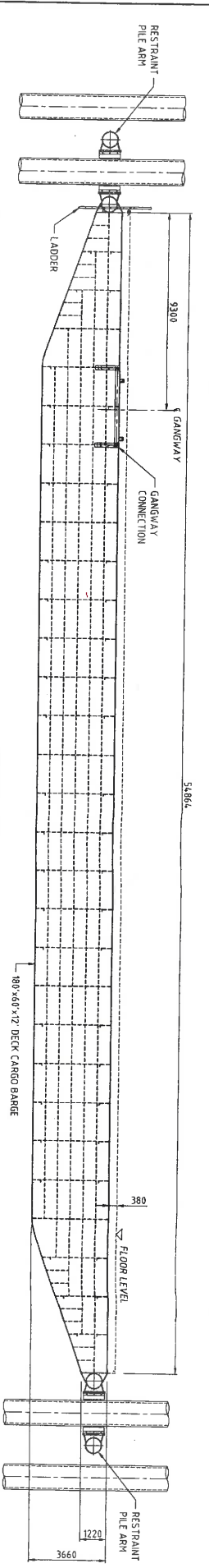
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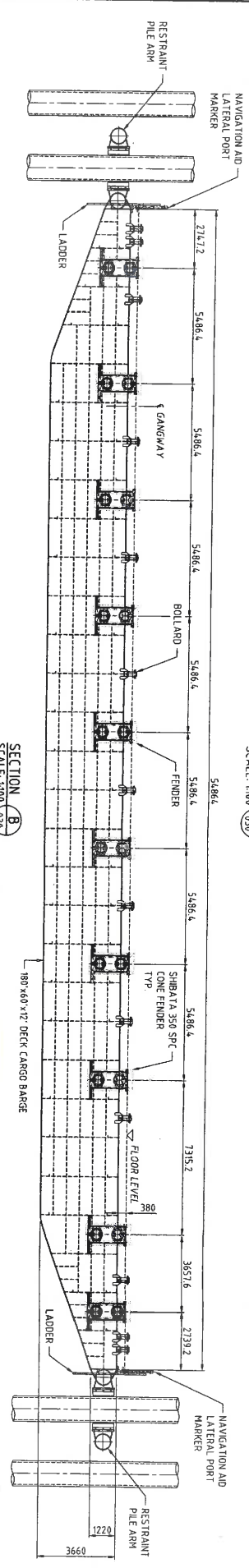
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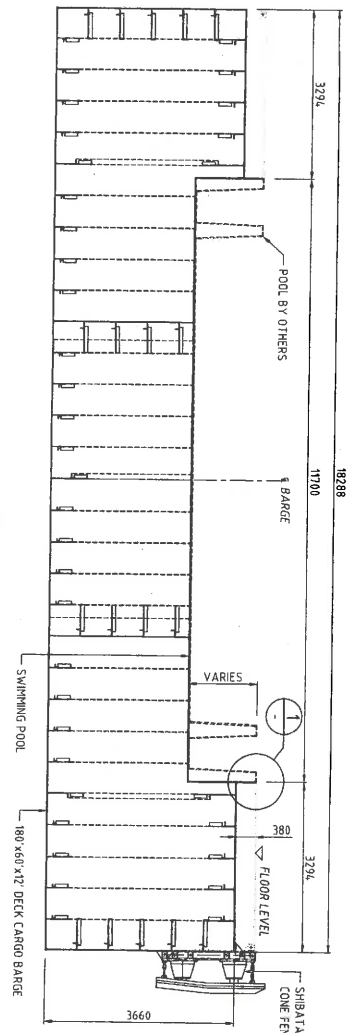
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SECTION A
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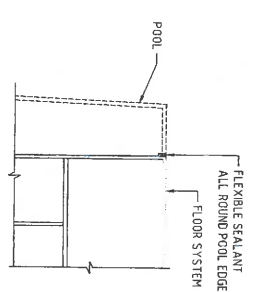


SECTION B
SCALE: 1:100 (3/3)



SECTION C
SCALE: 1:50 (3/3)

BARGE TRANSVERSE BHD



DETAIL 1
SCALE: 1:10 (1/1)

NOTES:

1. FOR RESTRAINT PILE ARM REFER 1584A-DWG-050
2. FOR FENDER DETAILS REFER 1584A-DWG-055
3. FOR BOLLARD DETAILS REFER 1584A-DWG-060
4. FOR NAVIGATIONAL AID DETAILS REFER 1584A-DWG-061
5. FOR LADDER DETAILS REFER 1584A-DWG-062
6. FOR GANGWAY CONNECTION DETAILS REFER 1584A-DWG-063
7. FOR STRUCTURAL COLUMNS TO BARGE DECK REFER 1584A-DWG-064
8. FOR ACCESS HATCH DETAILS REFER 1584A-DWG-065

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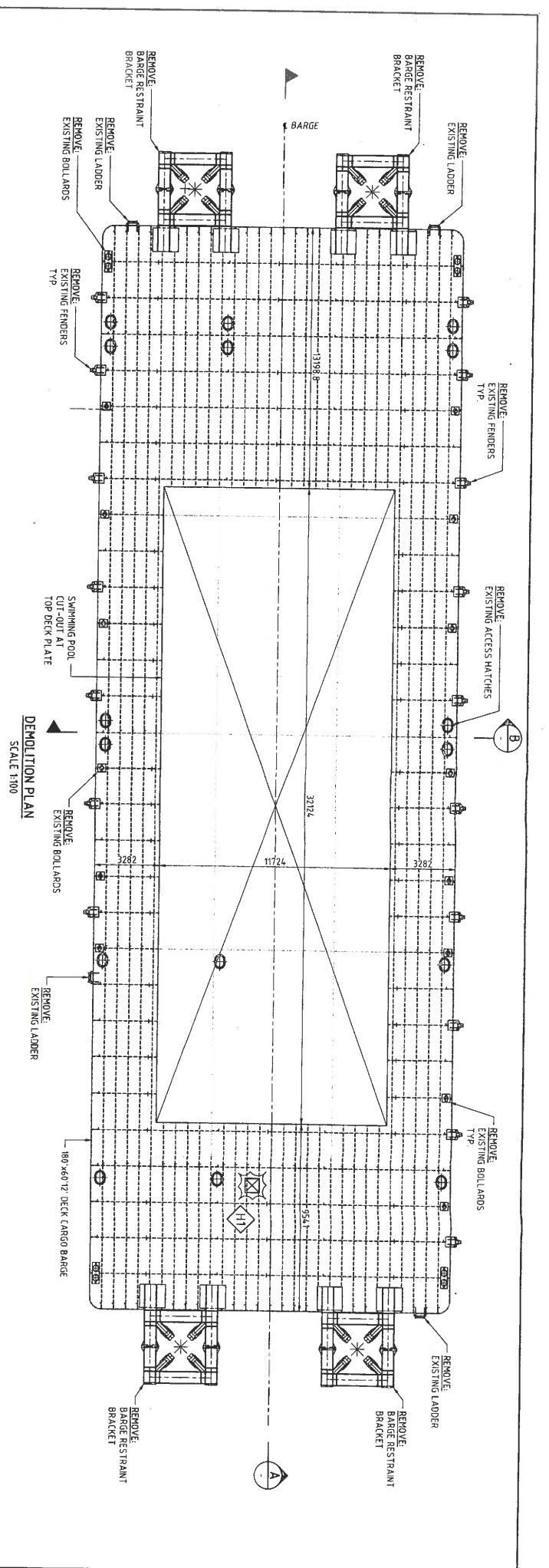
DATE: 15/08/2019

REV: B

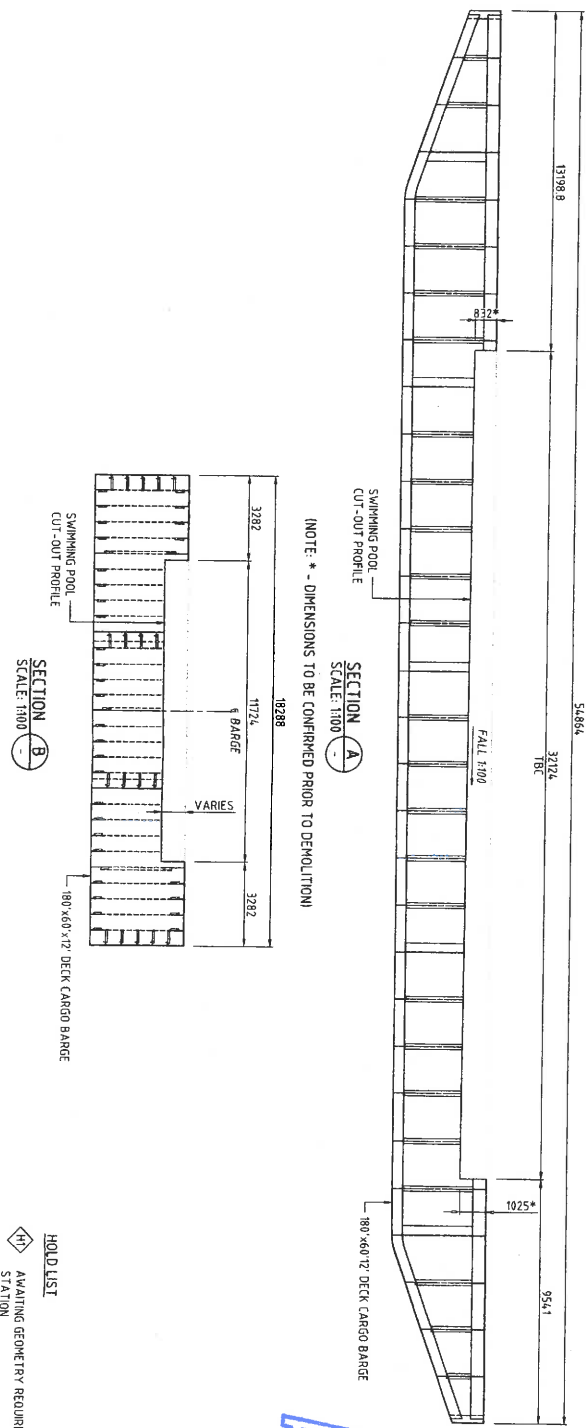
APPROVED

<p>Client</p> <p>Madsen Gleisling CONSULTING ENGINEERS 4 Parkside Drive, Northcote, Auckland 1061 Phone: (011) 3008 4200 Fax: (011) 3008 4200 www.madsengleisling.com.au info@madsengleisling.com.au</p>	
<p>Project</p> <p>GLADSTONE EAST SHORES PARKLANDS: STAGE 1B FERRY TRANSFER PONTON SECTIONS</p>	
<p>Drawn</p> <p>AS SHOWN</p>	<p>Scale</p> <p>1:50</p>
<p>Checked</p> <p>LPH</p>	<p>Date</p> <p>15/08/2019</p>
<p>Approved</p> <p>AS SHOWN</p>	<p>Rev</p> <p>B</p>





DEMOLITION PLAN
SCALE 1:100



SECTION A-A
SCALE 1:100

SECTION B-B
SCALE 1:100

APPROVED

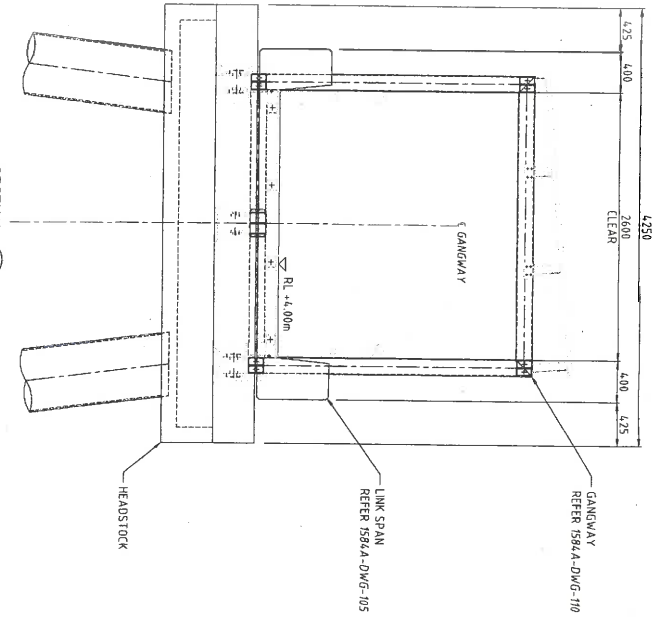
HOLD LIST
AWAITING GEOMETRY REQUIREMENT FOR PUMP
STATION

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REV	BY	DATE	APP	REV	BY	DATE	APP

Gladstone Ports Corporation <i>Growth. Prosperity. Community.</i>		
Madsen Giersting CONSULTING ENGINEERS EXETER HOUSE 21 NORTH BRIDGE ROAD ROYDON VIC 3089		
1584A-DWG-035	PROJECT: MAL LPH LHM SCALE: AS SHOWN	TITLE: FERRY TRANSFER PONTON DEMOLITION - GENERAL ARRANGEMENT 1584A
1584A-DWG-035	DRAWN: AS SHOWN CHECKED: [] APPROVED: [] DATE: []	DRAWING NO: A1 SHEET: 8



SECTION A
SCALE: 1:25

APPROVED

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DATE: 15/04/2010

REV: A

DATE		DRAWN		DATE		CHECKED		DATE	
REV	BY	DATE	DESCRIPTION	REV	BY	DATE	DESCRIPTION	REV	BY
			PROJECT APPROVAL						
			CONSTRUCTION APPROVAL						
			OPERATION APPROVAL						
			INSPECTION APPROVAL						
			COMPLETION APPROVAL						
			GENERAL						

Project: GLADSTONE EAST SHORES PARKLANDS: STAGE 1B

Title: LINK SPAN & GANGWAY SECTIONS

Drawing No: 1584A-DWG-101

Scale: AS SHOWN 1584A

Sheet No: A1

Author: A

Designer: A

Checker: A

Engineer: A

Survey: A

Quantity: A

Cost: A

Material: A

Method: A

Location: A

Time: A

Weather: A

Season: A

Day: A

Month: A

Year: A

Country: A

Continent: A

World: A

Address: A

City: A

State: A

Zip: A

Phone: A

Fax: A

Email: A

Website: A

Company: A

Logo: A



Gladstone Ports Corporation
Gladstone Property Community

Madsen Gjersing CONSULTING ENGINEERS
Established in 1978 as PROCORP 1978/80

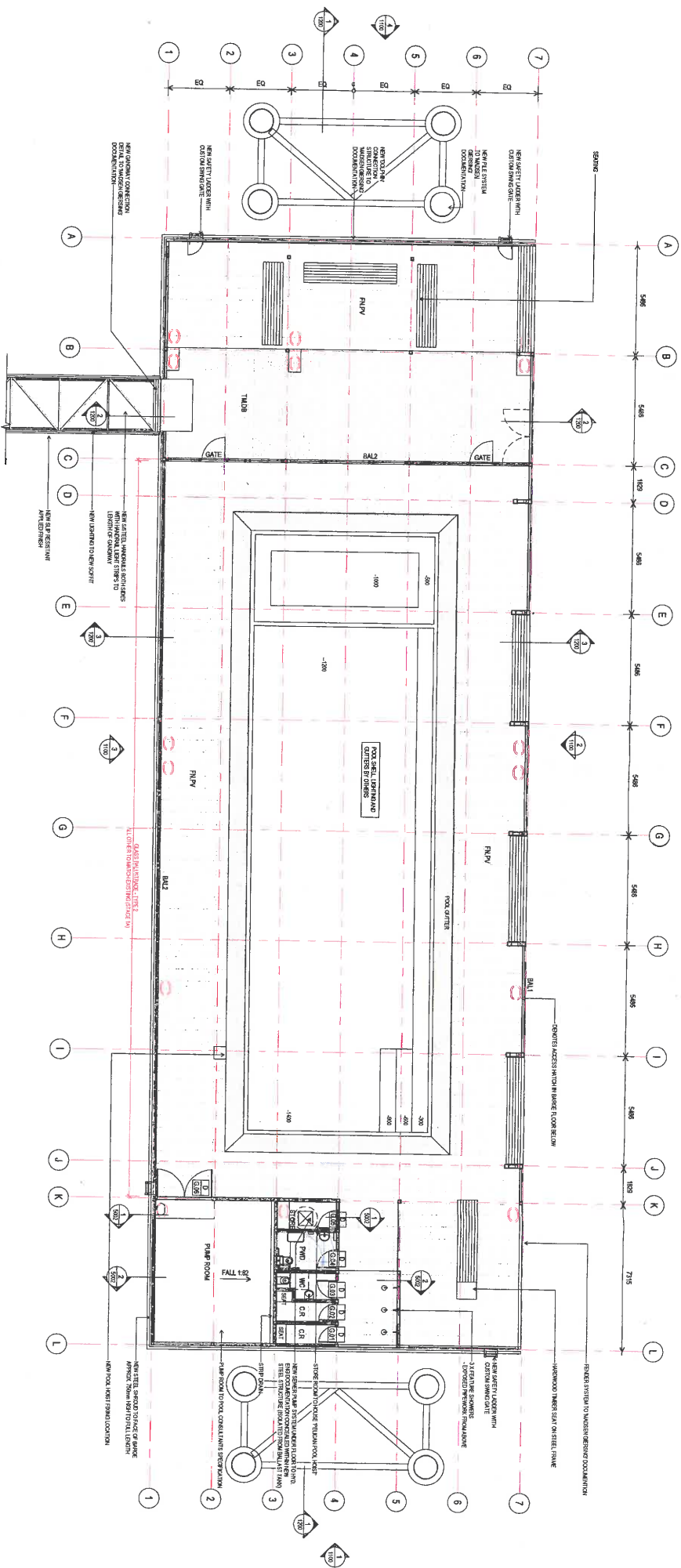
Postal Address:
49 The Esplanade
4 Kaysa Street
Newstead QLD Australia 4006
mgs@madsgjersing.com.au

Phone: (017) 3008 0200
Fax: (017) 3008 0280

ABN 34 017 300 800

<p>PROJECT:</p> <p>GLADSTONE EAST SHORES PARKLANDS: STAGE 1B</p> <p>TITLE:</p> <p>LINK SPAN & GANGWAY SECTIONS</p> <p>DRAWING NO:</p> <p>1584A-DWG-101</p> <p>SCALE:</p> <p>AS SHOWN 1584A</p> <p>SHEET NO:</p> <p>A1</p> <p>AUTHOR:</p> <p>A</p> <p>DESIGNER:</p> <p>A</p> <p>CHECKER:</p> <p>A</p> <p>ENGINEER:</p> <p>A</p> <p>SURVEY:</p> <p>A</p> <p>QUANTITY:</p> <p>A</p> <p>COST:</p> <p>A</p> <p>MATERIAL:</p> <p>A</p> <p>METHOD:</p> <p>A</p> <p>LOCATION:</p> <p>A</p> <p>TIME:</p> <p>A</p> <p>WEATHER:</p> <p>A</p> <p>SEASON:</p> <p>A</p> <p>DAY:</p> <p>A</p> <p>MONTH:</p> <p>A</p> <p>YEAR:</p> <p>A</p> <p>COUNTRY:</p> <p>A</p> <p>CONTINENT:</p> <p>A</p> <p>WORLD:</p> <p>A</p> <p>ADDRESS:</p> <p>A</p> <p>CITY:</p> <p>A</p> <p>STATE:</p> <p>A</p> <p>ZIP:</p> <p>A</p> <p>PHONE:</p> <p>A</p> <p>FAX:</p> <p>A</p> <p>EMAIL:</p> <p>A</p> <p>WEBSITE:</p> <p>A</p> <p>COMPANY:</p> <p>A</p> <p>LOGO:</p> <p>A</p>
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ATTACHMENT 3: EXTRACT OF APPEAL PROVISIONS

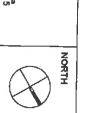


APPROVED

REV	DESCRIPTION	AUTH	CHK	DATE
B	40% Submission			29.08.18
E	40% Update			06.09.18
F	Update for Coordination			17.09.18
G	Update for Coordination			20.09.18
H	Update for Coordination			20.09.18
I	Update for Coordination			27.09.18
J	Update for Coordination			31.09.18

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ISSUE: **PRELIMINARY**



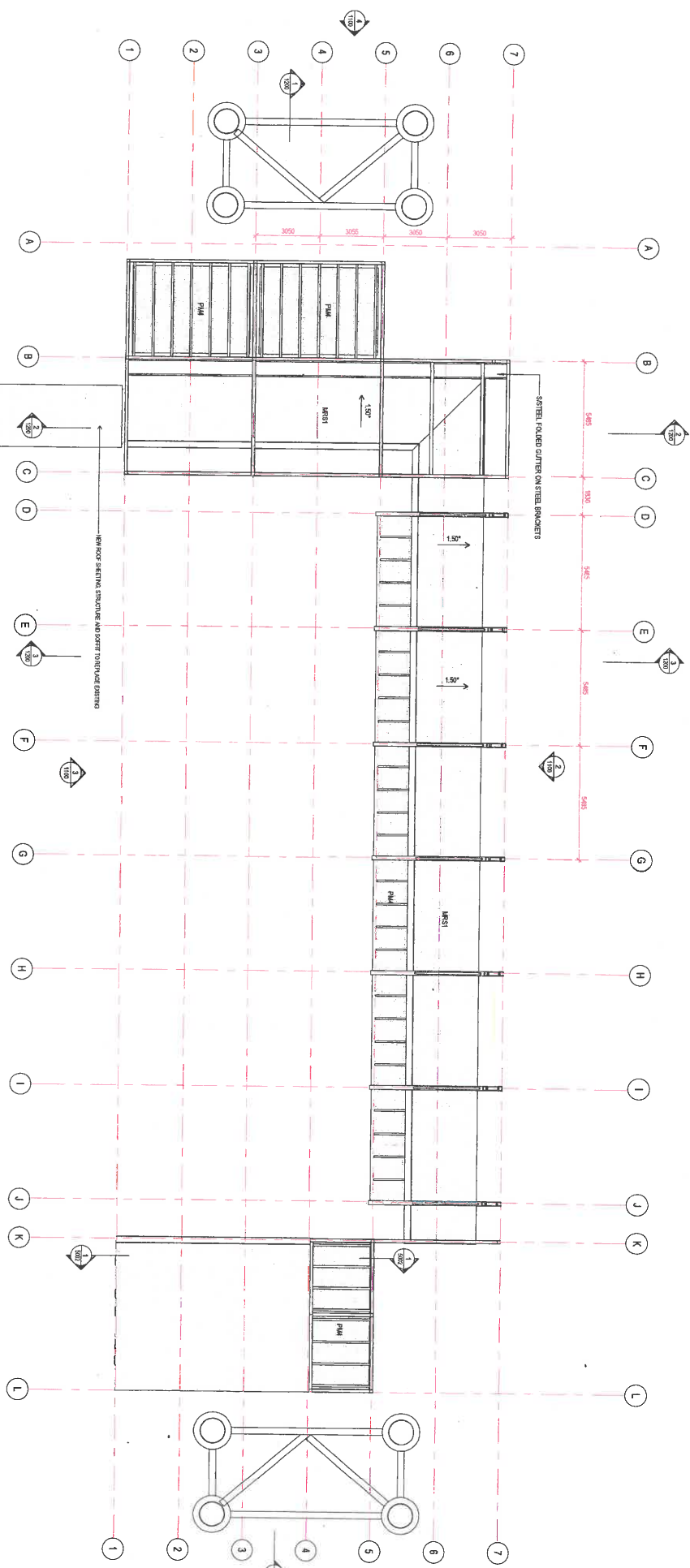
CLIENT: **Goldstone Ports Corporation**
Grant Property Company

BRIBRABE
 18/181 Leppia Road
 Goldstone Valley QLD 4006
 Australia
 Tel: +61 7 3253 8000
 Email: info@bribrabe.com.au
 ABN: 65 113 807 931

PROJECT: **EAST SHORES STAGE 1B**
 FUNDERS: MANAGE QUADSTONE

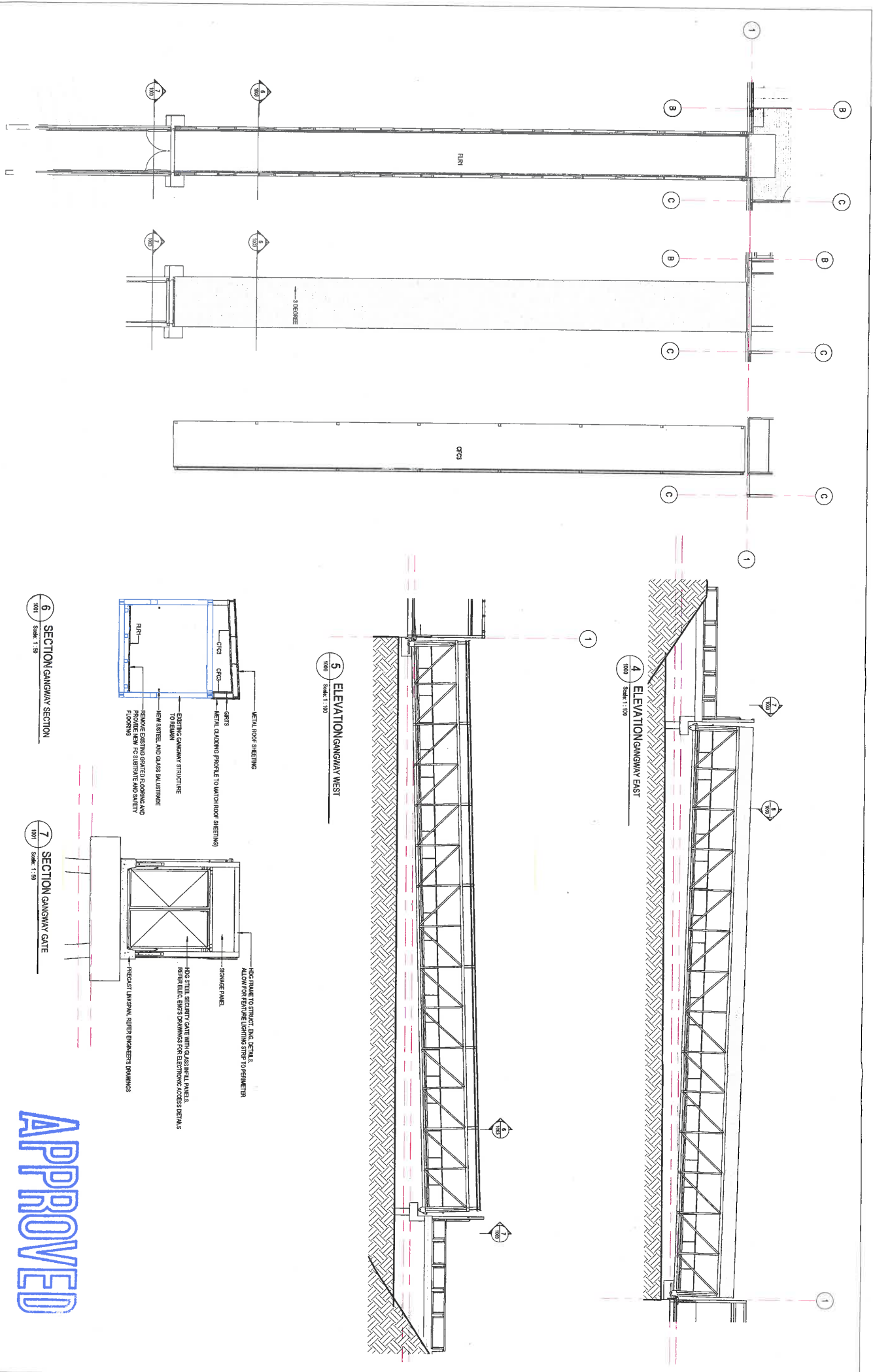
DRAWING TITLE: **GENERAL ARRANGEMENT PLAN**

PROJECT NO.	STAGE	SCALE & M	REVISION
17871	DD	1:100	1
	AR-S13	1:1000	



APPROVED

REV	DESCRIPTION	DATE	ISSUE	MONTH	CUSTOMER	PROJECT	DRAWING TITLE	PROJECT ISSUE	SCALE
A	Preliminary Issue	24.05.18	PRELIMINARY		Chadstone Park Corporation General, Langwarrup, Co. Victoria	EAST SHORES STAGE 1B	GENERAL ARRANGEMENT PLAN - ROOF LEVEL	1 - 1/8" @ A1	
B	Preliminary Update	14.06.18							
C	Final Issue	29.06.18							
D	Update for Co-ordination	17.06.18							
E	Final Issue	31.06.18							
F	Final Issue	31.06.18							



APPROVED

REV	DESCRIPTION	DATE	BY	CHECKED
A	17/05/2018	13/05/18		

1	PLAN FLOOR PLAN GANGWAY	Scale 1:100
2	PLAN ROOF GANGWAY	Scale 1:100
3	REFLECTED CEILING PLAN GANGWAY	Scale 1:100
4	ELEVATION GANGWAY EAST	Scale 1:100
5	ELEVATION GANGWAY WEST	Scale 1:100
6	SECTION GANGWAY SECTION	Scale 1:50
7	SECTION GANGWAY GATE	Scale 1:50

ISSUE	PRELIMINARY
0	1
1	2
2	3
3	4
4	5

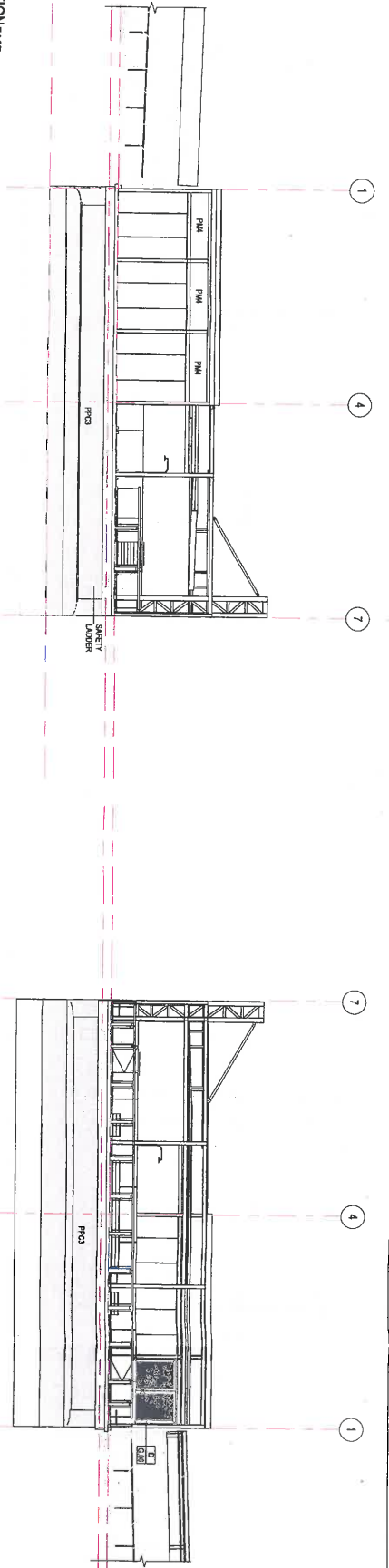
NORTH	CLIENT
	Gladstone Ports Corporation

BRISBANE	BRISBANE
828 Palm St	828 Palm St
Tel: +61 7 3253 8900	Tel: +61 7 3253 8900
brisbane@gladstoneports.com.au	brisbane@gladstoneports.com.au
AS/NZS 1910:2011	AS/NZS 1910:2011

PROJECT	EAST SHORES STAGE 1B
FUNDING	PARADE QUAYSTONE

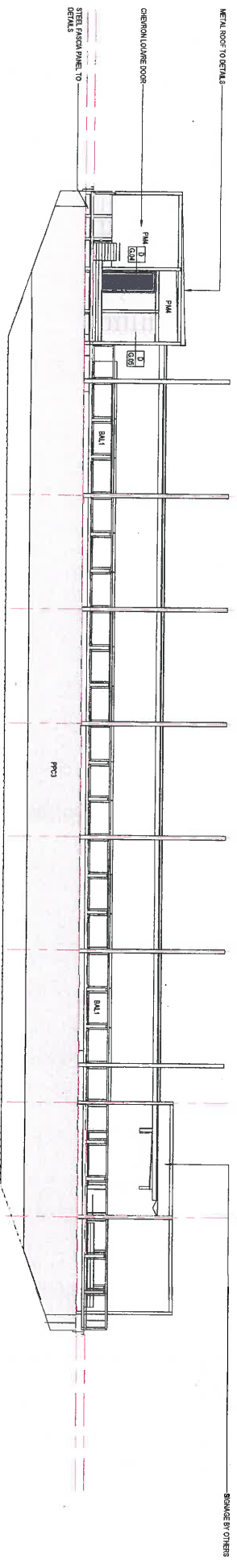
DRAWING TITLE	GANGWAY PLANS
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FIRST ISSUE	SCALE @ A1
DRAWN	CHECKED
PROJECT No	PROJECT No
17871	17871
DD	DD
ARS-3-1003	ARS-3-1003
A	A

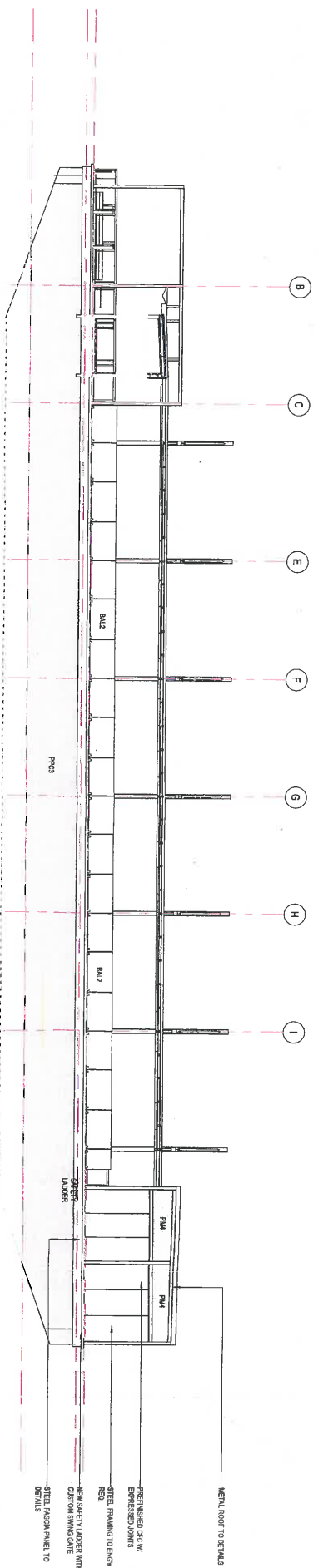


1 ELEVATION EAST
Scale: 1:100

4 ELEVATION WEST
Scale: 1:100



2 ELEVATION NORTH
Scale: 1:100



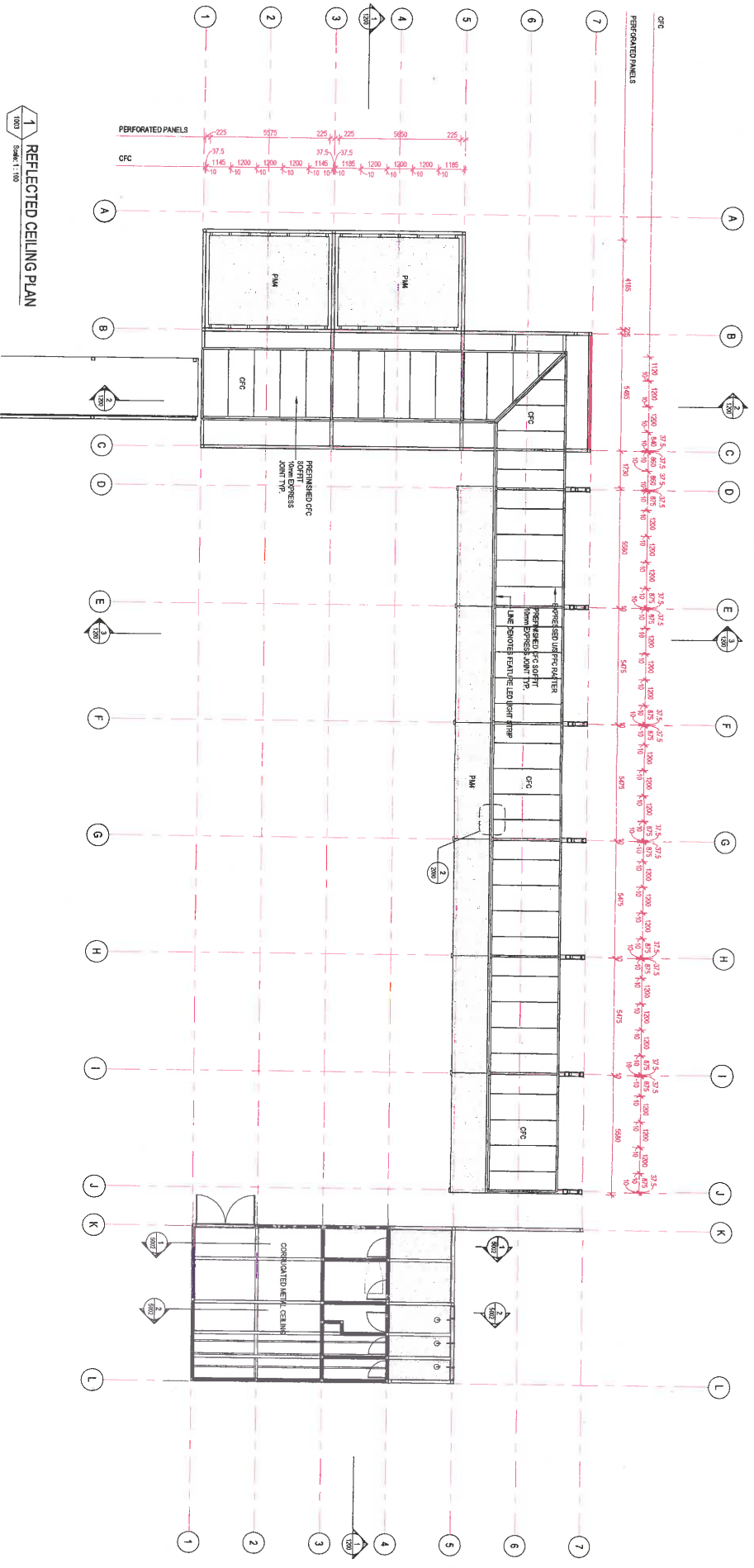
3 ELEVATION SOUTH
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REV	DESCRIPTION	AUTH	CHK	DATE	ISSUE	NORTH	CLIENT	PROJECT	DRAWING TITLE	FIRST ISSUE	SCALE
A	Preliminary Issue	AM		24.03.18	PRELIMINARY		Glidestone Ports Corporation General, Kingsford, Queensland	EAST SHORES STAGE 1B	ELEVATIONS	17871	1:100
B	40% Submission			25.03.18							
C	60% Submission			12.04.18							
D	Upgrade for Coordination			12.04.18							
E	Upgrade for Coordination			28.03.18							
F	70% Submission			31.03.18							

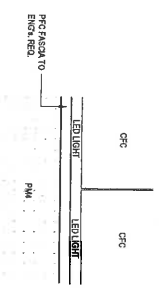
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 2. All dimensions are to be confirmed by the client.
 3. DO NOT scale off these drawings.
 4. All dimensions are to be confirmed by the client before printing and any work.

PROJECT: EAST SHORES STAGE 1B
 CLIENT: Glidestone Ports Corporation
 DRAWING TITLE: ELEVATIONS
 FIRST ISSUE: 17871
 SCALE: 1:100
 CHECKED: DD
 DRAWING NO: AR-S13-1100
 REVISION: F

APPROVED



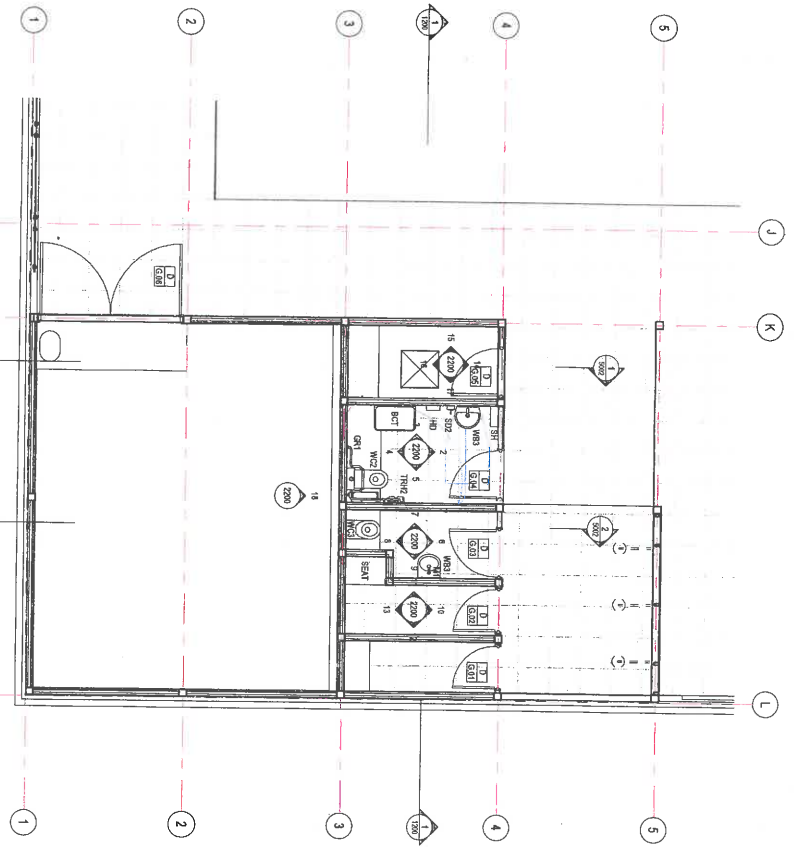
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2 DETAIL PLANTYPICAL SOFFIT JUNCTION
Scale: 1:20

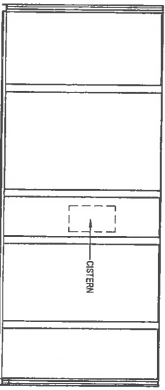
APPROVED

REV	DESCRIPTION	AUTH	CHK	DATE	ISSUE	NORTH	CLIENT	PROJECT	DRAWING TITLE	FIRST ISSUE
A	Update in accordance with 7/20/18			7/20/18	PRELIMINARY		Gladesville Ponds Corporation Gladesville, New South Wales	EAST SHORES STAGE 1B FLANDERS PRADGE QUADRANT	GROUND FLOOR REFLECTED CEILING PLAN - GROUND LEVEL	SCALE: As Indicated CHECKED: ARS-SJ-2000 PROJECT NO: 17071
B	Update in accordance with 31/08/18			31/08/18			BRISBANE Piza Level, Mosaic Federation Valley QLD 4008 T: +61 7 3253 9300 F: +61 7 3253 9300 ABN: 55 112 807 331			SCALE: As Indicated CHECKED: ARS-SJ-2000 PROJECT NO: 17071
C	Update in accordance with 10/09/18			10/09/18						SCALE: As Indicated CHECKED: ARS-SJ-2000 PROJECT NO: 17071
D	Update in accordance with 10/09/18			10/09/18						SCALE: As Indicated CHECKED: ARS-SJ-2000 PROJECT NO: 17071
E	Update in accordance with 10/09/18			10/09/18						SCALE: As Indicated CHECKED: ARS-SJ-2000 PROJECT NO: 17071
F	Update in accordance with 10/09/18			10/09/18						SCALE: As Indicated CHECKED: ARS-SJ-2000 PROJECT NO: 17071
G	Update in accordance with 10/09/18			10/09/18						SCALE: As Indicated CHECKED: ARS-SJ-2000 PROJECT NO: 17071
H	Update in accordance with 10/09/18			10/09/18						SCALE: As Indicated CHECKED: ARS-SJ-2000 PROJECT NO: 17071
I	Update in accordance with 10/09/18			10/09/18						SCALE: As Indicated CHECKED: ARS-SJ-2000 PROJECT NO: 17071
J	Update in accordance with 10/09/18			10/09/18						SCALE: As Indicated CHECKED: ARS-SJ-2000 PROJECT NO: 17071
K	Update in accordance with 10/09/18			10/09/18						SCALE: As Indicated CHECKED: ARS-SJ-2000 PROJECT NO: 17071
L	Update in accordance with 10/09/18			10/09/18						SCALE: As Indicated CHECKED: ARS-SJ-2000 PROJECT NO: 17071

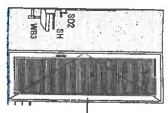


1 PLAN PWD, W/Cs, CHANGE ROOMS & PUMP ROOM PART PLAN
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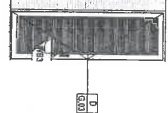
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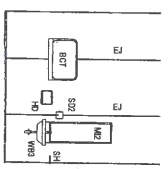
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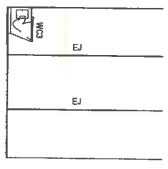
6 ELEVATION-WC
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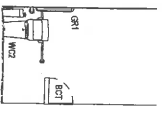
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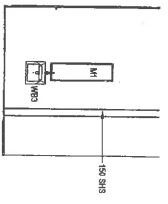
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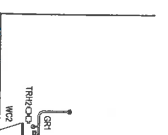
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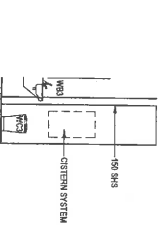
9 ELEVATION-WC
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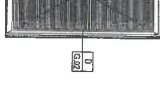
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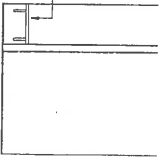
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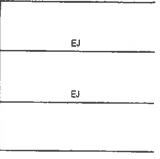
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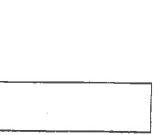
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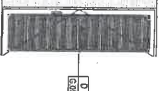
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13 ELEVATION-CR
Scale: 1:50



14 ELEVATION-STO
Scale: 1:50



17 ELEVATION-STO
Scale: 1:50



15 ELEVATION-STO
Scale: 1:50



16 ELEVATION-STO
Scale: 1:50

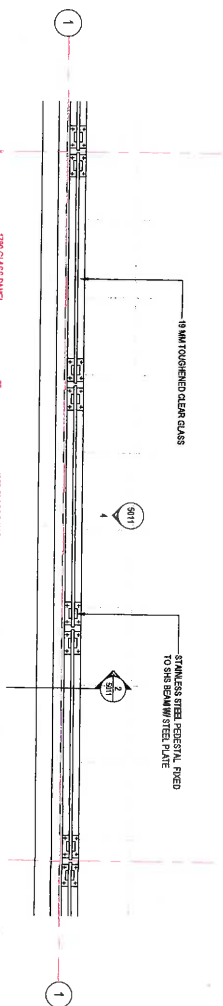


REV	DESCRIPTION	AUTH	CHK	DATE	ISSUE	CHECKED	DATE
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A	17/1/18 Submission			31.03.18	PRELIMINARY		

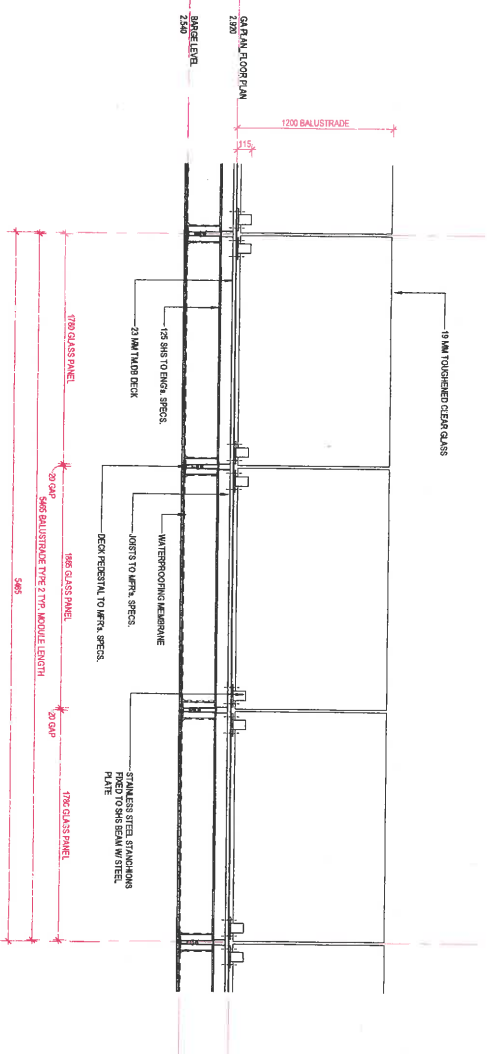
CLIENT	PROJECT	DRAWING TITLE	FIRST ISSUE
Cladstone Ports Corporation Cladstone, Kyness, Queensland	EAST SHORES STAGE 1B	PWD, W/Cs, CHANGE ROOMS AND PUMP ROOM PLAN & ELEVATIONS	17871

DATE	BY	SCALE	STAGE	REVISION
23.03.18		1:50	DD	8

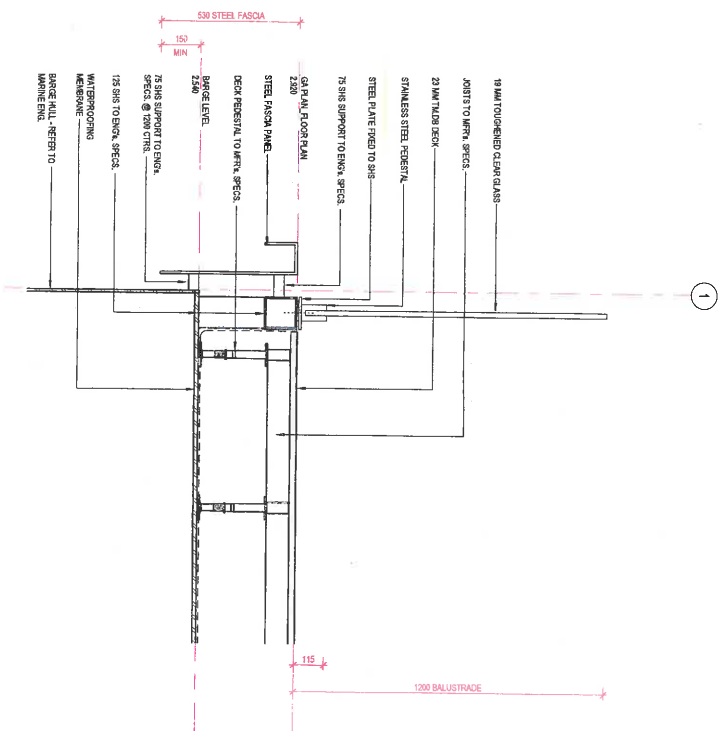
APPROVED



1 DETAIL PLAN BALUSTRADE TYPE 2 - TYPICAL MODULE
Scale: 1:20



4 ELEVATION BALUSTRADE TYPE 2 - TYPICAL MODULES
Scale: 1:20



2 DETAIL SECTION BALUSTRADE TYPE 2 - TYPICAL
Scale: 1:10

APPROVED

REV	DESCRIPTION	AUTH	CHECK	DATE
A	TYPE Submission			31.03.18

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- Report any discrepancies to the architect before construction.

ISSUE	PRELIMINARY
0	
1	
2	
3	
4	
5	



CLIENT



BRISBANE
856 Ann St
Brisbane QLD 4006
1-81-732139900
brisbane@cladstone.com.au
AS/NZS 1312:2017:201

PROJECT
EAST SHORES STAGE 1B
FUNDERS PRADUE CLADSTONE

DRAWING TITLE
BALUSTRADE TYPE 2
DETAILS

ISSUE	STAGE	SCALE	REVISION
7871	DD	AS INDICATED	A

ATTACHMENT 3: EXTRACT OF APPEAL PROVISIONS

(2) The person is taken to have engaged in the representative's conduct, unless the person proves the person could not have prevented the conduct by exercising reasonable diligence.

(3) In this section—

conduct means an act or omission.

representative means—

(a) of a corporation—an executive officer, employee or agent of the corporation; or

(b) of an individual—an employee or agent of the individual.

state of mind, of a person, includes the person's—

(a) knowledge, intention, opinion, belief or purpose; and

(b) reasons for the intention, opinion, belief or purpose.

Chapter 6 Dispute resolution

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

(1) Schedule 1 states—

(a) matters that may be appealed to—

(i) either a tribunal or the P&E Court; or

(ii) only a tribunal; or

(iii) only the P&E Court; and

(b) the person—

(i) who may appeal a matter (the *appellant*); and

(ii) who is a respondent in an appeal of the matter; and

- (iii) who is a co-respondent in an appeal of the matter;
and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.
- (2) An appellant may start an appeal within the appeal period.
- (3) The *appeal period* is—
- (a) for an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or
 - (b) for an appeal against a deemed refusal—at any time after the deemed refusal happens; or
 - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or
 - (d) for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or
 - (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the applicant gives the deemed approval notice to the assessment manager; or
 - (f) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note—

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.

-
- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—
- (a) the adopted charge itself; or
 - (b) for a decision about an offset or refund—
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that—
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar, must, within the service period, give a copy of the notice of appeal to—
 - (a) the respondent for the appeal; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, table 1, item 1—each principal submitter for the development application; and
 - (d) for an appeal about a change application under schedule 1, table 1, item 2—each principal submitter for the change application; and
 - (e) each person who may elect to become a co-respondent for the appeal, other than an eligible submitter who is not a principal submitter in an appeal under paragraph (c) or (d); and

- (f) for an appeal to the P&E Court—the chief executive; and
 - (g) for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.
- (4) The *service period* is—
- (a) if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or
 - (b) otherwise—10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent by filing a notice of election, in the approved form, within 10 business days after the notice of appeal is given to the person.
- (7) Despite any other Act or rules of court to the contrary, a copy of a notice of appeal may be given to the chief executive by emailing the copy to the chief executive at the email address stated on the department’s website for this purpose.

231 Other appeals

- (1) Subject to this chapter, schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section—
decision includes—

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- (a) conduct engaged in for the purpose of making a decision; and
 - (b) other conduct that relates to the making of a decision; and
 - (c) the making of a decision or the failure to make a decision; and
 - (d) a purported decision; and
 - (e) a deemed refusal.

non-appealable, for a decision or matter, means the decision or matter—

- (a) is final and conclusive; and
- (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, any tribunal or another entity; and
- (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, any tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with rules of the P&E Court.