



Gladstone Ports Corporation

Growth, Prosperity, Community.

GPC Document No. 1464145
GPC Ref: DA2018/11
Your Ref.:

10 December 2018

Gladstone Ports Corporation
c/- Ravi Vaswani
PO Box 259
GLADSTONE QLD 4680

Attention: Mr Vaswani

Email: vaswanir@gpcl.com.au

Dear Mr Vaswani

DECISION NOTICE – APPROVAL WITH CONDITIONS – DA2018/11

(GIVEN UNDER THE PROVISIONS OF GLADSTONE PORTS CORPORATION LAND USE PLAN 2012)

1. Application Details

This development application was **properly made** to the Gladstone Ports Corporation Limited on **21 November 2018**.

Application Number:	DA2018/11
Applicant Name:	Gladstone Ports Corporation
Applicant Contact Details:	Mr Ravi Vaswani Gladstone Ports Corporation PO BOX 259 GLADSTONE Q 4680 Email: vaswanir@gpcl.com.au
Approvals Sought:	Port Application for East Shores Stage 1B Parklands
Details of Proposed Development:	Parklands, café, cruise ship terminal, interpretative centre and recreational structures including earthworks
Location Street Address:	Flinders Parade GLADSTONE QLD 4680
Location Real Property Description:	Lot 420 SP120919, Lot 1 RP616463, Lot 1 CTN801107, Lot 105 CTN607, Lot 106 CTN607, Lot 107 CTN607, Lot 423 SP120897, Lot 90 CTN781, Lot 2 RP610849 & Lot 192 SP239714
Land Owner:	Gladstone Ports Corporation Limited
Present Zoning & Precinct	Strategic Port Land – East Shores and Port Industry Precincts

2. Details Of Proposed Development

Port Application for East Shores Stage 1B development including parklands, café, cruise ship terminal, interpretative centre and recreational structures including earthworks.

3. Details Of Decision

This development application was **decided** on **10 December 2018**.

This development application is **approved in full with conditions**. These conditions are set out in Attachment 1 and are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

4. Details Of Approval

This development approval is a **Development Permit** given for:

- a) Port Application under GPC Land Use Plan 2012 and the *Transport Infrastructure Act 1994*.

5. Conditions

This development approval is subject to the conditions in Attachment 1 - Part 1 and Part 2.

6. Further Development Permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

1. Operational works approval from Gladstone Regional Council if there are any proposed connections to council infrastructure e.g. sewerage.

7. Properly made submissions

Not applicable – No part of the application required public notification.

8. Approved Plans and Specifications –

Copies of the following plans, specifications or drawings are enclosed in **Attachment 2**:

Drawing/report title	Prepared by	Date	Reference no.	Version
Aspect of development: Port Application				
40% Landscape Concept Design		08.08.2018		
Cover Sheet	Urbis	12/10/2018	001-CS	C
Stage 1 upgrade	Urbis	12/10/2018	051-UG	B
Stage 1 upgrade	Urbis	12/10/2018	052-UG	B
Tree Protection Legend	Urbis	12/10/2018	100-TP	B
Tree Protection 1	Urbis	12/10/2018	101-TP	B
Tree Protection 2	Urbis	12/10/2018	102-TP	B
Tree Protection 3	Urbis	12/10/2018	103-TP	B

Drawing/report title	Prepared by	Date	Reference no.	Version
Aspect of development: Port Application				
Tree Protection 4	Urbis	12/10/2018	104-TP	B
Finishes Legend	Urbis	12/10/2018	200-FI	B
Finishes Plan 01	Urbis	12/10/2018	201-FI	C
Finishes Plan 02	Urbis	12/10/2018	202-FI	C
Finishes Plan 03	Urbis	12/10/2018	203-FI	C
Finishes Plan 04	Urbis	12/10/2018	204-FI	C
Detail Finishes 01	Urbis	12/10/2018	251-FI	B
Detail Finishes 02	Urbis	12/10/2018	252-FI	B
Setout Legend	Urbis	12/10/2018	300-SO	B
Setout Plan 01	Urbis	12/10/2018	301-SO	B
Setout Plan 02	Urbis	12/10/2018	302-SO	B
Setout Plan 03	Urbis	12/10/2018	303-SO	B
Setout Plan 04	Urbis	12/10/2018	304-SO	B
Setout Schedules	Urbis	12/10/2018	350-SO	A
Grading Legend	Urbis	12/10/2018	400-GR	B
Grading Plan 01	Urbis	12/10/2018	401-GR	C
Grading Plan 02	Urbis	12/10/2018	402-GR	B
Grading Plan 03	Urbis	12/10/2018	403-GR	C
Grading Plan 04	Urbis	12/10/2018	404-GR	C
Detail Grading 01	Urbis	12/10/2018	451-GR	B
Detail Grading 02	Urbis	12/10/2018	452-GR	B
Planting Legend	Urbis	12/10/2018	500-PL	B
Tree Planting 01	Urbis	12/10/2018	501-PL	C
Tree Planting 02	Urbis	12/10/2018	502-PL	C
Tree Planting 03	Urbis	12/10/2018	503-PL	C
Tree Planting 04	Urbis	12/10/2018	504-PL	C
Planting Plan 01	Urbis	12/10/2018	511-PL	B
Planting Plan 02	Urbis	12/10/2018	512-PL	B
Planting Plan 03	Urbis	12/10/2018	513-PL	B
Planting Plan 04	Urbis	12/10/2018	514-PL	B
Plant Schedules	Urbis	12/10/2018	550-PL	B
Furniture Legend	Urbis	12/10/2018	600-FU	B
Furniture Plan 01	Urbis	12/10/2018	601-FU	B
Furniture Plan 02	Urbis	12/10/2018	602-FU	B
Furniture Plan 03	Urbis	12/10/2018	603-FU	B
Furniture Plan 04	Urbis	12/10/2018	604-FU	B
Softworks	Urbis	12/10/2018	901-DT	C

Drawing/report title	Prepared by	Date	Reference no.	Version
Aspect of development: Port Application				
WSUD	Urbis	12/10/2018	911-DT	C
Hardscape	Urbis	12/10/2018	921-DT	C
Hardscape	Urbis	12/10/2018	922-DT	A
Walls	Urbis	12/10/2018	931-DT	D
Furniture	Urbis	12/10/2018	951-DT	C
Furniture	Urbis	12/10/2018	952-DT	C
Furniture	Urbis	12/10/2018	953-DT	C
Furniture	Urbis	11/10/2018	954-DT	B
Fencing	Urbis	11/10/2018	961-DT	C
Fencing	Urbis	11/10/2018	962-DT	C
Fencing	Urbis	11/10/2018	963-DT	C
Signage	Urbis	11/10/2018	966-DT	C
Artefacts	Urbis	11/10/2018	971-DT	C
Artefacts	Urbis	11/10/2018	972-DT	C
Structures	Urbis	11/10/2018	981-DT	B
Structures	Urbis	11/10/2018	982-DT	B
Structures	Urbis	11/10/2018	983-DT	B
Structures	Urbis	11/10/2018	984-DT	B
Structures	Urbis	11/10/2018	985-DT	B
Structures	Urbis	11/10/2018	986-DT	B
Structures	Urbis	11/10/2018	987-DT	B
Structures	Urbis	11/10/2018	988-DT	B
Structures	Urbis	11/10/2018	989-DT	B
Acid Sulfate Soils Factual Report – East Shore Parklands Precinct	Construction Sciences	27/11/2018	P198	1
Site Contamination Investigation – Gladstone Port East Shores Gap Analysis	Construction Sciences	26/11/2018	P198	1

9. Currency Period for the Approval

This development approval will lapse at the end of the period set out below:

- 4 years.

10. Rights of Appeal

No legislated appeal rights are afforded with this decision notice as the application was not made under the provisions of the *Planning Act 2016*.

For further information please contact Sarah Hunter, Principal Planner, on 07 4976 1287 or via email hunters@gpcl.com.au.

Yours sincerely



Sarah Hunter
Principal Planner
10 December 2018

Cc: relevant local government

Enc. Attachment 1: Conditions of Approval
Part 1 – Conditions imposed by the assessment manager

Attachment 2: Approved plans and specifications

ATTACHMENT 1: CONDITIONS OF APPROVAL

PART 1: ASSESSMENT MANAGER CONDITIONS

In general the development proposal is in compliance with the requirements of Gladstone Ports Corporation Limited (GPC). This development approval is subject to each of the following conditions which are stated by GPC, the assessment manager.

Part 1a: Approval sought under GPC Land Use Plan 2012 for a Port Application for code assessable development on Strategic Port Land

GENERAL

1. The proposed development must be carried out generally in accordance with the plans as lodged with the application except where modified by conditions of this permit.
2. Unless otherwise stated, all conditions must be completed prior to the commencement of the use.
3. Where additional "approval" is required under these conditions by GPC for drawings or documentation, the proponent must submit for review, amend to the satisfaction of, and obtain written acceptance from the Gladstone Ports Corporation. Only in this manner can compliance with the condition be achieved.
4. All other relevant regulatory approvals must be obtained before commencement of works or operation of the facility.
5. The proponent must inform GPC of completion of works within 14 days of practical completion and undertake a site inspection with GPC. The proponent must also certify that the development is constructed as per design and provide RPEQ certification that the development has been constructed generally in accordance with the approved plans.
6. The proponent must at its cost and expense, keep and maintain the subject area, including existing services, in a state that is satisfactory to the Port.

ENGINEERING & PLANNING

7. Upon completion of the works, the proponent must supply GPC with RPEQ certified "As Constructed" plans in both hard copy (2 of) and electronic (CAD format) which illustrate all infrastructure and services installed on and adjacent to Port land associated with the activity including detailed positions of underground infrastructure and services.
8. Any site lighting used during construction should not impact on the visibility of Navigational Aids utilised for the primary shipping channels nor illuminate a landward glare beyond the site boundary. Lighting must be continually reviewed during construction and operations with respect to navigation and will be revised as required in response to negative impacts as they arise.
9. The proponent or their contractor is required to apply for and obtain from GPC a Permit to dig/Excavate prior to commencing works by contacting Mr Owen Barton on 4976 1332.
10. The proponent or their contractor must provide to GPC for approval a Construction Traffic management Plan (CTMP) prior to initiation of works which includes appropriate communication with other port/community users potentially affected by the construction activities.

ENVIRONMENT

Construction Environmental Management Plan

11. Prior to construction works commencing on site, a Construction Environmental Management Plan (CEMP) specific to the construction works must be submitted to GPC for approval.

The CEMP must include all of the environmental controls and management strategies documented in the Site Contamination Investigation Gladstone Port East Shores Gap Analysis Report dated 26/11/2018 Appendix G – Construction Environmental Management Summary.

The construction works must be undertaken in accordance with the approved CEMP that ensures:

- (a) environmental risks are identified, managed and continually assessed; and
- (b) that staff are trained and aware of their obligations under the CEMP; and
- (c) that reviews of environmental performance are undertaken at least annually; and
- (d) compliance with Appendix G of the Site Contamination Investigation Gladstone Port East Shores Gap Analysis Report dated 26/11/2018; and
- (e) any amendments to the CEMP are to be submitted to GPC for review and approval.

Operational Environmental Management Plan

12. Prior to operational works commencing on site, an Operational Environmental Management Plan (OEMP) specific to operational works must be submitted to GPC for approval.

The operational works must be undertaken in accordance with the approved OEMP that ensures:

- (a) environmental risks are identified, managed and continually assessed; and
- (b) that staff are trained and aware of their obligations under the OEMP; and
- (c) that reviews of environmental performance are undertaken at least annually; and
- (d) any amendments to the OEMP are to be submitted to GPC for review and approval.

Incident notification

13. Gladstone Ports Corporation Environment Hotline (07) 4976 1617 is to be notified of the occurrence of any:

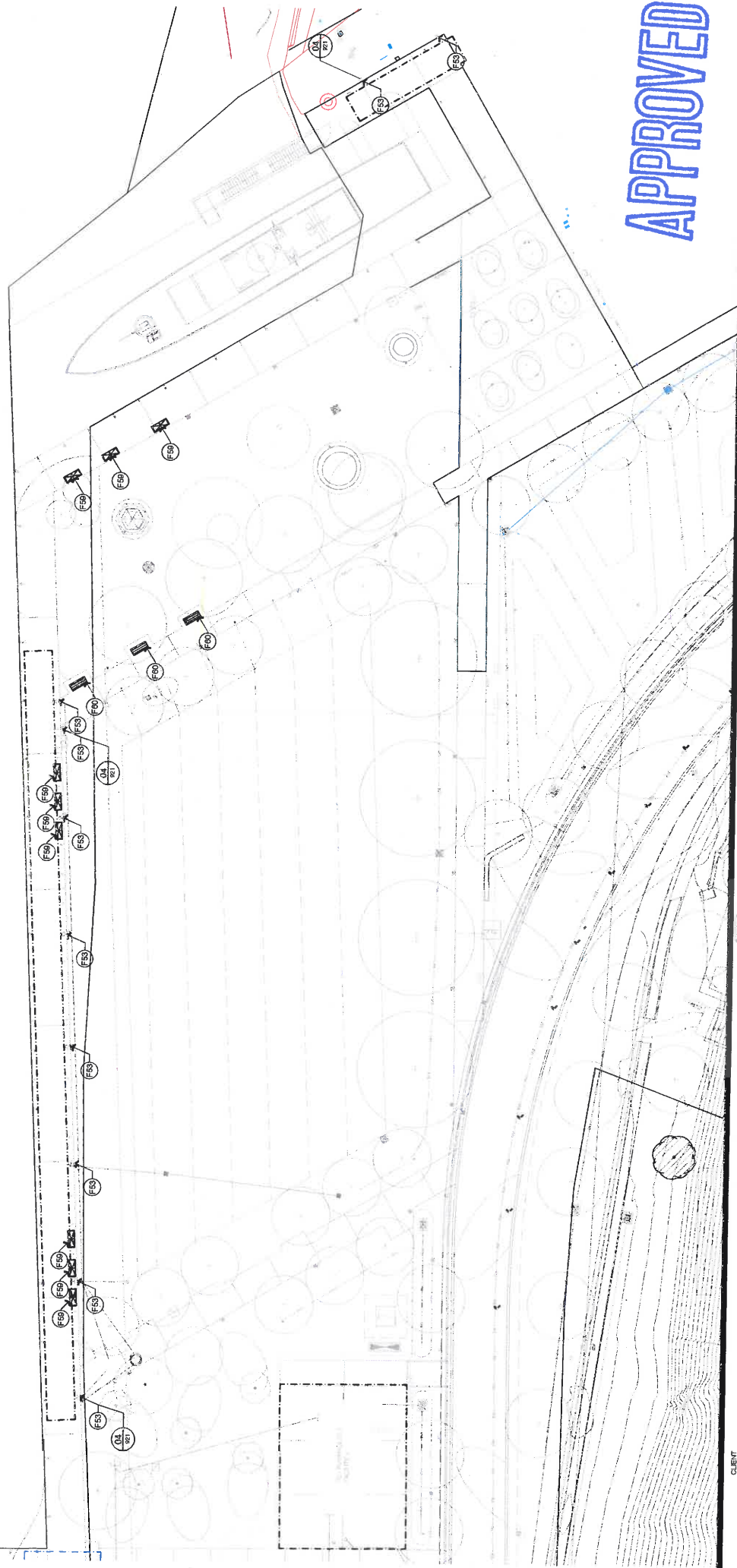
- (a) release/spill of contaminants (e.g. fuels/chemicals/sewerage) greater than 250L to land; or
- (b) release/spill of contaminants (e.g. fuels/chemicals/sewerage) to water; or
- (c) any environmental complaints received by the holder of this approval; or
- (d) non-compliance with conditions of this approval or any other environmental approval obtained in relation to the approved activity.

ATTACHMENT 2: APPROVED PLANS AND SPECIFICATIONS



GLADSTONE EAST SHORES 1B
40% LANDSCAPE CONCEPT DESIGN
SCALE: 1 / 500 @ A1
ISSUE DATE: 08.08.2018

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URBIS
Gladstone Ports Corporation
Consulting Engineers

CLIENT

KEY PLAN

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SCALE
1:200 @ A1
1:400 @ A2
1:800 @ A3

PROJECT ADDRESS
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GLADSTONE QLD

PROJECT NO. ND1580
NORTH
REVISION B

DRAWING NO. 052-UG
STAGE 1 UPGRADE

DRAWING TITLE

DATE 13.10.16
CP 83 31.06.16
DWN CHK DATE
PROJECT DIRECTOR PH

REV. DESCRIPTION
B 70% DESIGN
A

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GENERAL LEGEND



GENERAL NOTES:

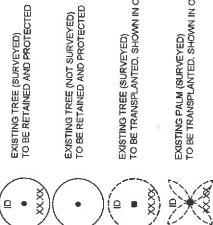
- THE PLAN MUST BE READ IN CONJUNCTION WITH THE SPECIFICATION WHICH SO CONTAINS THE PLANT SCHEDULE AND SCHEDULE OF LANDSCAPE WORKS.
- ALL WORKS TO BE COMPLETED IN CONJUNCTION WITH THE ASSOCIATED DRAWINGS, REGARDING CONSULTANTS SUCH AS ENGINEERS, PLANNING AND OTHER CONSULTANTS SUCH AS ARCHITECTS.
- REFER TO THE TREE ROOTS OF RETAINED TREES / PALMS TO BE REMOVED OR TRANSPANTED.
- REPORT FOR DETAILS OF EXISTING TREES TO BE REMOVED OR TRANSPANTED. VEGETATION AND TOP SOIL MUST BE CONFIRMED TO WITHIN THREE METERS OF THE APPROVED REMOVAL AREA EXCEPT WHERE TREES ARE APPROVED FOR REMOVAL. THESE ARE TO BE ALIRED AND NEW LANDSCAPE FINISHES INSTALLED.

SURFACE FINISH HOLD POINTS:

- THE PLANS MUST BE READ IN CONJUNCTION WITH THE LANDSCAPE SCHEDULE OF WORKS.
- ALL SURFACE FINISH WORKS TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO POURING OF FINAL CONSTRUCTION.
- SITE SUPERINTENDENT TO BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO POURING OF FINAL CONSTRUCTION.
- STORM WATER PIT LOCATIONS AND LEVELS ARE TO BE CONFIRMED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO POURING OF FINAL CONSTRUCTION.
- ALL LIGHTING POINTS AND LAMP FIXTURES TO BE CONFIRMED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO POURING OF FINAL CONSTRUCTION.
- REFER TO THE TREE ROOTS OF RETAINED TREES / PALMS TO BE REMOVED OR TRANSPANTED.
- REPORT FOR DETAILS OF EXISTING TREES TO BE REMOVED OR TRANSPANTED. VEGETATION AND TOP SOIL MUST BE CONFIRMED TO WITHIN THREE METERS OF THE APPROVED REMOVAL AREA EXCEPT WHERE TREES ARE APPROVED FOR REMOVAL. THESE ARE TO BE ALIRED AND NEW LANDSCAPE FINISHES INSTALLED.

TREE PROTECTION LEGEND

REFER TO SCHEDULE OF LANDSCAPE WORKS



ID	HOLD POINTS	CHKO	DATE/NOTES
1	THE EXISTING TREES ARE TO BE MARKED FOR PROTECTION OR REMOVAL.		
2	LOCATION AND EXTENT OF PROPOSED ROOT PRUNING PRIOR TO PROCEEDING.		
3	TRANSPLANT LOCATION AND METHODOLOGY IDENTIFIED.		
4	IRRIGATION INSTALLED AND OPERATING WITHIN ROOT OR PROTECTION ZONES OR THEY ARE TO BE THOROUGHLY HAND WATERED EVERY 3-5 DAYS UNTIL THEY ARE INSTALLED OR UBERTAKER AT ROOT PRUNING PRIOR TO ANY ROOT PRUNING WORKS AND CONTINUE AS NOTED IN THE SCHEDULE OF LANDSCAPE FINISHES.		
5	PROTECTION WORKING PRIOR TO INSTALLATION.		
6	LAYOUT OF THE TREE PROTECTION FENCING AFTER DENOLITION WORKS COMMENCING.		
7	TREE AND WEEDS WITHIN ROOT PROTECTION ZONES ARE KILLED (TURF & WEEDS) AND REMOVED (WEEDS) WHERE SPECIFIED MILCHETS ARE INSTALLED TO TYPE, EXTENT AND PRIOR TO COMMENCEMENT OF WORKS PRIOR TO ANY DENOLITION COMMENCING.		
8	PROTECTION FENCING TO BE INSTALLED TO TYPE, EXTENT AND PRIOR TO COMMENCEMENT OF WORKS PRIOR TO ANY DENOLITION COMMENCING.		
9	PRIOR TO STARTING PRUNING.		

TREE PROTECTION NOTES:

- ALL THIS WORKS MUST BE COMPLETED PRIOR TO THE START OF ANY DENOLITION, EXCAVATION OR ANY OTHER WORKS ON SITE.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE TREE PROTECTION LEGEND.
- THE LOCATION OF TREES / PALMS AND ALL BASE INFORMATION HAS BEEN CONFIRMED ON SITE BY THE LANDSCAPE ARCHITECT OR CONSULTING ARBORIST.

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TREE PROTECTION LEGEND 100-TP

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CLIENT REVIEW

70% DESIGN

CP ID: 12.10.18
SY SB: 11.06.18

DWN CHK DATE

PROJECT DIRECTOR PH

REVISION

B

JOINS 102-TP

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NOTE:
REFER PLANTING PLAN (500-PL) FOR
NEW LOCATIONS OF TREES TO BE
TRANSPLANTED.

JOINS 103-TP

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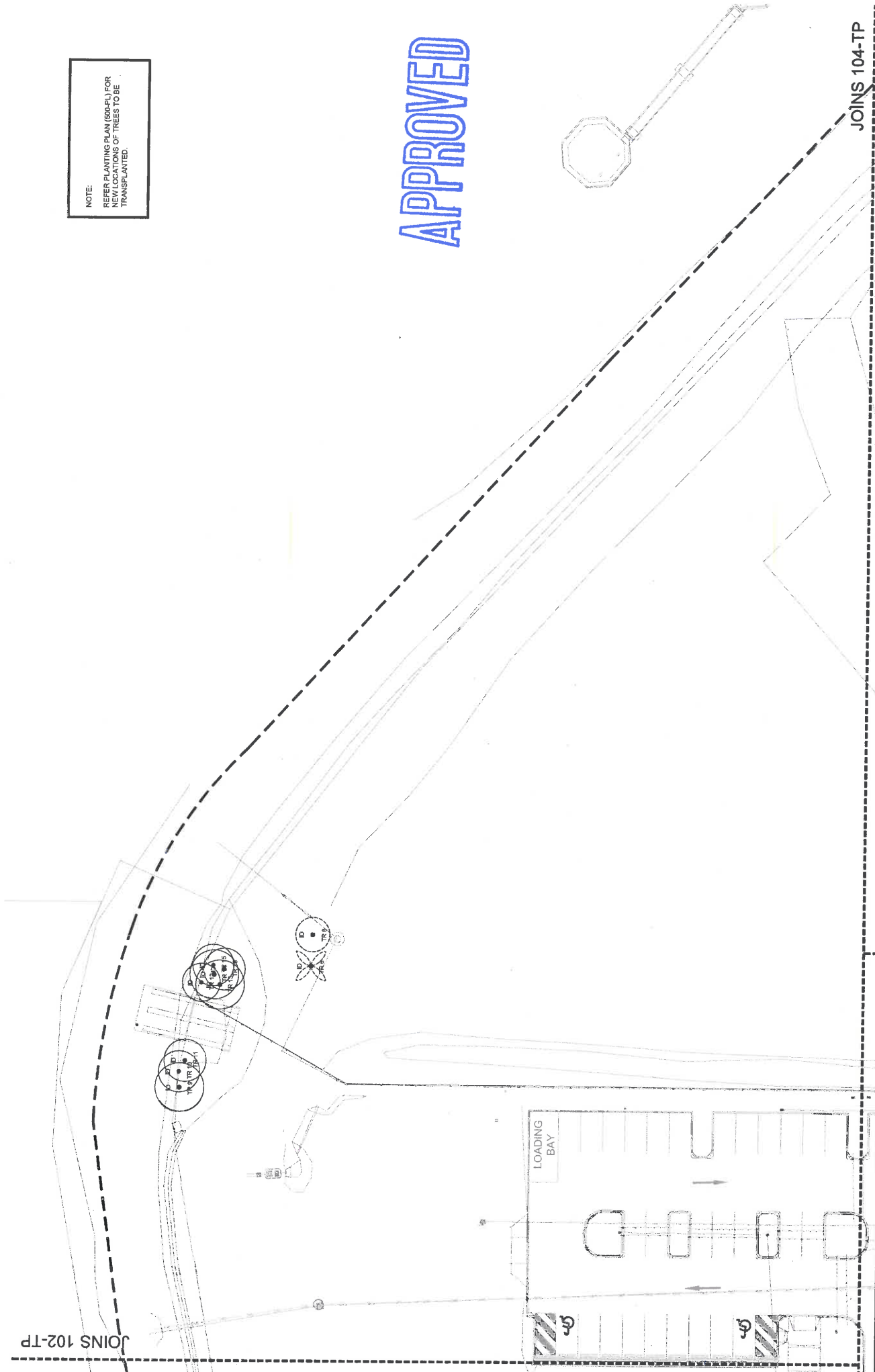
REVISION
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NOTE:
REFER PLANTING PLAN (200-PL) FOR
NEW LOCATIONS OF TREES TO BE
TRANSPLANTED.

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JOINS 102-TP

JOINS 104-TP



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SCALE
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1:1000 @ A3

ORIENTATION
NORTH

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DRAWING TITLE
TREE PROTECTION 2 102-TP

PROJECT DIRECTOR: PH

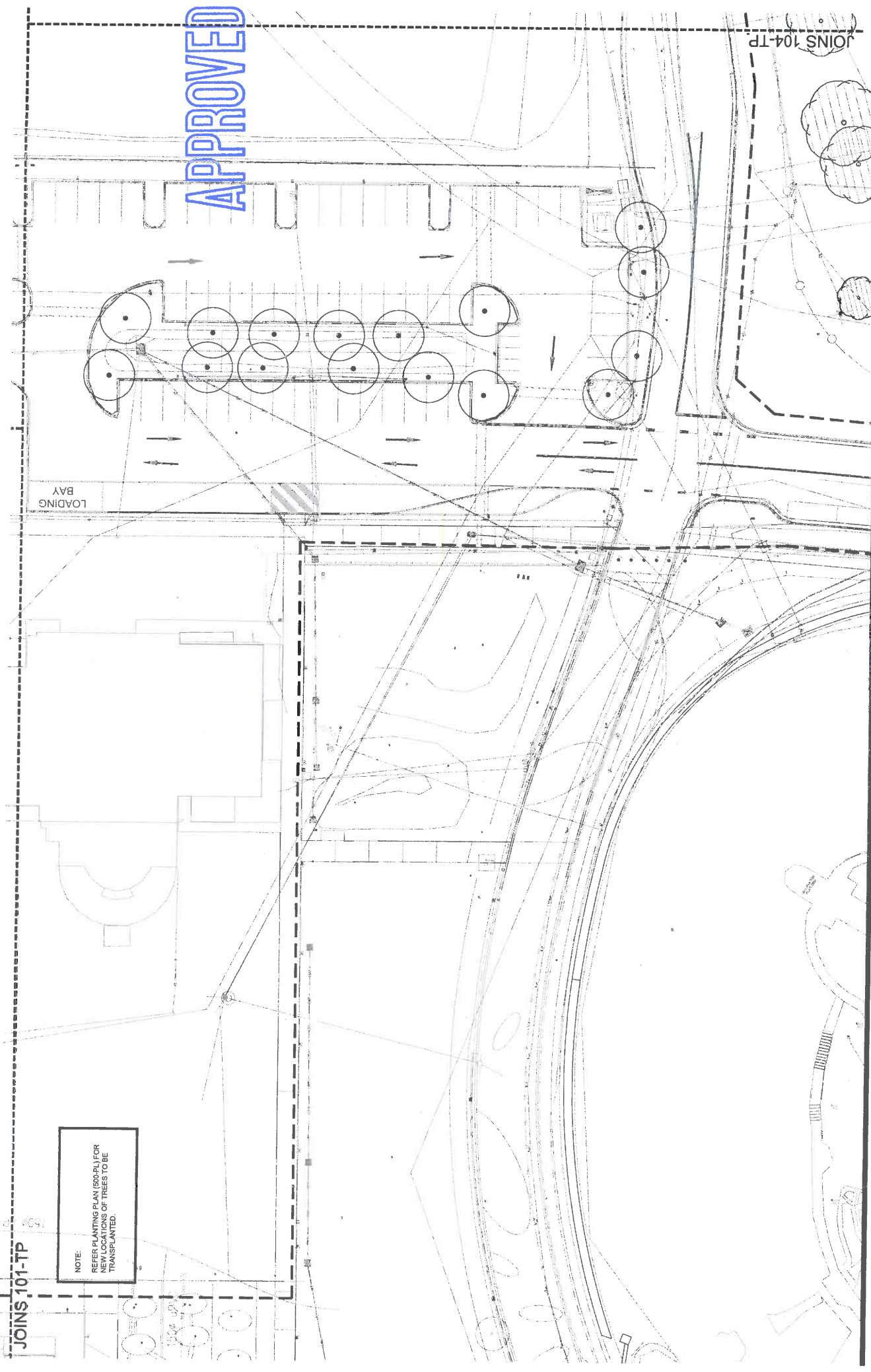
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1	70% DESIGN	31/08/18	SB	JG
2	CLIENT REVIEW	12/10/18	SB	JG

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JOINS 104-TP

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NEW PLAN

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DRAWING TITLE
TREE PROTECTION 3 103-TP

DATE
12.10.18

BY
79% DESIGN

CHK DATE
31.03.18

PROJECT DIRECTOR
PH

REV DESCRIPTION

REV

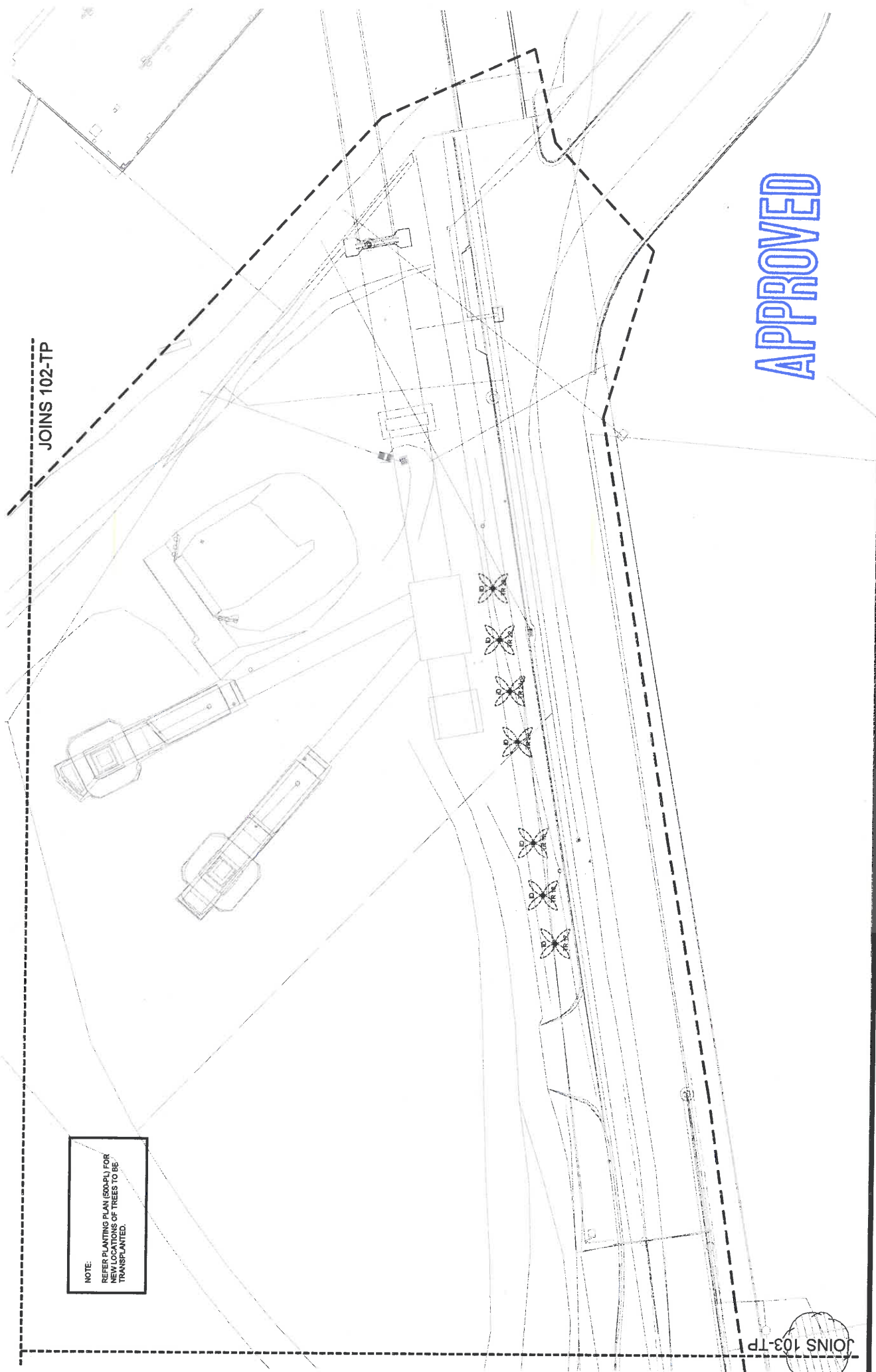
DESCRIPTION

DATE

BY

CHK

DATE



JOINS 102-TP

JOINS 103-TP

NOTE:
REFER PLANTING PLAN (S04.P1) FOR
NEW LOCATIONS OF TREES TO BE
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GLADSTONE QLD

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PROJECT NO.
ND1590

REVISION
NORTH

DRAWING TITLE
TREE PROTECTION 4 104-TP

PROJECT DIRECTOR
PH

REV. DESCRIPTION

REV.	DESCRIPTION	DATE	BY	CHK
A	70% DESIGN	31/05/18	BY	CHK
B	CLIENT REVIEW	13/10/18	BY	CHK

GENERAL LEGEND

	ELECTRICAL DISTRIBUTION BOARD REFER TO ELECTRICAL ENGINEER'S DRAWINGS
	ELECTRICAL DISTRIBUTION BOARD REFER TO ELECTRICAL ENGINEER'S DRAWINGS
	ELECTRICAL TRANSFORMER REFER TO ELECTRICAL ENGINEER'S DRAWINGS
	TREE REFER TO PLANTING DRAWINGS
	TRANSPLANTED TREE REFER TO PLANTING DRAWINGS
	BOLLARD REFER TO LANDSCAPE FURNITURE PLANS
	EARTH MOUNDING REFER TO LANDSCAPE FURNITURE PLANS
	BALLUSTRADE REFER TO LANDSCAPE FURNITURE PLANS
	STAIRS REFER TO LANDSCAPE FURNITURE PLANS
	MARITIME ART REFER TO LANDSCAPE FURNITURE PLANS
	MARITIME ART REFER TO LANDSCAPE FURNITURE PLANS
	MARITIME ART REFER TO LANDSCAPE FURNITURE PLANS
	IRRIGATION PIPES REFER TO IRRIGATION CONSULTANTS PLANS
	E1-EDGE TYPE 1 REFER TO LANDSCAPE SCHEDULE OF WORKS
	E2-EDGE TYPE 2 REFER TO LANDSCAPE SCHEDULE OF WORKS
	F1-FENCE TYPE 1 REFER TO LANDSCAPE SCHEDULE OF WORKS
	F2-FENCE TYPE 2 REFER TO LANDSCAPE SCHEDULE OF WORKS
	SW-SWALE TYPE 1 REFER TO LANDSCAPE SCHEDULE OF WORKS
	DRAWING ADDITION LINE
	SWALE
	Subsoil Drain Refer to Schedule of Landscape Works
	Implosion Consult Refer to Schedule of Landscape Works
	TREE Root Barrier Refer to Schedule of Landscape Works
	KERB REFER TO CIVIL ENGINEER'S DRAWINGS
	KERB REFER TO CIVIL ENGINEER'S DRAWINGS
	FIRE HYDRANT REFER TO HYDRAULIC & CIVIL ENGINEER'S DRAWINGS
	Water Main REFER TO HYDRAULIC & CIVIL ENGINEER'S DRAWINGS
	STORMWATER PIT REFER TO HYDRAULIC & CIVIL ENGINEER'S DRAWINGS
	SERVICES PITS REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR DETAILS
	LOW VOLTAGE ELECTRICAL SERVICE REFER TO ELECTRICAL ENGINEER'S DRAWINGS
	TELECOMMUNICATIONS SERVICE REFER TO ELECTRICAL ENGINEER'S DRAWINGS
	COMMS SERVICE REFER TO ELECTRICAL ENGINEER'S DRAWINGS
	SECURITY SERVICE REFER TO ELECTRICAL ENGINEER'S DRAWINGS
	SURFACE DRAINAGE PIT REFER TO CIVIL ENGINEER'S DRAWINGS
	MANHOLE COVER REFER TO CIVIL ENGINEER'S DRAWINGS
	MANHOLE COVER REFER TO CIVIL ENGINEER'S DRAWINGS
	75mm TILES REFER TO LANDSCAPE SCHEDULE OF WORKS
	ELECTRICAL CONDUITS AND PITS REFER TO ELECTRICAL DRAWINGS
	LIGHT POLES REFER TO ELECTRICAL DRAWINGS

FINISHES LEGEND
REFER TO SCHEDULE OF LANDSCAPE WORKS FOR DETAILS & FINISHES

	P1: PAVEMENT PROFILE 1 REFER SCHEDULE OF LANDSCAPE WORKS
	P2: PAVEMENT PROFILE 2 REFER SCHEDULE OF LANDSCAPE WORKS
	P3: PAVEMENT PROFILE 3 REFER SCHEDULE OF LANDSCAPE WORKS
	P4: PAVEMENT PROFILE 4 REFER SCHEDULE OF LANDSCAPE WORKS
	P5: PAVEMENT PROFILE 5 REFER SCHEDULE OF LANDSCAPE WORKS
	P6: PAVEMENT PROFILE 6 REFER SCHEDULE OF LANDSCAPE WORKS
	P7: PAVEMENT PROFILE 7 REFER SCHEDULE OF LANDSCAPE WORKS
	P8: PAVEMENT PROFILE 8 REFER SCHEDULE OF LANDSCAPE WORKS
	P9: PAVEMENT PROFILE 9 REFER SCHEDULE OF LANDSCAPE WORKS
	P10: PAVEMENT PROFILE 10 REFER SCHEDULE OF LANDSCAPE WORKS
	P11: PAVEMENT PROFILE 11 REFER SCHEDULE OF LANDSCAPE WORKS
	P12: PAVEMENT PROFILE 12 REFER SCHEDULE OF LANDSCAPE WORKS
	P13: PAVEMENT PROFILE 13 REFER SCHEDULE OF LANDSCAPE WORKS
	P14: PAVEMENT PROFILE 14 REFER SCHEDULE OF LANDSCAPE WORKS
	P15a: PAVEMENT PROFILE 15a REFER SCHEDULE OF LANDSCAPE WORKS
	P15b: PAVEMENT PROFILE 15b REFER SCHEDULE OF LANDSCAPE WORKS
	P16: PAVEMENT PROFILE 16 REFER SCHEDULE OF LANDSCAPE WORKS
	P17: PAVEMENT PROFILE 17 REFER SCHEDULE OF LANDSCAPE WORKS
	P18: PAVEMENT PROFILE 18 REFER SCHEDULE OF LANDSCAPE WORKS
	P19: PAVEMENT PROFILE 19 REFER SCHEDULE OF LANDSCAPE WORKS
	P20: PAVEMENT PROFILE 20 REFER SCHEDULE OF LANDSCAPE WORKS
	P21: PAVEMENT PROFILE 21 REFER SCHEDULE OF LANDSCAPE WORKS
	P22: PAVEMENT PROFILE 22 REFER SCHEDULE OF LANDSCAPE WORKS
	P23: PAVEMENT PROFILE 23 REFER SCHEDULE OF LANDSCAPE WORKS
	P24: PAVEMENT PROFILE 24 REFER SCHEDULE OF LANDSCAPE WORKS
	P25: PAVEMENT PROFILE 25 REFER SCHEDULE OF LANDSCAPE WORKS
	P26: PAVEMENT PROFILE 26 REFER SCHEDULE OF LANDSCAPE WORKS
	P27: PAVEMENT PROFILE 27 REFER SCHEDULE OF LANDSCAPE WORKS
	P28: PAVEMENT PROFILE 28 REFER SCHEDULE OF LANDSCAPE WORKS
	P29: PAVEMENT PROFILE 29 REFER SCHEDULE OF LANDSCAPE WORKS
	P30: PAVEMENT PROFILE 30 REFER SCHEDULE OF LANDSCAPE WORKS
	P31: PAVEMENT PROFILE 31 REFER SCHEDULE OF LANDSCAPE WORKS
	P32: PAVEMENT PROFILE 32 REFER SCHEDULE OF LANDSCAPE WORKS
	P33: PAVEMENT PROFILE 33 REFER SCHEDULE OF LANDSCAPE WORKS
	P34: PAVEMENT PROFILE 34 REFER SCHEDULE OF LANDSCAPE WORKS
	P35: PAVEMENT PROFILE 35 REFER SCHEDULE OF LANDSCAPE WORKS
	P36: PAVEMENT PROFILE 36 REFER SCHEDULE OF LANDSCAPE WORKS
	P37: PAVEMENT PROFILE 37 REFER SCHEDULE OF LANDSCAPE WORKS
	P38: PAVEMENT PROFILE 38 REFER SCHEDULE OF LANDSCAPE WORKS
	P39: PAVEMENT PROFILE 39 REFER SCHEDULE OF LANDSCAPE WORKS
	P40: PAVEMENT PROFILE 40 REFER SCHEDULE OF LANDSCAPE WORKS

GENERAL NOTE:

- THE PLAN MUST BE READ IN CONJUNCTION WITH THE SPECIFICATION WHICH ALSO CONTAINS THE PLANT SCHEDULE. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ASSOCIATED DRAWINGS BY OTHER CONSULTANTS SUCH AS DO NOT DAMAGE ANY ROOTS OF RETAINED TREES, PALMS, REFER TO THE TREE PROTECTION PLAN AND TREE ASSESSMENT REPORTS FOR TREE PROTECTION DETAILS. REFER TO THE REMOVAL OR DISTURBANCE OF VEGETATION AND TOP SOIL MUST BE MAINTAINED TO THE SAME LEVEL AS THE ORIGINAL. REMOVAL LEVELS ARE TO BE ALTERED AND NEW LANDSCAPE FINISHES INSTALLED.

SURFACE FINISH HOLD POINTS:

- THE CLAIMS MUST BE READ IN CONJUNCTION WITH THE FINAL SETOUT OF ALL LANDSCAPE WORKS TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO POURING OF FINAL CONCRETE.
- ALL REINFORCING TO BE INSPECTED AND APPROVED BY THE SITE SUPERINTENDENT PRIOR TO POURING OF FINAL CONCRETE. ALL LIGHTING PORTS AND BOLLARD LOCATIONS ARE TO BE CONFIRMED WITH THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- TREE LOCATIONS ON WATER BURE POUND FLAG ARE TO BE CONFIRMED WITH THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. TREES IN THESE AREAS ARE TO BE INSTALLED TO BE CONFINED TO THE AREAS SHOWN ON THE PLAN.
- ALL UNDERGROUND REINFORCEMENTS ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION OF FINAL LANDSCAPE FINISHES.
- ALL CONCRETE VEHICLE TRAFFIC IS TO TAKE PLACE ON COMPLETED CONCRETE, PAINTED, OR ASPHALT SURFACES. CONSTRUCTION MUST BE SCHEDULED TO EXCLUDE ANY MARKING OR DAMAGE TO COMPLETED SURFACES.

GARDEN PROFILE

	G1: GARDEN PROFILE 1 REFER SCHEDULE OF LANDSCAPE WORKS
	G2: GARDEN PROFILE 2 REFER SCHEDULE OF LANDSCAPE WORKS
	G3: GARDEN PROFILE 3 REFER SCHEDULE OF LANDSCAPE WORKS
	G4: GARDEN PROFILE 4 REFER SCHEDULE OF LANDSCAPE WORKS

TURF PROFILE

	T1: TURF PROFILE 1 REFER SCHEDULE OF LANDSCAPE WORKS
--	---

APPROVED

FINISHES - HOLD POINTS:

NOTIFY THE LANDSCAPE ARCHITECT OR SUPERINTENDENT PRIOR TO ARRANGING FOR INSPECTION.

NO.	HOLD POINTS	CHKD	DATE/NO
1	SAMPLE PANELS APPROVED PRIOR TO INSTALLATION OF THE WORKS		
2	SAMPLE OF CONCRETE/ASPHALT WALL PRIOR TO CONSTRUCTION OF REMAINING WALLS		
3	INSPECTION OF FULLY RENOVATED MARITIME ARTPIERS PRIOR TO DELIVERY TO SITE FOR INSTALLATION		
4	GALVANISED FINISHES TO BE APPROVED PRIOR TO INSTALLATION		
5	PAINTED FINISHES, INCLUDING UNDERCOAT PRIOR TO CONSTRUCTION OF ADDITIONAL PAINTING WORKS OR INSTALLATION		
6	ANY DRILLING, CUTTING OR CONSTRUCTION DAMAGE REQUIRING RECTIFICATION WORKS. RECTIFICATION WORKS TO BE APPROVED PRIOR TO CONSTRUCTION (PROCEEDINGS)		

FINISHES NOTES:

- USE 88 NOTED OTHERWISE SERVICE FIT LIDS GREATER THAN 100MM TO BE PROVIDED WITH MATERIALS TO MATCH THE ADJACENT PAVEMENT FINISH.

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GLADSTONE PORTS COMPOSITION
Greenfield, Expertly, Committed.

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CLIENT
GLADSTONE PORTS COMPOSITION
Greenfield, Expertly, Committed.

KEY PLAN

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PROJECT ADDRESS
FLINDERS PARADE
GLADSTONE QLD

PROJECT NO.
ND1580

FOR TENDER
SCALE
SET DRAWING SCALE

DRAWING NO.
200-FI

FINISHES LEGEND

PROJECT DIRECTOR: PH

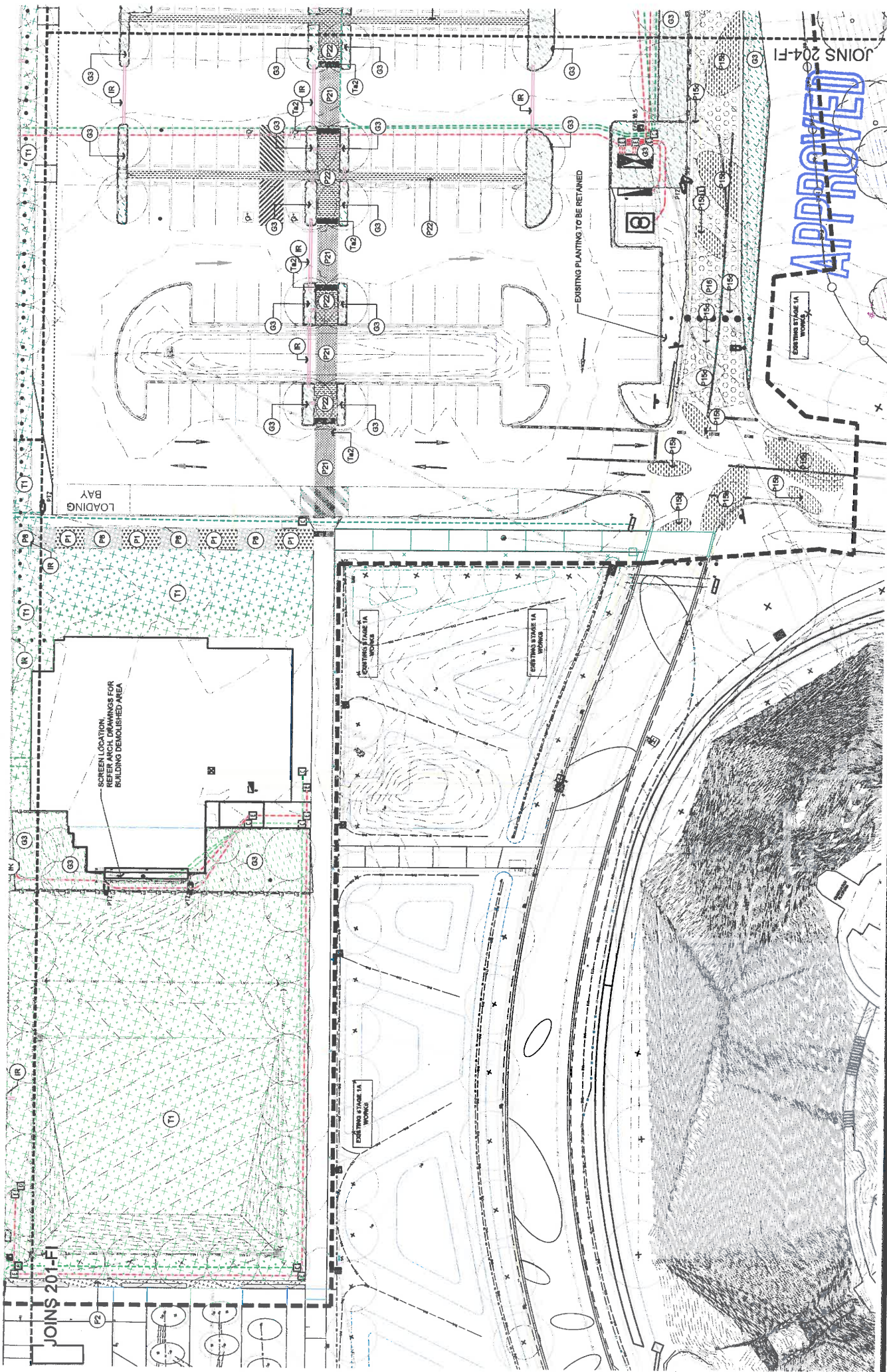
CLIENT REVIEW
A. 70% DESIGN
B. 10% DESIGN

DATE
10.10.18

CHKD
31.08.18

DATE
31.08.18

REVISION
B



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CLIENT

PROJECT ADDRESS
 FLINDERS PARADE
 GLADSTONE QLD

PROJECT NO.
 ND1550

SCALE
 1:200 @ A1
 1:400 @ A3

REVISION
 C

DRAWING NO.
 FINISHES PLAN 03 203-F1

DATE
 28.06.18

PROJECT DIRECTOR: PH

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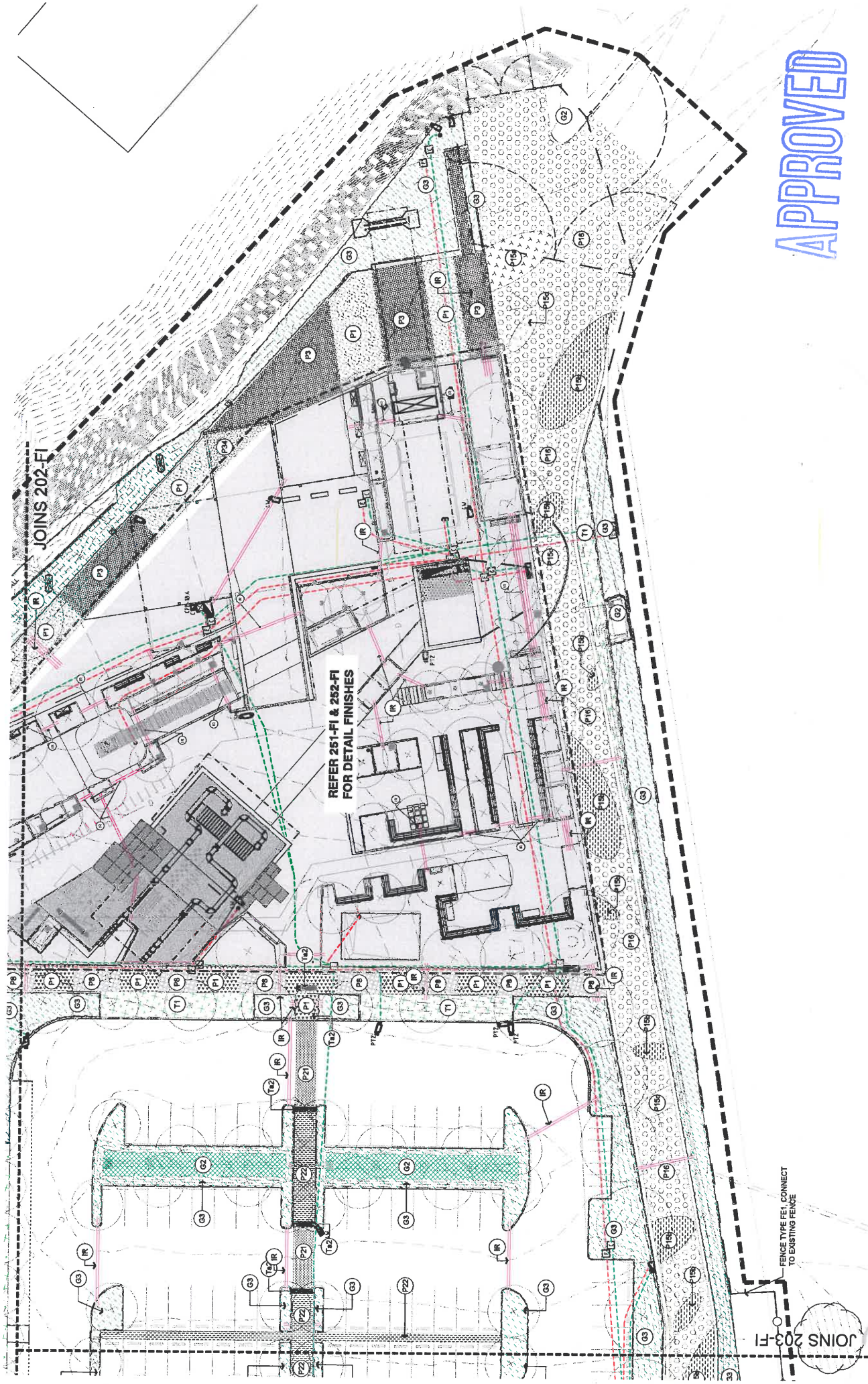
REV. DESCRIPTION

REV.	DESCRIPTION	DATE
CP	10% DESIGN	12.03.18
BY	70% DESIGN	21.06.18
83	40% DESIGN	28.06.18

KEY PLAN

NOTES:

- CONTRACTOR TO BE RESPONSIBLE TO BE PRINTED IN BLACK OR WHITE
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRINT IN BLACK OR WHITE
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRINT IN BLACK OR WHITE
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRINT IN BLACK OR WHITE



APPROVED

JOINS 202-FI

JOINS 203-FI

REFER 251-FI & 252-FI
FOR DETAIL FINISHES

FENCE TYPE F61, CONNECT
TO EXISTING FENCE

URBIS

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PROJECT ADDRESS
FLINDERS PARADE
GLADSTONE QLD

DRAWING TITLE
FINISHES PLAN 04

PROJECT NO.
ND1580

SCALE
1:200 @ A1

DATE
14.06.2018

REVISION
C

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CLIENT REVIEW

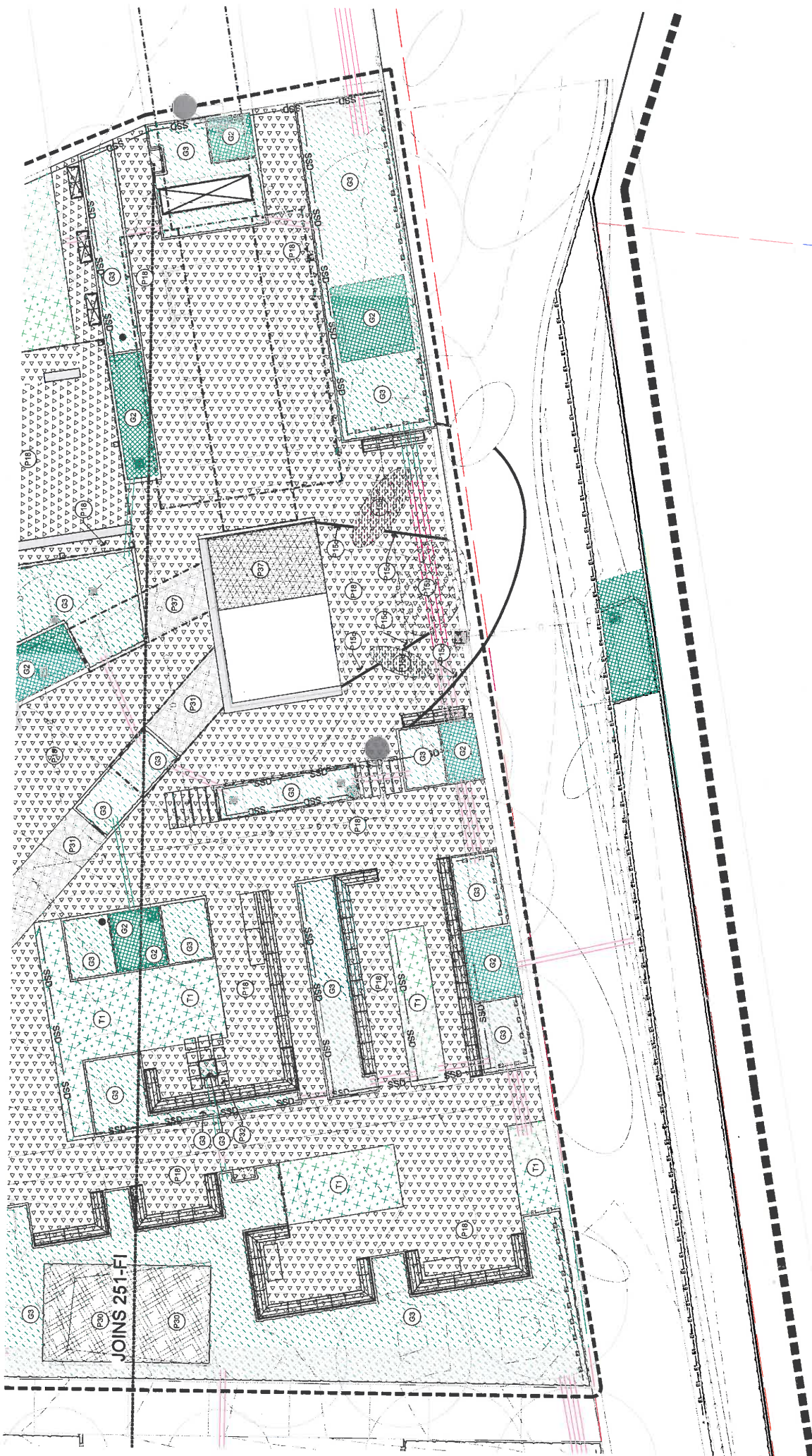
CP	JD	12.10.18
BY	JD	31.08.18
BB	JD	28.08.18

DWN CHK DATE
PROJECT DIRECTOR: PH

KEY PLAN

NOTES

1. ALL FINISHES TO BE PRINTED IN BLACK AND WHITE. THE CONTRACTOR'S RESPONSIBILITY TO PRINT IN BLACK AND WHITE.



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CLIENT

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Growth, Energy, Community

KEY PLAN

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PROJECT ADDRESS
FLINDERS PARADE
GLADSTONE QLD

PROJECT NO. ND1590
NORTH

SCALE 1:100 @ A1, 1:200 @ A3

DATE 11.05.18
BY JD, 31.08.18
DWN, CHK, DATE

PROJECT DIRECTOR PH

FOR TENDER

SCALE 1:100 @ A1, 1:200 @ A3

DRAWING NO. 252-FI

DETAIL FINISHES 02

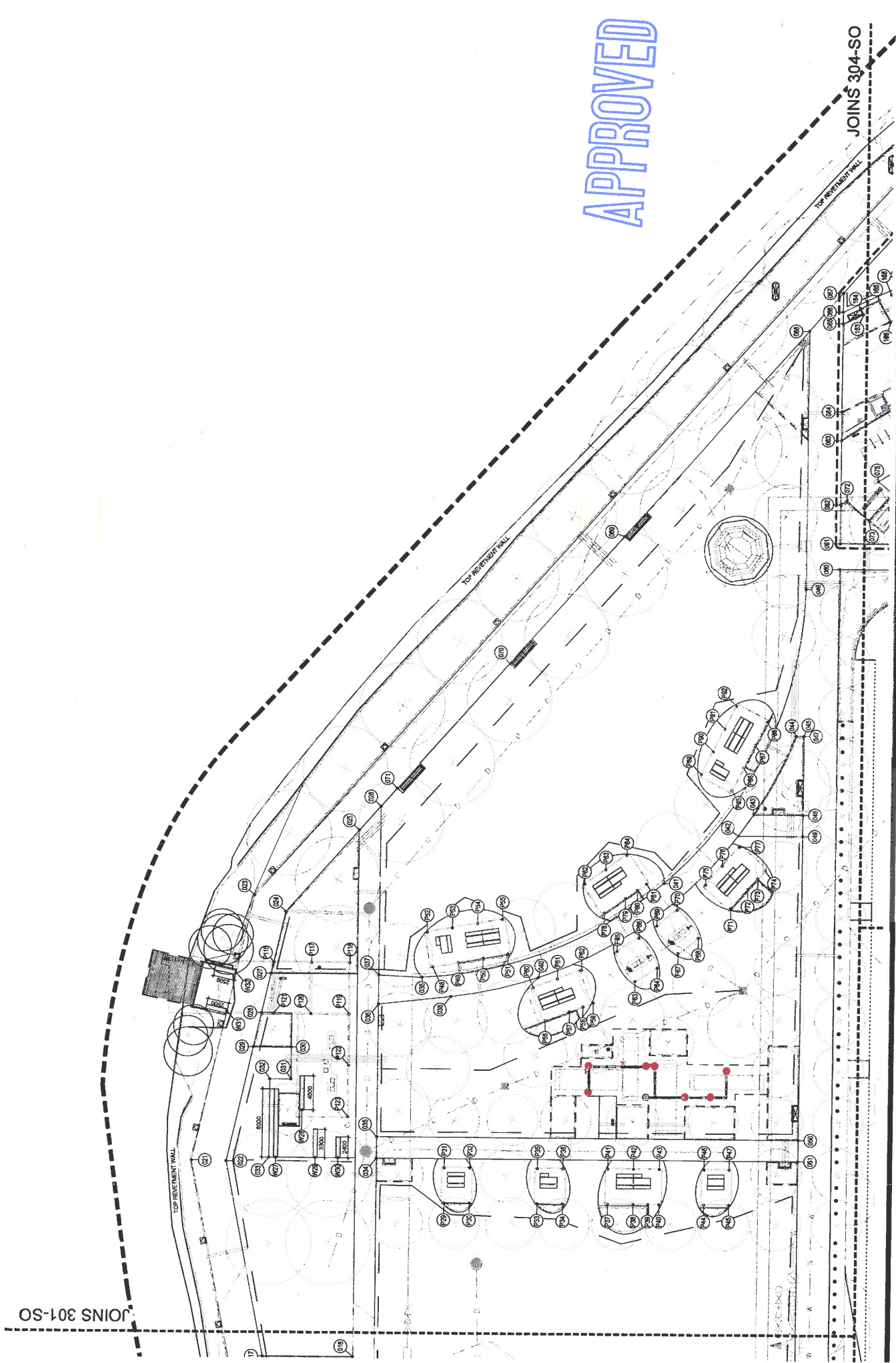
REV DESCRIPTION

A CLIENT REVIEW

B 70% DESIGN

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CLIENT

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Gladstone Ports Corporation
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FLINDERS PARADE
GLADSTONE QLD

PROJECT NO. ND1590
SCALE 1:200 @ A1
FOR TENDER

DRAWING NO. 302-SO
SETOUT PLAN 02

REV. DESCRIPTION

REV.	DESCRIPTION	DATE
0	CLIENT REVIEW	12/10/18
1	100% DESIGN	12/10/18

DWN. CHK. DATE

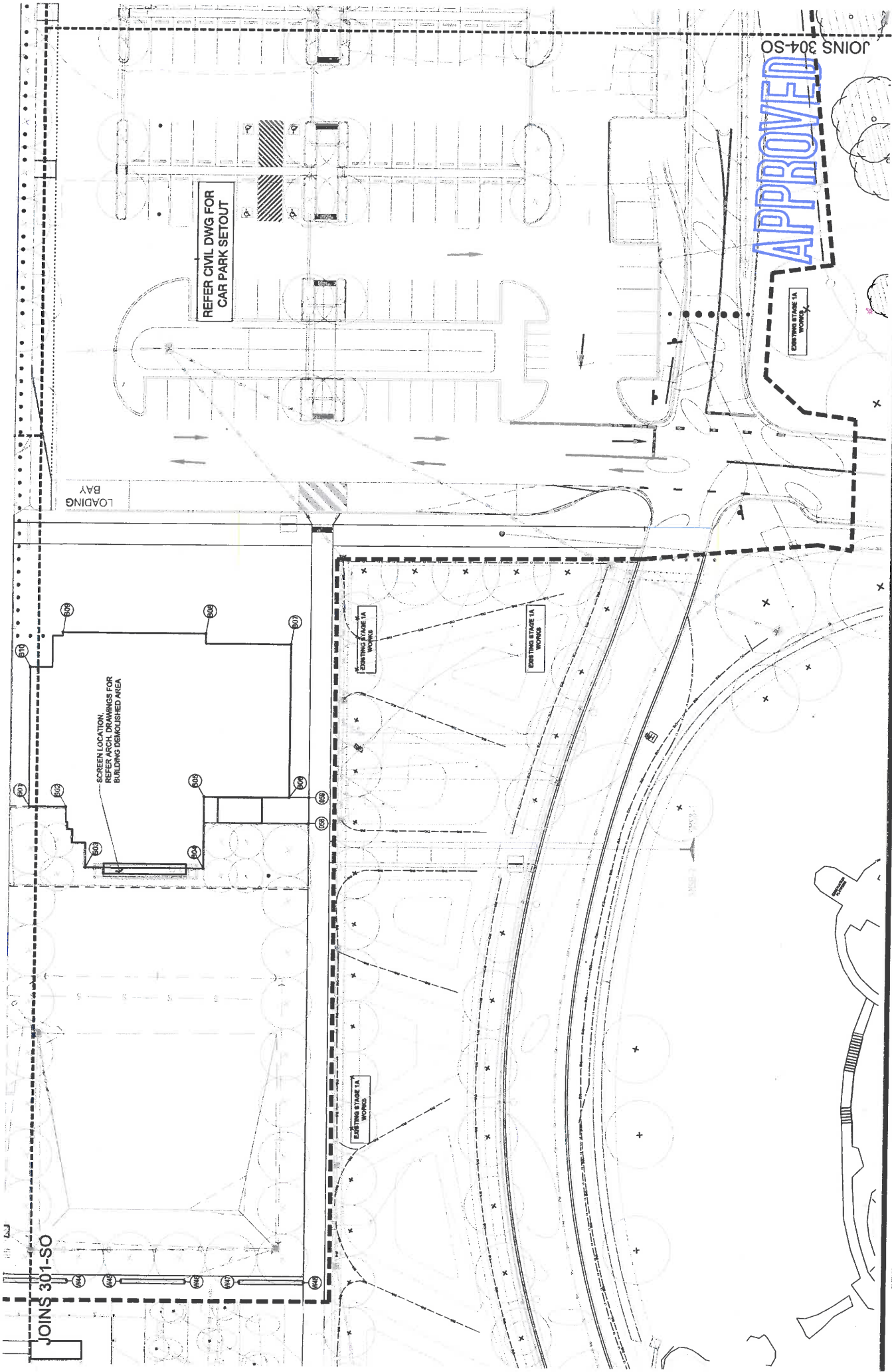
PROJECT DIRECTOR: PH

REVISION

SCALE 1:200 @ A1

PROJECT NO. ND1590
SCALE 1:200 @ A1
FOR TENDER

DRAWING NO. 302-SO
SETOUT PLAN 02



JOINS 304-SO
APPROVED
 EXISTING STAGE 1A WORKS

REFER CIVIL DWG FOR CAR PARK SETOUT

SCREEN LOCATION REFER ARCH DRAWINGS FOR BUILDING DEMOLISHED AREA

EXISTING STAGE 1A WORKS

EXISTING STAGE 1A WORKS

EXISTING STAGE 1A WORKS

LOADING BAY

JOINS 301-SO

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SETOUT PLAN 03

PROJECT ADDRESS
**FLINDERS PARADE
 GLADSTONE QLD**

PROJECT NO.
ND1580

ISSUE FOR TENDER

SCALE
1:200 @ A1

DRAWING NO.
303-SO

REVISION
B

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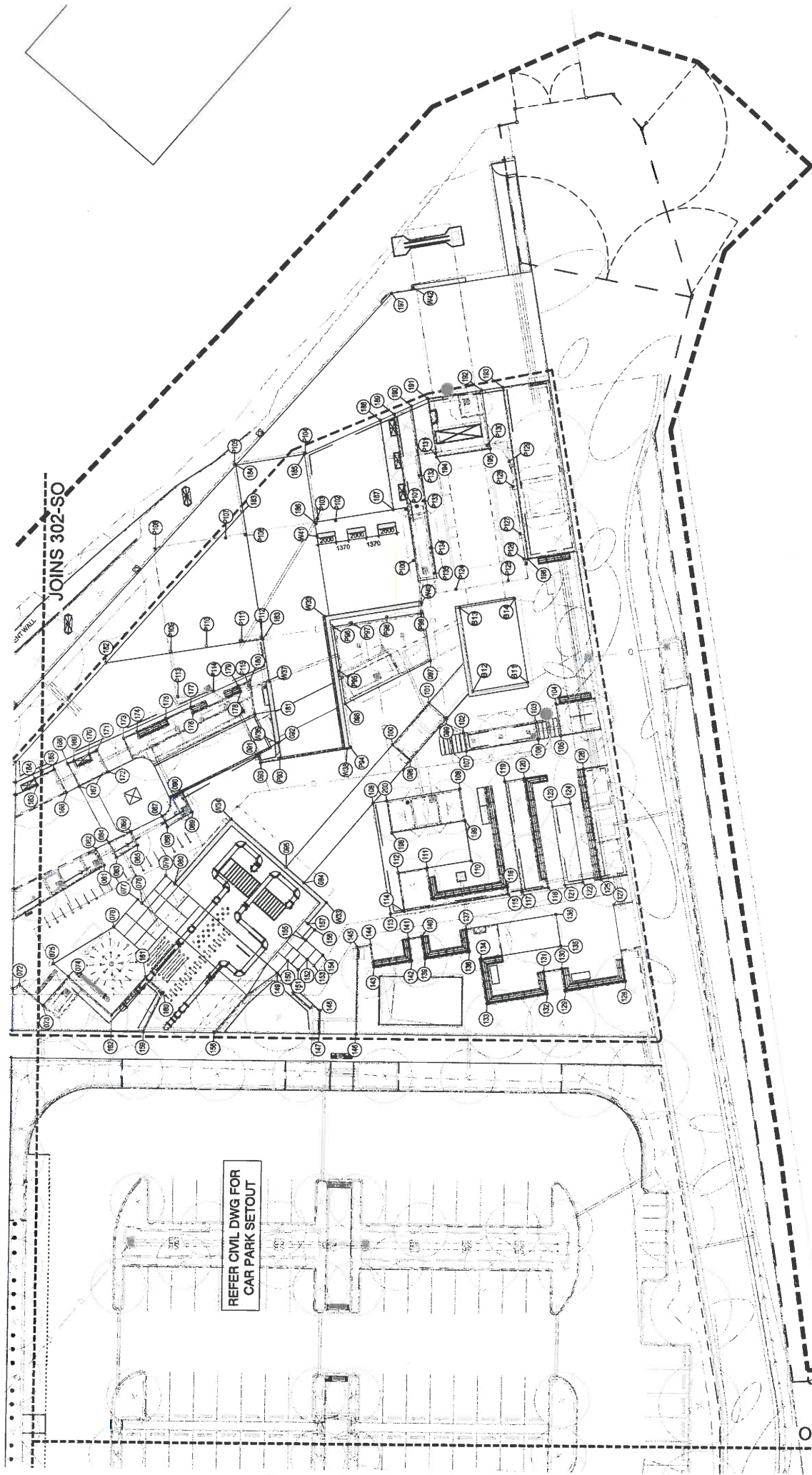
KEY PLAN

REV. DESCRIPTION

REV.	DESCRIPTION	DATE	CHK.	DWN.
A	100% DESIGN	12/10/18	J.D.	J.D.
B	CLIENT REVIEW	12/10/18	J.D.	J.D.

CLIENT

GLADSTONE PORTS CORPORATION



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KEY PLAN

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PROJECT ADDRESS
FLINDERS PARADE
GLADSTONE QLD

ISSUE
FOR TENDER

SCALE
 1:200 @ A1
 1:400 @ A3

PROJECT NO.
ND1550

DRAWING NO.
304-SO

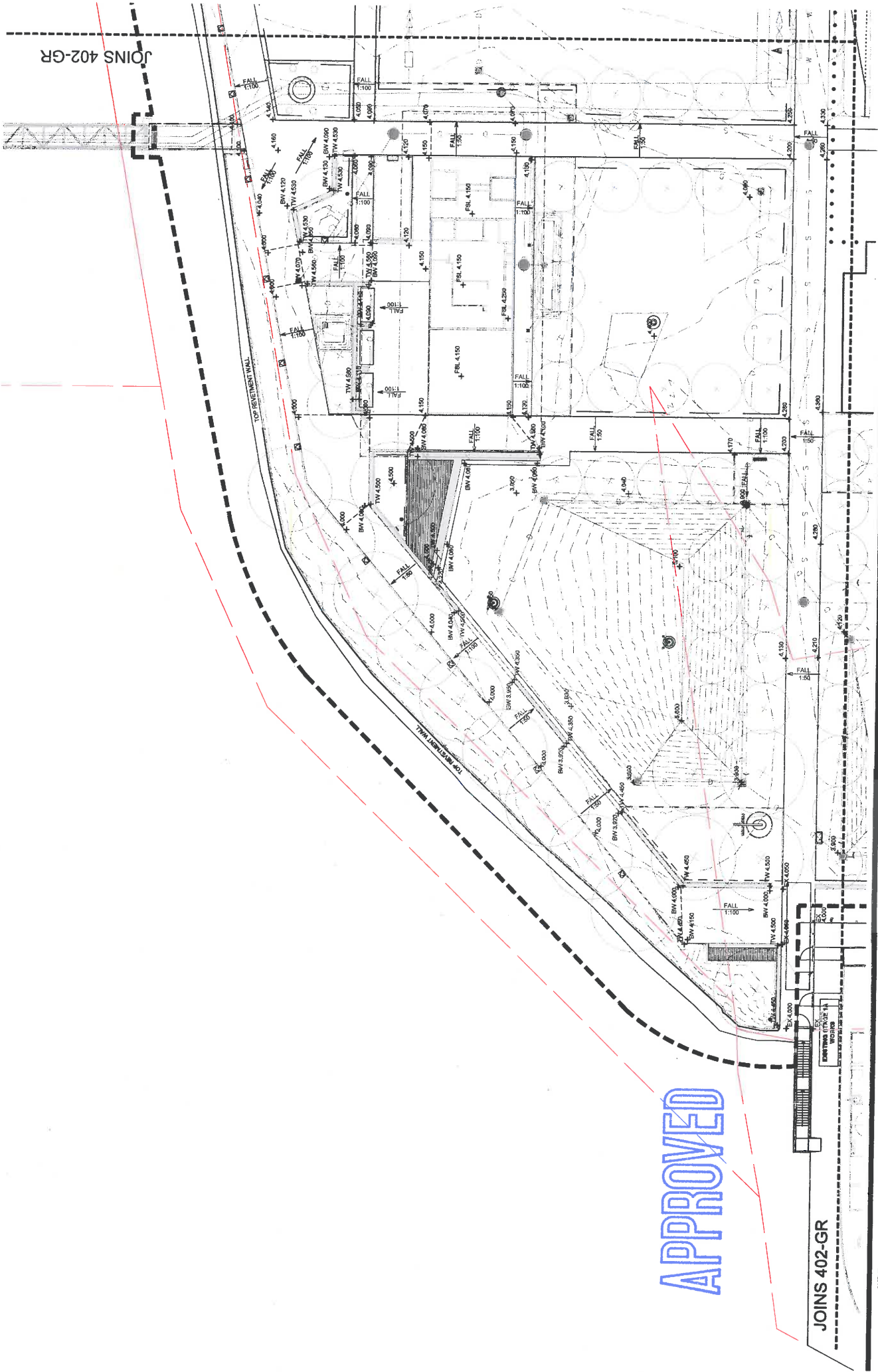
DRAWING TITLE
SETOUT PLAN 04

PROJECT DIRECTOR
 PH

DATE
 12/10/18

CLIENT REVIEW
 B. 100% DESIGN

REV. DESCRIPTION



JOINS 402-GR

JOINS 402-GR

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PROJECT ADDRESS
FLINDERS PARADE
GLADSTONE QLD

PROJECT TITLE
GRADING PLAN 01

ISSUE FOR TENDER

SCALE
1:200 @ A1
1:400 @ A3

PROJECT NO. ND1580

DRAWING NO. 401-GR

REVISION C

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CLIENT REVIEW
G. CLIENT REVIEW
S. 70% DESIGN
A. 80% DESIGN

REV DESCRIPTION

KEY PLAN

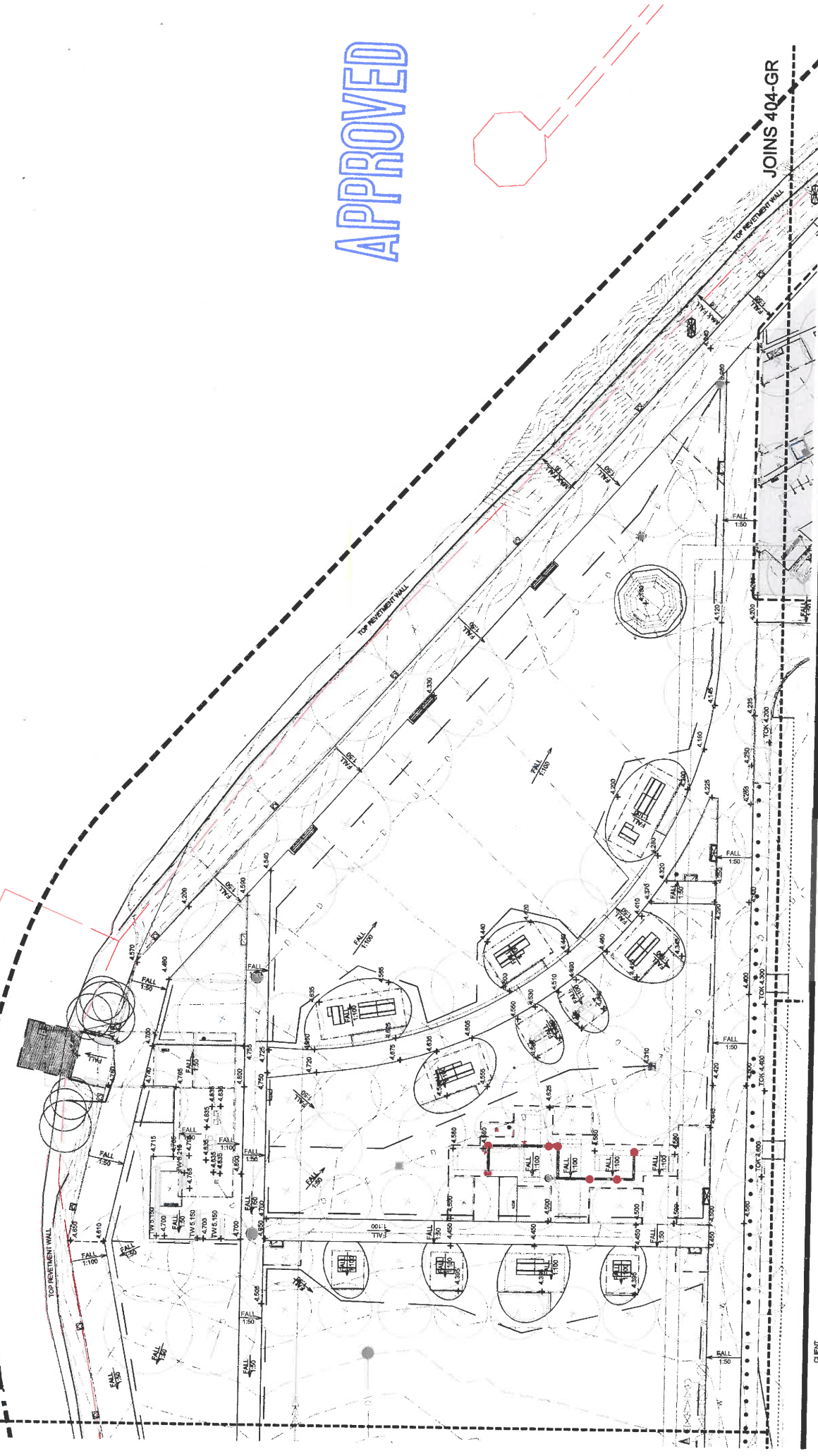
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PROJECT DIRECTOR: PH

JOINS 401-GR

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JOINS 404-GR



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CLIENT

KEY PLAN

REVISIONS

REV	DESCRIPTION	DATE	BY	CHK
C	CLIENT REVIEW	10.10.14	CP	LD
B	70% DESIGN	31.08.14	BY	JD
A	40% DESIGN	22.08.14	BY	JD

PROJECT ADDRESS
 FLINDERS PARADE
 GLADSTONE QLD

PROJECT NO.
 ND1560

SCALE
 1:200 @ A1
 1:400 @ A3

ISSUE FOR TENDER

DRAWING NO.
 402-GR

DRAWING TITLE
 GRADING PLAN 02

PROJECT DIRECTOR
 PH

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DATE
 10.10.14

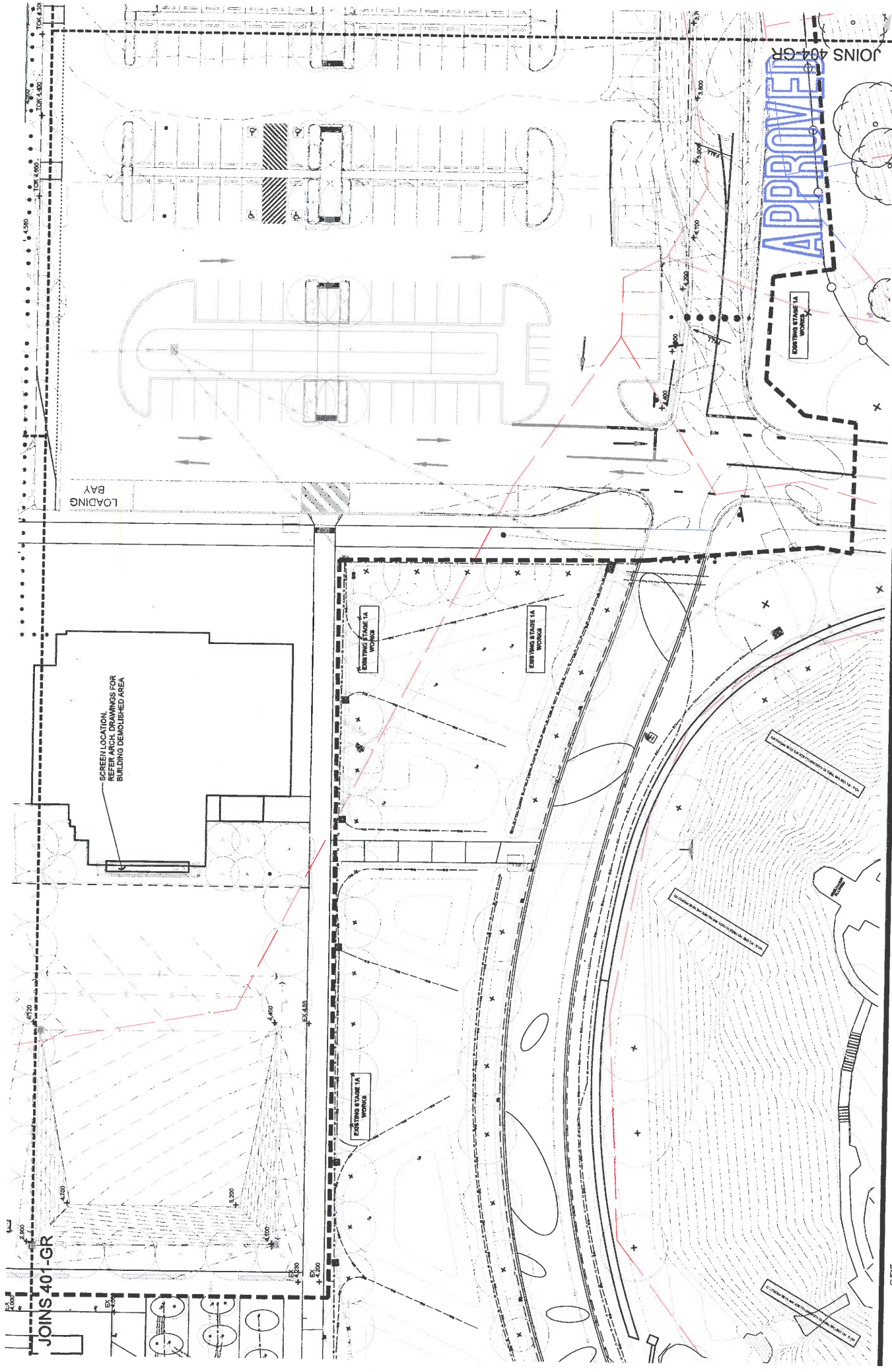
BY
 CP

CHK
 LD

DATE
 10.10.14

BY
 CP

CHK
 LD



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PROJECT ADDRESS
FLINDERS PARADE
GLADSTONE QLD

ISSUE
FOR TENDER

SCALE
 1:500 @ A1
 1:300 @ A2

PROJECT NO.
 ND 1500

DRAWING NO.
 403-GR

REVISION
 C

DATE
 12/10/18

REV. DESCRIPTION

C	CLIENT REVIEW
B	70% DESIGN
A	40% DESIGN

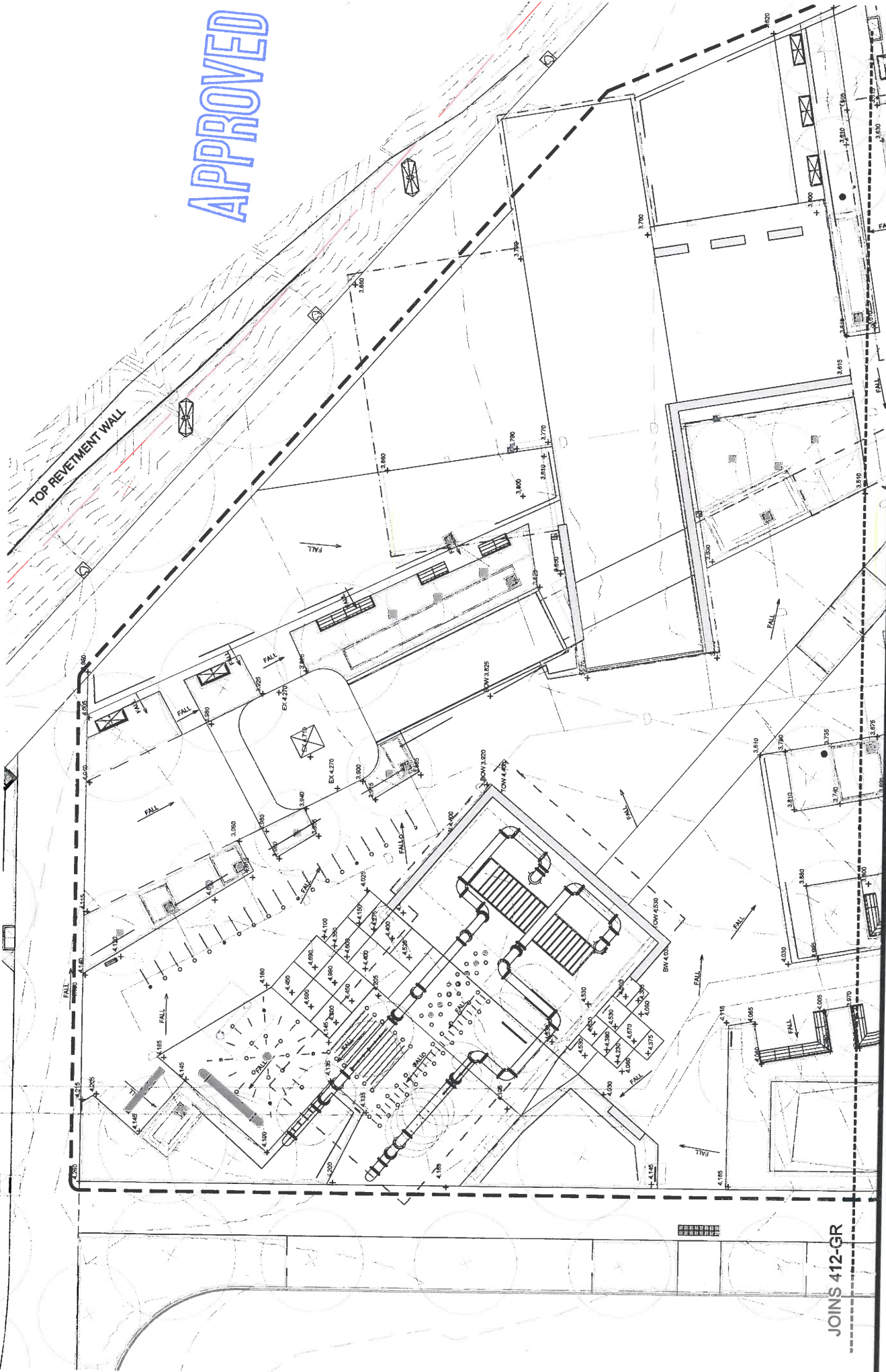
DATE
 22/05/18

CHK
 DWN

CHK
 DATE

PROJECT DIRECTOR
 PH

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CLIENT

PROJECT ADDRESS
 FLINDERS PARADE
 GLADSTONE QLD

PROJECT NO.
 ND 1560

FOR TENDER

SCALE
 1:100 @ A1
 1:400 @ A3

DRAWING NO.
 DETAIL GRADING 01 451-GR

PROJECT TITLE
 DETAIL GRADING 01 451-GR

PROJECT DIRECTOR
 [Name]

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REV DESCRIPTION

REV	NO.	DATE	DESCRIPTION
A	1.00	31.05.19	70% DESIGN

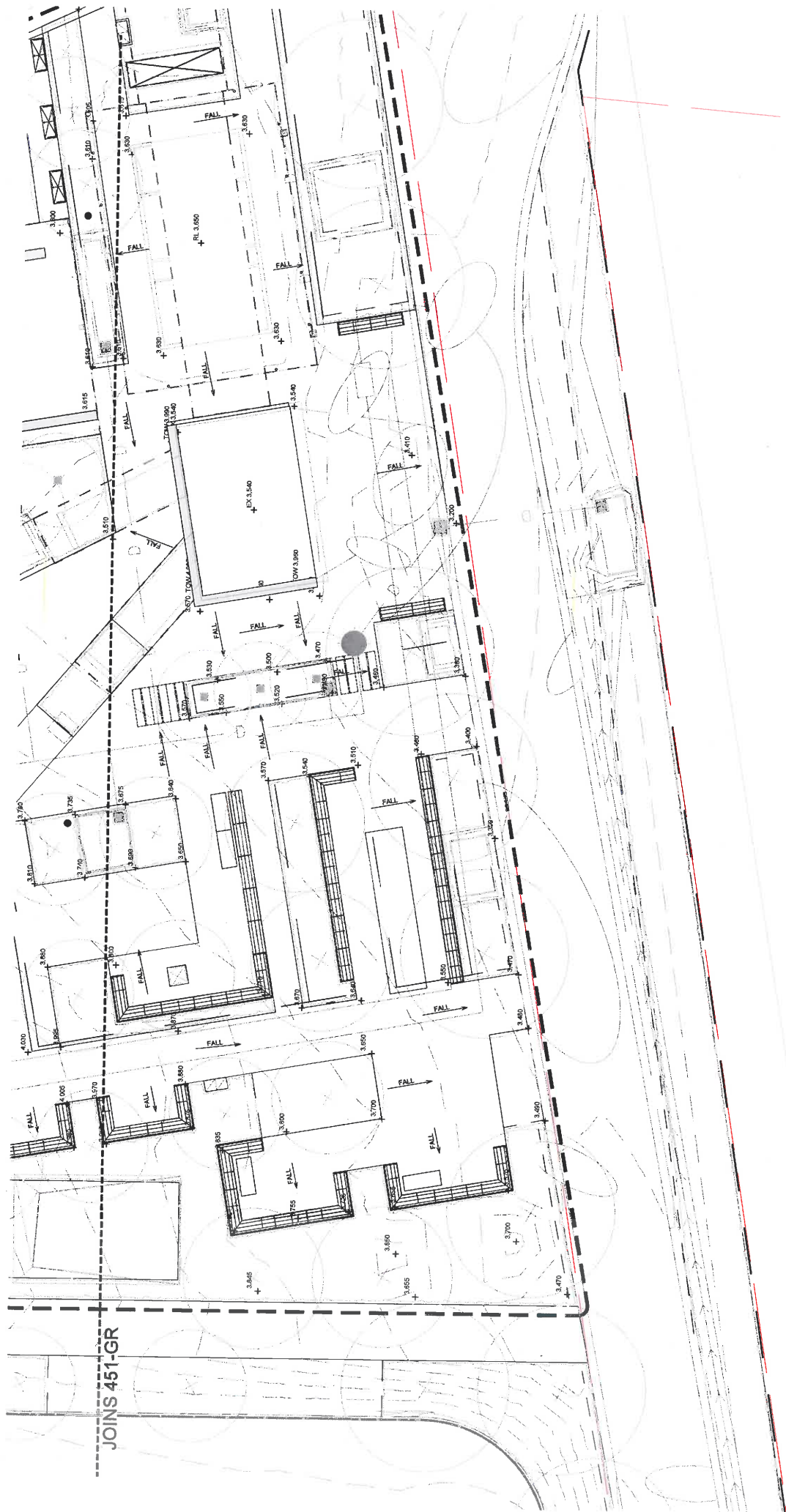
CLIENT REVIEW

BY [Name] **DATE** [Date]

CP [Name] **ID** [ID]

DWN [Name] **CHK** [Name] **DATE** [Date]

KEY PLAN



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PROJECT ADDRESS
FLINDERS PARADE
GLADSTONE QLD

PROJECT NO.
 ND1560

ISSUE
 FOR TENDER

SCALE
 1:100 @ A1
 1:200 @ A3
 1:500 @ A4

DRAWING NO.
 452-GR

REVISION
 B

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KEY PLAN

CLIENT REVIEW

REV	DESCRIPTION
A	70% DESIGN
B	CLIENT REVIEW

DWN CHN DATE **PROJECT DIRECTOR/PM**

CP ID: 12.04.18
 SY JD: 31.04.18

GENERAL LEGEND

	SURVEY OF MAINS EAST SIDES FB
	DRAWINGS ADJACENT LINE
	SWALE
	Subsoil Drain Refer to Schedule of Landscape Works
	Infiltration Catchment Refer to Infiltration Drawings
	TREE Root Barrier Refer to Schedule of Landscape Works
	MESS REFER TO CIVIL ENGINEERS DRAWINGS
	MESS REFER TO CIVIL ENGINEERS DRAWINGS
	FIRE HYDRANT REFER TO HYDRAULIC & CIVIL ENGINEERS DRAWINGS
	Water Main REFER TO HYDRAULIC & CIVIL ENGINEERS DRAWINGS
	STORMWATER PIT REFER TO HYDRAULIC & CIVIL ENGINEERS DRAWINGS
	SERVICES PITS REFER TO ELECTRICAL ENGINEERS DRAWINGS FOR DETAILS
	LOW VOLTAGE ELECTRICAL SERVICE REFER TO ELECTRICAL ENGINEERS DRAWINGS
	HIGH VOLTAGE ELECTRICAL SERVICE REFER TO ELECTRICAL ENGINEERS DRAWINGS
	COAMS SERVICE REFER TO ELECTRICAL ENGINEERS DRAWINGS
	FIRE-OPTIC SERVICE REFER TO ELECTRICAL ENGINEERS DRAWINGS
	SURFACE DRAINAGE PIT REFER TO CIVIL ENGINEERS DRAWINGS
	MANHOLE COVER REFER TO CIVIL ENGINEERS DRAWINGS
	MANHOLE COVER REFER TO CIVIL ENGINEERS DRAWINGS
	MANHOLE COVER REFER TO CIVIL ENGINEERS DRAWINGS
	ELECTRICAL CONDUITS AND PITS REFER TO ELECTRICAL DRAWINGS
	LIGHT POLES REFER TO ELECTRICAL DRAWINGS
	ELECTRICAL DISTRIBUTION BOARD REFER TO ELECTRICAL ENGINEERS DRAWINGS
	ELECTRICAL DISTRIBUTION BOARD REFER TO ELECTRICAL ENGINEERS DRAWINGS
	ELECTRICAL TRANSFORMER REFER TO ELECTRICAL ENGINEERS DRAWINGS
	TRANSPLANTED TREE REFER TO PLANTING DRAWINGS
	COLLAR REFER TO LANDSCAPE FURNITURE PLANS
	EARTH MOUNDING
	BALLUSTRADE REFER TO LANDSCAPE FURNITURE PLANS
	STAIRS
	MASTING ART REFER TO LANDSCAPE FURNITURE PLANS
	MASTING ART REFER TO LANDSCAPE FURNITURE PLANS
	MASTING ART REFER TO LANDSCAPE FURNITURE PLANS
	IRRIGATION PIPES REFER TO IRRIGATION CONSULTANTS PLANS
	E1 - EDGE TYPE 1 REFER TO LANDSCAPE SCHEDULE OF WORKS
	E2 - EDGE TYPE 2 REFER TO LANDSCAPE SCHEDULE OF WORKS
	F41 - FENCE TYPE 1 REFER TO LANDSCAPE SCHEDULE OF WORKS
	F42 - FENCE TYPE 2 REFER TO LANDSCAPE SCHEDULE OF WORKS
	SW1 - SWALE TYPE 1 REFER TO LANDSCAPE SCHEDULE OF WORKS

PLANTING LEGEND

REFER TO PLANT SCHEDULE

TREE
REFER SCHEDULE OF LANDSCAPE WORKS

BURLETS (FEATURE)
PLANTING

HOLD POINTS	CHMD	DATENOTES
1	1	1
2	2	2
3	3	3

NOTIFY THE LANDSCAPE ARCHITECT OR SUPERINTENDENT MORE THAN 24 HOURS PRIOR TO THE FOLLOWING HOLD POINTS TO ARRANGE FOR INSPECTION.

PLANTING NOTES:

- DO NOT STAKE TREES, PALMS OR BUSHES UNLESS SPECIFICALLY NOTED OR DIRECTED OTHERWISE BY THE LANDSCAPE ARCHITECT. REMOVE NUMBER STAKES AND LABELS AT THE TIME OF PLANTING.
- ALL PLANTS ARE TO BE THOROUGHLY WATERED NOT MORE THAN 2 HOURS PRIOR TO PLANTING. THEY ARE TO BE THOROUGHLY WATERED AGAIN LONGER THAN 2 HOURS AFTER PLANTING.

GENERAL NOTES:

- THE PLAN MUST BE READ IN CONJUNCTION WITH THE SPECIFICATION WHICH ALSO CONTAINS THE PLANT SCHEDULE AND SCHEDULE OF LANDSCAPE WORKS.
- ALL DRAWINGS ARE TO BE CONSTRUCTED WITH THE ASSOCIATED DRAWINGS BY OTHER CONSULTANTS SUCH AS ELECTRICAL, MECHANICAL, STRUCTURAL, ETC.
- DO NOT DAMAGE ANY ROOTS OF RETAINED TREES / PALMS. REFER TO THE TREE PROTECTION PLAN AND TREE ASSESSMENT REPORT FOR DETAILS OF EXISTING TREES TO BE REMOVED.
- REMOVAL OR DISTURBANCE OF VEGETATION AND TOP SOIL MUST BE CONFINED TO WITHIN THREE METERS OF THE APPROVED REMOVAL AREAS. ALL EXISTING AND NEW LANDSCAPE FINISHES MUST BE INSTALLED.

SURFACE FINISH HOLD POINTS:

- THE PLANS MUST BE READ IN CONJUNCTION WITH THE SPECIFICATION WHICH ALSO CONTAINS THE PLANT SCHEDULE AND SCHEDULE OF LANDSCAPE WORKS.
- THE LANDSCAPE ARCHITECT PRIOR TO POURING OF FINAL CONCRETE FINISHES.
- ALL FINISHINGS TO BE INSPECTED AND APPROVED BY THE SITE SUPERINTENDENT.
- CONCRETE FINISH LOCATIONS AND LEVELS ARE TO BE CONFIRMED WITH THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- ALL LIGHTING POINTS AND COLLAR LOCATIONS ARE TO BE PRINTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- TREE LOCATIONS ON WATER SIDE ROOM SLAB ARE TO BE CONFIRMED TO ALLOW THE DOWN COMPONENTS TO BE INSTALLED PRIOR TO CONSTRUCTION.
- ALL TREE PIT SIZES FOR TRANSPLANTED TREES OR PALMS ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION.
- CONCRETE FINISHES TO BE INSTALLED PRIOR TO CONSTRUCTION.
- CONCRETE FINISHES TO BE INSTALLED PRIOR TO CONSTRUCTION.
- CONCRETE FINISHES TO BE INSTALLED PRIOR TO CONSTRUCTION.

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Gladstone Ports Corporation
Gladstone, Queensland, Australia

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PROJECT ADDRESS
FLINDERS PARADE
GLADSTONE QLD

PROJECT NO.
ND1550
NORTH

FOR TENDER

SCALE
SET DRAWING SCALE

DRAWING NO.
500-PL

REVISION
B

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B 100% DESIGN

CLIENT REVIEW
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B 100% DESIGN

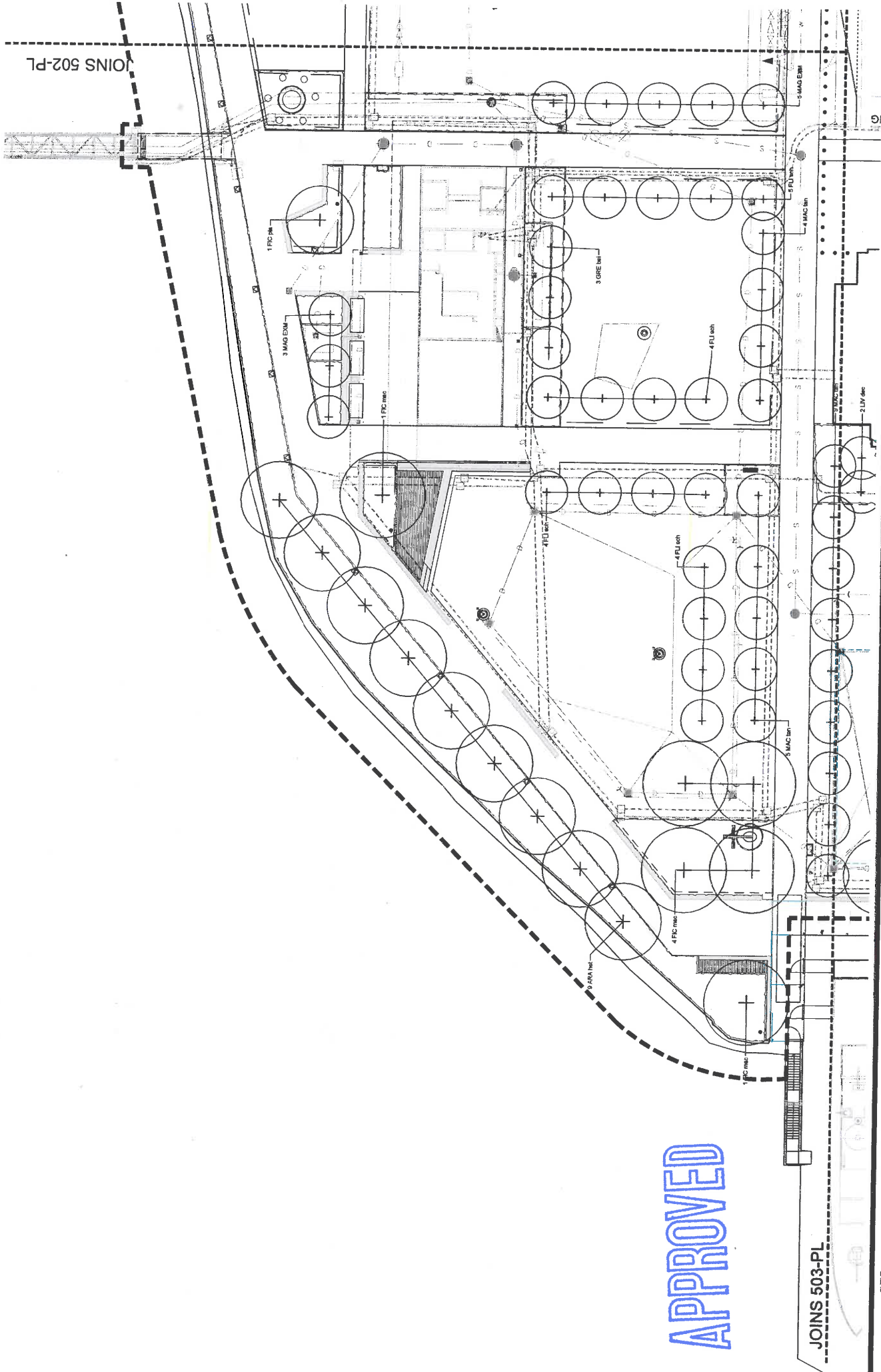
CP 12.10.18
BY 68 31.06.18

DMV CHK DATE

KEY PLAN

LEGEND

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PROJECT ADDRESS
FLINDERS PARADE
GLADSTONE QLD

PROJECT NO.
 ND1560

ISSUE
 FOR TENDER

SCALE
 1:200 @ A1

DATE
 15/05/18

DRAWING NO.
 501-PL

REVISION
 C

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CLIENT REVIEW

CP	JD	15/05/18
BY	JD	31/05/18
BY	JD	22/06/18

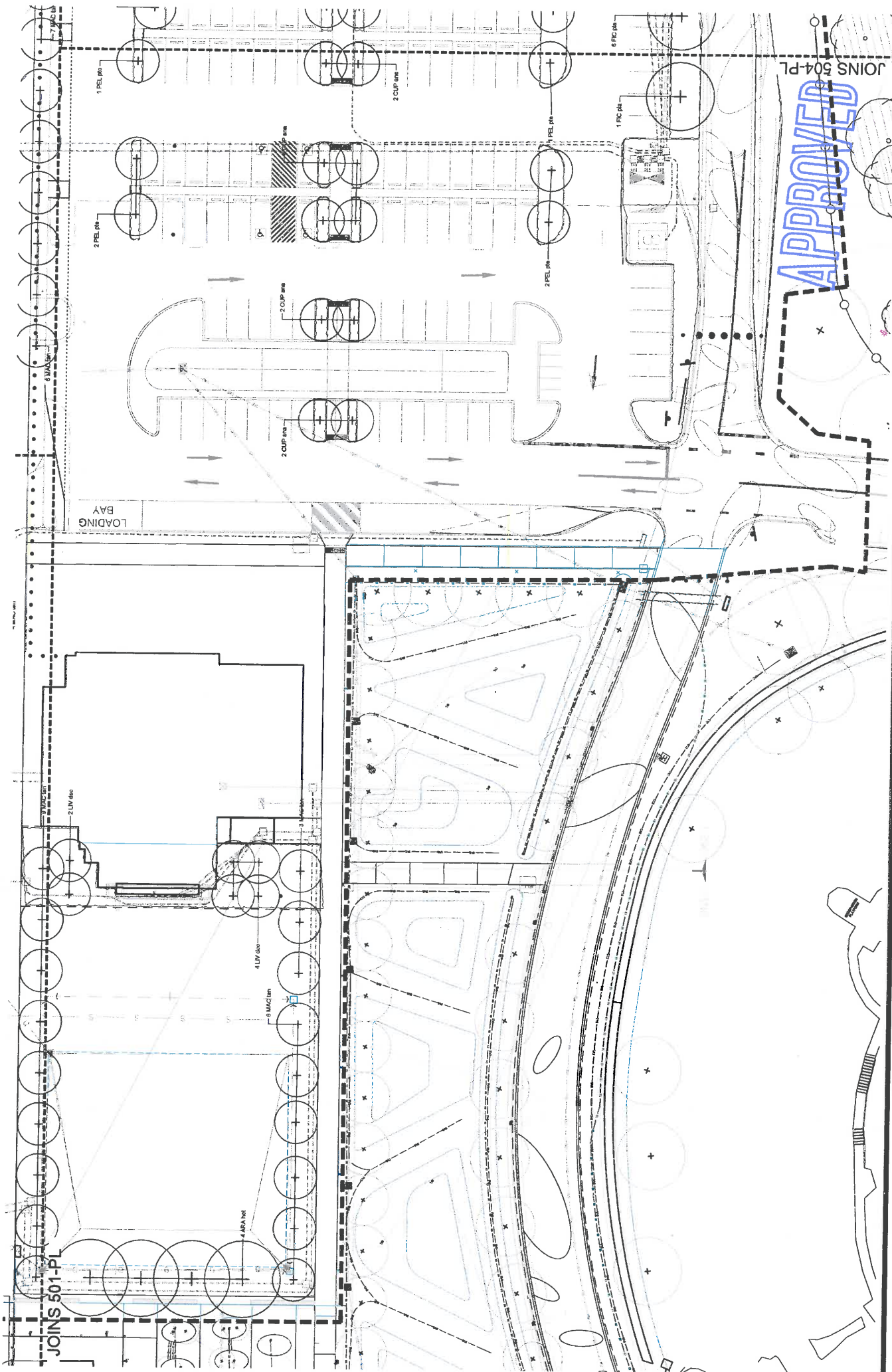
DWN CHK DATE PROJECT DIRECTOR: PH

REV DESCRIPTION

C	CLIENT REVIEW
B	70% DESIGN
A	40% DESIGN

KEY PLAN

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JOINS 501-PL

JOINS 504-PL

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KEY PLAN

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GLADSTONE QLD

ISSUE
FOR TENDER

SCALE
1:200 @ A1
1:400 @ A3

PROJECT NO.
ND1560

DRAWING NO.
503-PL

TITLE
TREE PLANTING 03

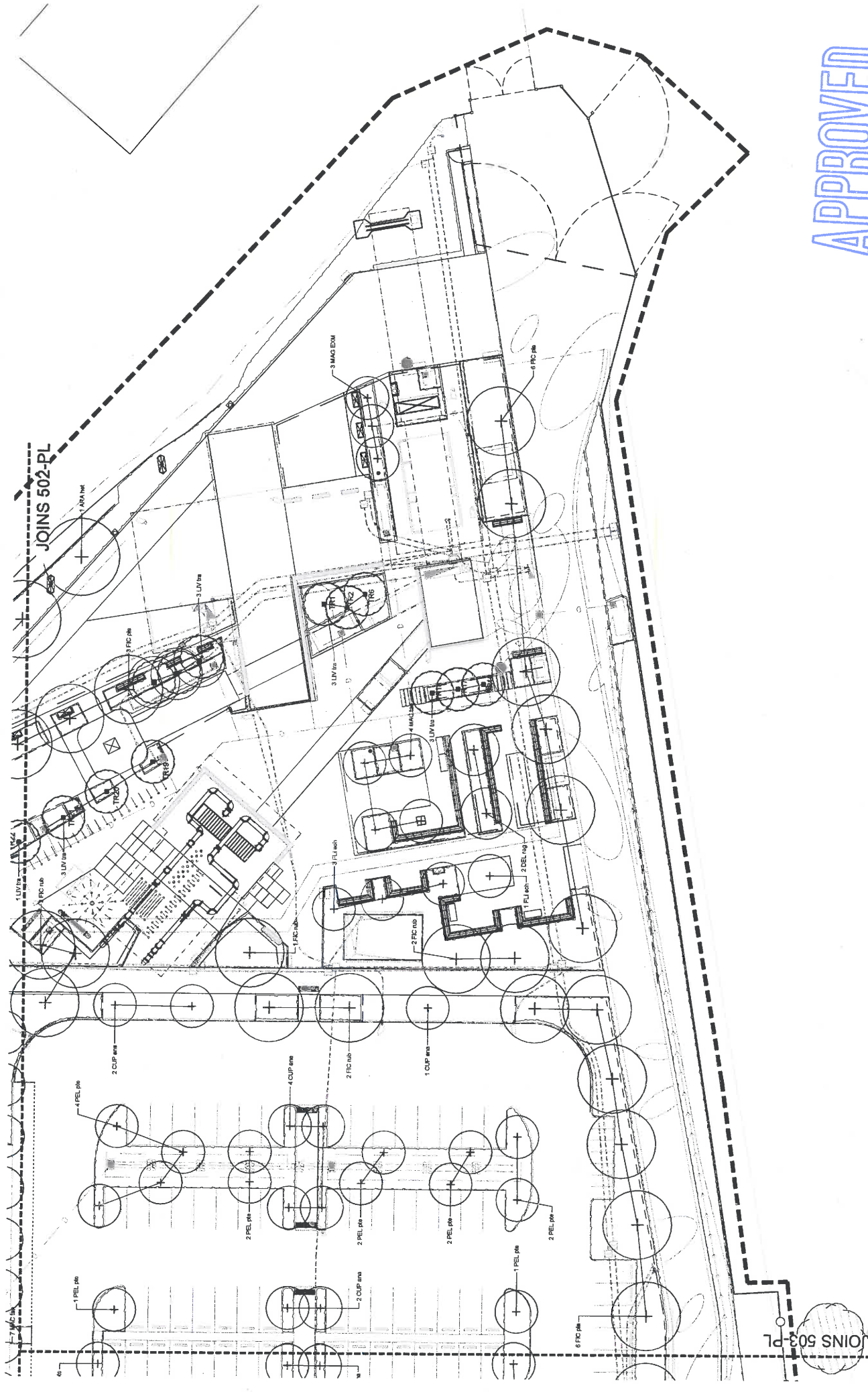
REVISION
C

REV. DESCRIPTION

REV.	NO.	DATE	BY	CHK.	DATE	DESCRIPTION
C	1	15.05.18	CP	JD	15.05.18	CLIENT REVIEW
B	1	31.04.18	BY	JD	31.04.18	70% DESIGN
A	1	22.05.18	BB	JD	22.05.18	40% DESIGN

DWN. CHK. DATE
PROJECT DIRECTOR: PH

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PROJECT NO. ND1590
 SCALE 1:200 @ A1
 DRAWING NO. 504-PL
 REVISION C

PROJECT ADDRESS
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 GLADSTONE QLD

DRAWING TITLE
 TREE PLANTING 04

PROJECT DIRECTOR: PH

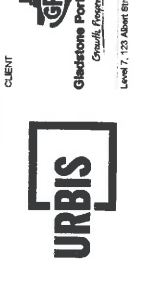
DATE: 14.05.18
 BY: JD 22.06.18
 DWN: CHK DATE

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 REV DESCRIPTION

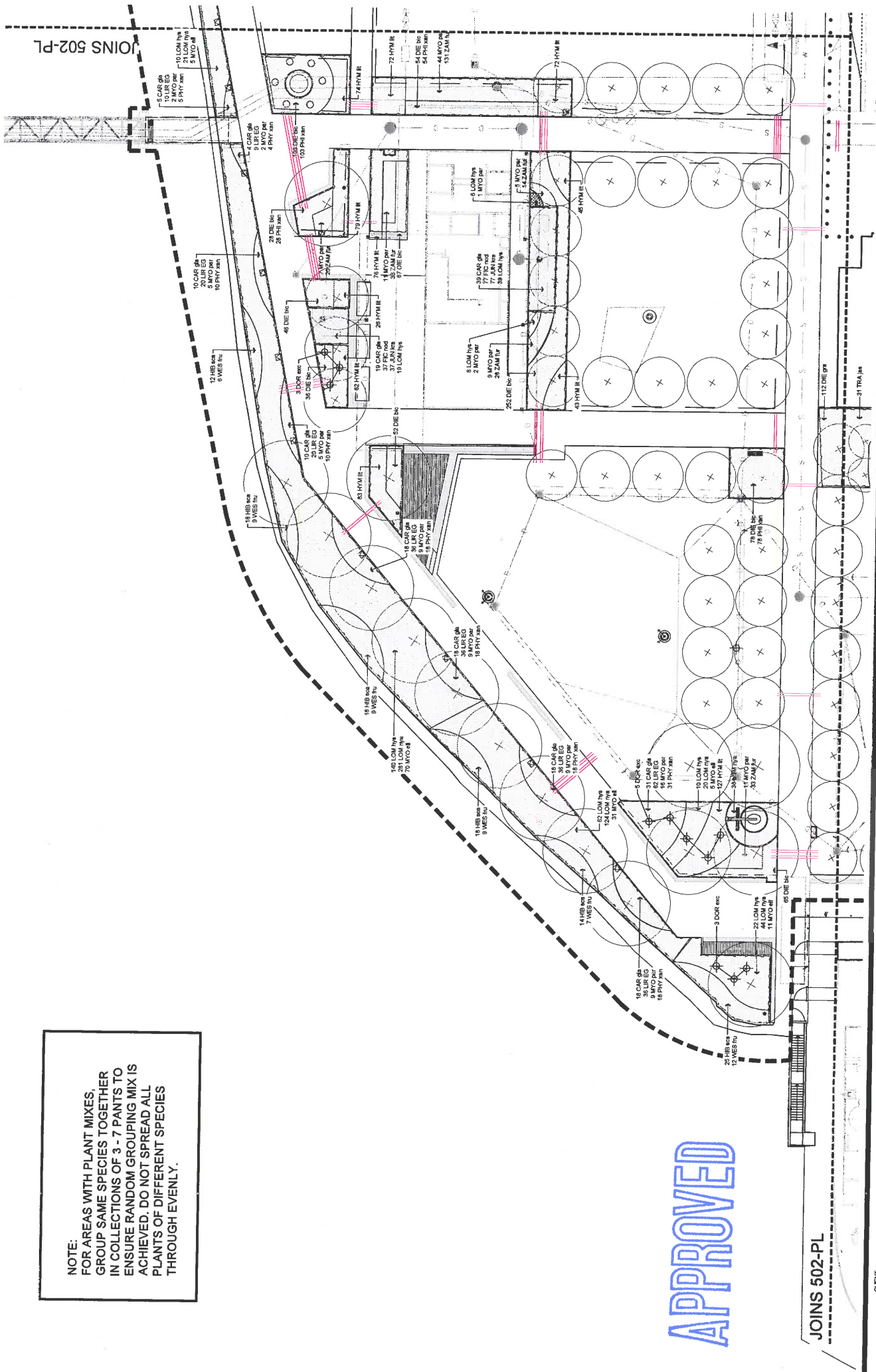


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NOTE:
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 GROUP SAME SPECIES TOGETHER
 IN COLLECTIONS OF 3 - 7 PLANTS TO
 ENSURE RANDOM GROUPING MIX IS
 ACHIEVED. DO NOT SPREAD ALL
 PLANTS OF DIFFERENT SPECIES
 THROUGH EVENLY.



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JOINS 502-PL

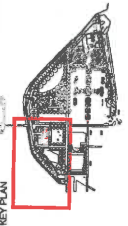
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**FLINDERS PARADE
 GLADSTONE QLD**

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SCALE
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 1:400 @ A3

DRAWING NO.
511-PL

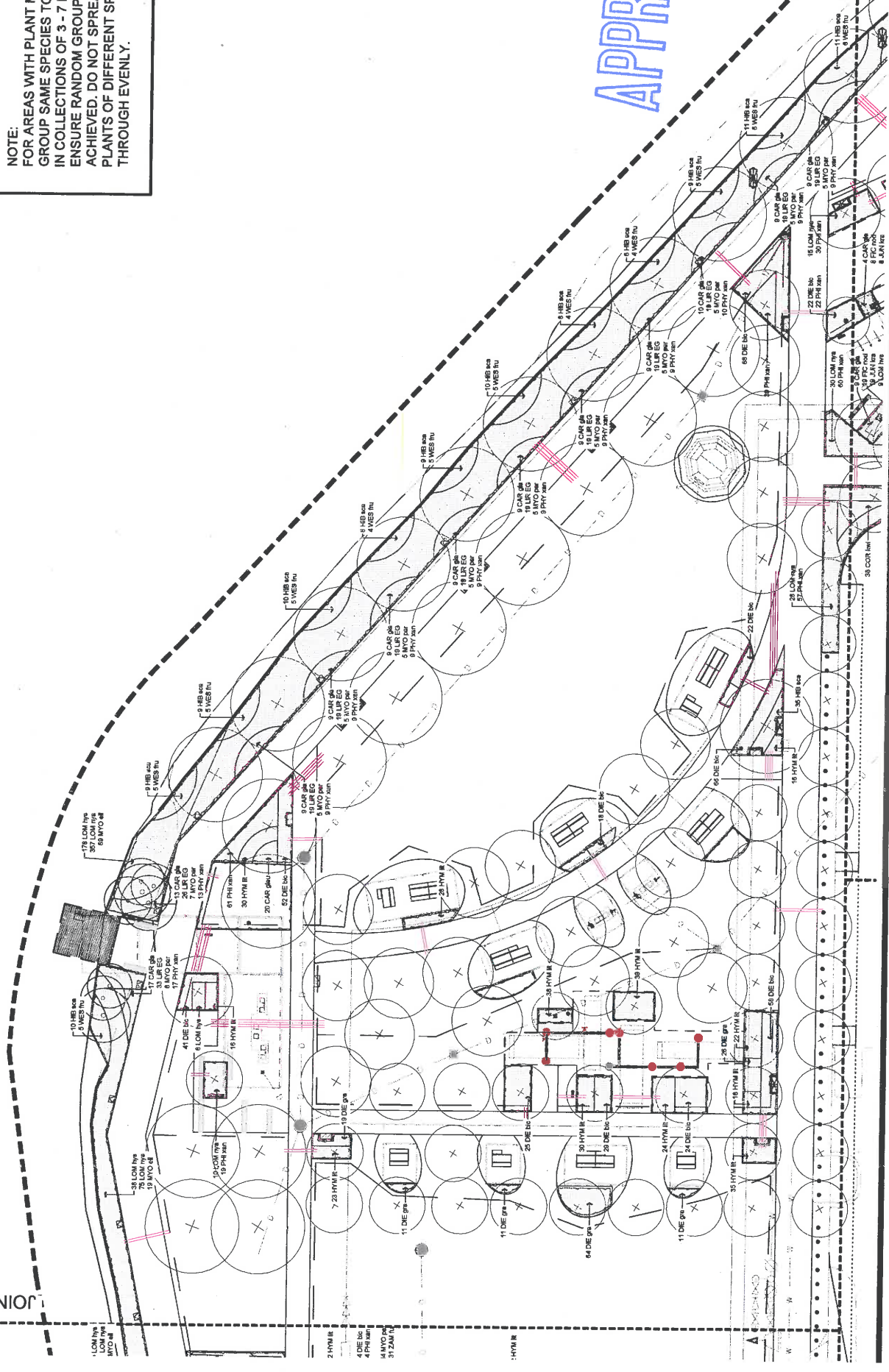
PROJECT NO.
 ND1500

REVISION
 NORTH

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 IN COLLECTIONS OF 3 - 7 PLANTS TO
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 THROUGH EVENLY.

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JOINS 504-PL



JOINS 501-PL

PROJECT NO.
 ND1550
 NORTH
 SCALE
 1:200 @ A1
 1:400 @ A3
 DRAWING NO.
 512-PL
 REVISION
 B

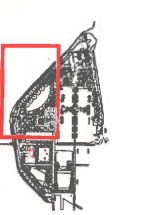
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DATE
 12.10.19
 DRAWN BY
 89 31.06.19

CLIENT REVIEW
 A 70% DESIGN
 B 100% DESIGN

PROJECT DIRECTOR: PH

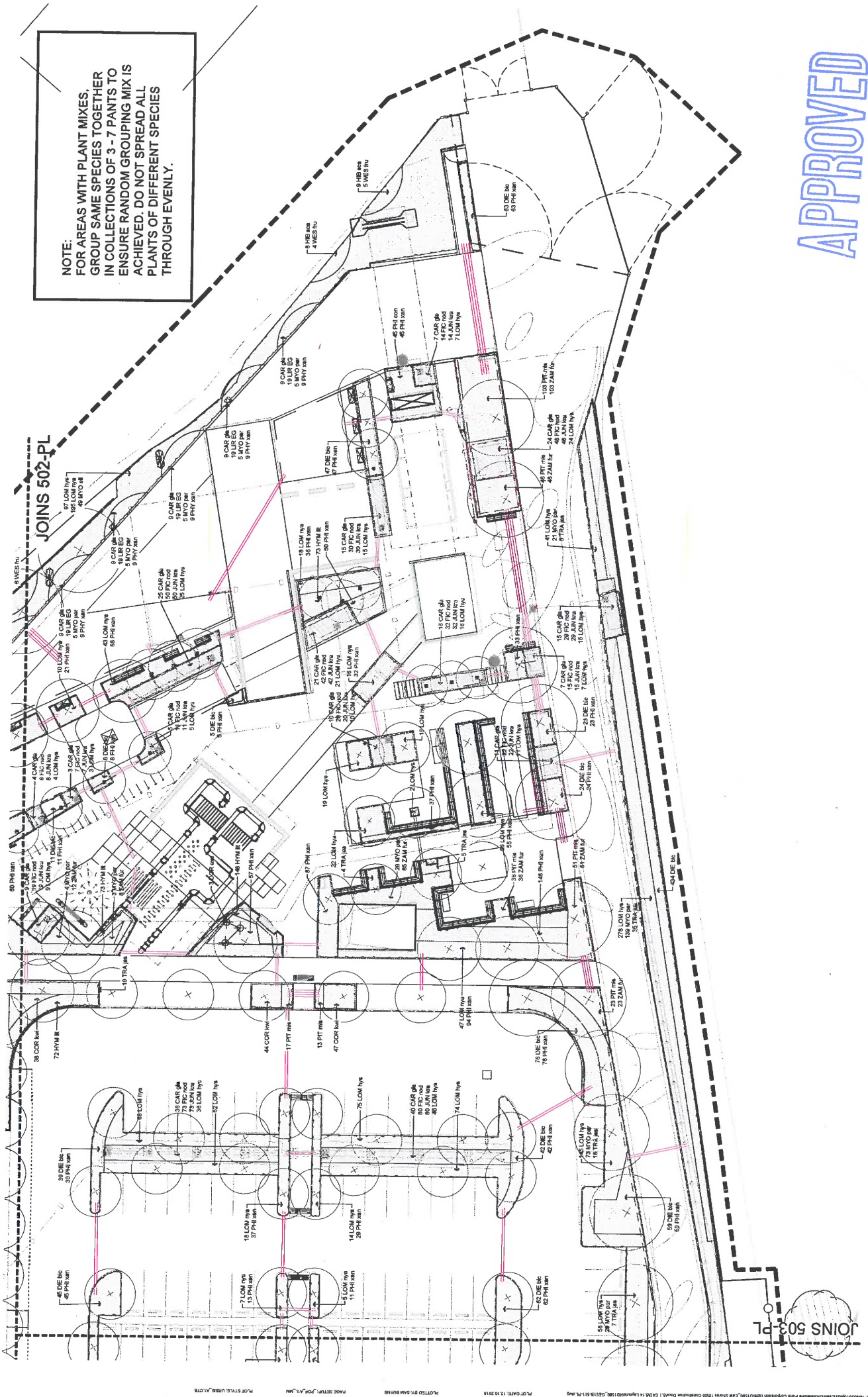


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 CONSULTING ENGINEERING
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GROUP SAME SPECIES TOGETHER
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ENSURE RANDOM GROUPING MIX IS
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PLANTS OF DIFFERENT SPECIES
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CLIENT

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NO	DATE	DESCRIPTION
A	21/08/18	CLIENT REVIEW
B	21/08/18	70% DESIGN

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GLADSTONE QLD

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SCALE 1:200 @ A1

PROJECT NO. ND1500

ISSUE NORTH

SCALE 1:200 @ A1

PROJECT NO. ND1500

DRAWING NO. 514-PL

PLANTING PLAN 04

PROJECT DIRECTOR/PI

PLANTING SCHEDULES

TREES

Key	Botanic Name	Common Name	Calliper (@300mm height)	Supply height and spread	Pot	Spacing	Qty.
ARA hst	Araucaria heterophylla	Norfolk Island Pine	105mm	4.5/ 2.0m	400L	AS SHOWN	37
CUP ana	Cupanopsis anacardioides	Tuckeroo	150mm	5.0/ 4.0m	100 Litre	AS SHOWN	28
CUP tran	Cupanopsis anacardioides	transplant			Transplant	AS SHOWN	4
DEL reg	Delonix regia	Poinciana	105mm	3.0/ 2.5m	200L	AS SHOWN	4
FIC mac	Ficus macrophylla	Moreton Bay Fig	150mm	5.0/ 4.0m	1000L	AS SHOWN	9
FIC rta	Ficus rubiginosa	Rock Fig	105mm	4.5/ 3.0m	400L	AS SHOWN	32
FIC rub	Ficus rubiginosa	Port Jackson Fig	150mm	5.0/ 4.0m	1000L	AS SHOWN	11
FIL sch	Findleria scottiana	Bumpy Ash	90mm	5.0/ 1.5m	100 Litre	AS SHOWN	21
GME lei	Gmelina leichardtii	Yellow Poinciana	45mm	3.5/ 1.5m	100 Litre	AS SHOWN	1
GRE bai	Grevillea baileyana	White Oak	60mm	4.0/ 1.5m	100 Litre	AS SHOWN	8
HIB til	Hibiscus thibautii	Coast Cottonwood Tree	70mm	2.5/ 2.0m	100 Litre	AS SHOWN	3
LIV dec	Livistonia decipiens	Weeping Cabbage Palm	140mm	6.5/ 1.5m	1000L	AS SHOWN	6
LIV tra	Livistonia sp. transplant	Macaranga			Transplant	AS SHOWN	13
MAC lan	Macaranga tanarius	Bull Bay Magnolia	10mm	150/ 100mm	45L	AS SHOWN	51
MAG EXM	Magnolia grandiflora 'Esmouth'	Screw Pine	45mm	2.5/ 2.0m	200 Litre	AS SHOWN	11
PAN ped	Pandanus pedunculatus	Screw Pine	45mm	3.5m	Ex-Ground	AS SHOWN	1
PELL ple	Pellipterophyllum pterocarpum	Yellow Poinciana	60mm	4.0/ 2.0m	45 Litre	AS SHOWN	20

Shrubs

Key	Botanic Name	Common Name	Indicative height and spread	Spacing	Pot	Qty.
COR kw	Cordyline kwi	Cordyline Kwi	400mm x 500mm	500mm	50mm tube	20
DOR exc	Doryanthes excelsa	Gynea Lily	400mm x 400mm	500mm	140mm	129
PHI xan	Philodendron Xanadu	Xanadu	400mm x 400mm	AS SHOWN	200mm	15
PIT mis	Pithecolobium 'Miss Muffet'	Xanadu	300mm x 300mm	500mm	140mm	510

Groundcover

Key	Botanic Name	Common Name	Indicative height and spread	Spacing	Pot	Qty.
CAR gla	Carporobrot glaucescens	Pigface	100mm x 200mm	500mm	50mm tube	20
DIE bic	Dietes bicolor	False Iris	200mm x 200mm	500mm	140mm	1480
DIE gra	Dietes grandiflora	Wild Iris	200mm x 200mm	500mm	140mm	377
HIB sca	Hibbertia scandens	Snake Vine	100mm x 200mm	500mm	140mm	35
LYM lit	Lymnecallis litoralis	Beach Spider Lily	200mm x 200mm	500mm	140mm	1766
LOM hys	Lomandra hystrix	Mat Rush	200mm x 200mm	700mm	140mm	348
LOM nya	Lomandra nyalla	Nyalla Mat Rush	200mm x 200mm	700mm	50mm tube	36
TRA jas	Trachelospermum jasminoides	Star Jasmine	100mm x 200mm	1.0m	50mm tube	85

Planting Mix 2

Key	Botanic Name	Common Name	Pot	Qty.
PIT mis	Pithecolobium 'Miss Muffet'	Miss Muffet	140mm	259
ZAM fur	Zamia furturacea	Cardboard Palm	140mm	259

Planting Mix 3

Key	Botanic Name	Common Name	Pot	Qty.
CAR gla	Carporobrot glaucescens	Pigface	140mm	306
FIC nod	Findleria nodosa	Knobby Club Rush	140mm	614
JUN kra	Juncus kraussii	Star Marsh Rush	140mm	614
LOM hys	Lomandra hystrix	Green Mat-Rush	140mm	306

Planting Mix 4

Key	Botanic Name	Common Name	Pot	Qty.
LOM hys	Lomandra hystrix	Mat Rush	140mm	685
MYO par	Myoporum parvifolium	Creeeping Boobialla	140mm	343
TRA jas	Trachelospermum jasminoides	Star Jasmine	140mm	86

Planting Mix 5

Key	Botanic Name	Common Name	Pot	Qty.
HIB sca	Hibbertia scandens	Snake Vine	140mm	234
WES fru	Westringia fruticosa	Native Rosemary	140mm	120

Planting Mix 6

Key	Botanic Name	Common Name	Pot	Qty.
LOM hys	Lomandra hystrix	Mat Rush	140mm	557
LOM nya	Lomandra nyalla	Nyalla Mat Rush	140mm	177
MYO ell	Myoporum ellipticum	Coastal Boobialla	50mm tube	279

Planting Mix 7

Key	Botanic Name	Common Name	Pot	Qty.
CAR gla	Carporobrot glaucescens	Pigface	140mm	288
LIR EG	Liriope 'Evergreen Giant'	Liriope	140mm	608
MYO par	Myoporum parvifolium	Boobialla	50mm tube	156
PHY xan	Philodendron Xanadu	Xanadu	140mm	288

Planting Mix 8

Key	Botanic Name	Common Name	Pot	Qty.
DIE bic	Dietes bicolor	False Iris	140mm	876
PHI xan	Philodendron Xanadu	Xanadu	140mm	876

Planting Mix 9

Key	Botanic Name	Common Name	Pot	Qty.
LOM nya	Lomandra nyalla	Nyalla Mat Rush	140mm	347
PHI xan	Philodendron Xanadu	Xanadu	140mm	684

Planting Mix 10

Key	Botanic Name	Common Name	Pot	Qty.
PHI con	Philodendron congo	Philodendron Congo	140mm	45
PHI xan	Philodendron Xanadu	Xanadu	140mm	45

Planting Mix 11

Key	Botanic Name	Common Name	Pot	Qty.
MYO par	Myoporum parvifolium	Boobialla	50mm tube	122
ZAM fur	Zamia furturacea	Cardboard Palm	140mm	364

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FLINDERS PARADE
GLADSTONE QLD

ISSUE
FOR TENDER
SCALE
AS SHOWN

DRAWING TITLE
PLANT SCHEDULES 550-PL

DRAWING NO.
550-PL

PROJECT DIRECTOR PH

DATE
13.10.18

BY
31.08.18

REV. DESCRIPTION
A 70% DESIGN

CLIENT REVIEW
B

CP
10.10.18

SY
31.08.18

DWN CHK DATE

PROJECT NO.
ND1560

REVISION
NCRTH

KEY PLAN

ALLOWED AREAS DESIGNATED TO BE USED FOR THE PROJECT ARE SHOWN IN RED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRINT IN COLOR TO AVOID ANY LOSS OF WHITE AREAS.

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GENERAL LEGEND

	EXTENT OF WORKS EAST SHORES 18
	DRAWING ADDITIONS LINE
	SWALE
	Subsoil Drain Refer to Schedule of Landscape Works
	Irrigation Circuit Refer to Irrigation Drawings
	TREE Root Barrier Refer to Schedule of Landscape Works
	KERB REFER TO CIVIL ENGINEER'S DRAWINGS
	KERB REFER TO CIVIL ENGINEER'S DRAWINGS
	FIRE HYDRANT REFER TO HYDRAULIC & CIVIL ENGINEER'S DRAWINGS
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	COMMUNICATIONS SERVICE REFER TO ELECTRICAL ENGINEER'S DRAWINGS
	SURFACE DRAINAGE PIT REFER TO CIVIL ENGINEER'S DRAWINGS
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	ELECTRICAL CONDUITS AND PITS REFER TO ELECTRICAL DRAWINGS
	LIGHT POLES REFER TO ELECTRICAL DRAWINGS

	ELECTRICAL DISTRIBUTION BOARD 800 X 200 X 1200mm ELECTRICAL ENGINEER'S DRAWINGS
	ELECTRICAL DISTRIBUTION BOARD 2400 X 600 X 200mm ELECTRICAL ENGINEER'S DRAWINGS
	ELECTRICAL TRANSFORMER 2500 X 2500 X 1000mm 3000mm clear offset REFER TO ELECTRICAL ENGINEER'S DRAWINGS
	TREE REFER TO PLANTING DRAWINGS
	YOUNG PLANTED TREE REFER TO PLANTING DRAWINGS
	BOLLARD REFER TO LANDSCAPE FURNITURE PLANS
	EARTH RETAINING
	BALUSTRADE REFER TO LANDSCAPE FURNITURE PLANS
	STAIRS
	MARITIME ART REFER TO LANDSCAPE FURNITURE PLANS
	MARITIME ART REFER TO LANDSCAPE FURNITURE PLANS
	MARITIME ART REFER TO LANDSCAPE FURNITURE PLANS
	IRRIGATION PIPES REFER TO IRRIGATION CONSULTANTS PLANS
	E1 - EDGE TYPE 1 REFER TO LANDSCAPE SCHEDULE OF WORKS
	E2 - EDGE TYPE 2 REFER TO LANDSCAPE SCHEDULE OF WORKS
	F1 - FENCE TYPE 1 REFER TO LANDSCAPE SCHEDULE OF WORKS
	F2 - FENCE TYPE 2 REFER TO LANDSCAPE SCHEDULE OF WORKS
	SW1 - SWALE TYPE 1 REFER TO LANDSCAPE SCHEDULE OF WORKS

GENERAL NOTE:

- THE PLAN MUST BE READ IN CONJUNCTION WITH THE SPECIFICATION WHICH ALSO CONTAINS THE PLANT SCHEDULE AND ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ASSOCIATED DRAWINGS BY OTHER CONSULTANTS SUCH AS ELECTRICAL ENGINEERS.
- DO NOT DAMAGE ANY ROOTS OF RETAINED TREES/PALMS. REFER TO THE TREE PROTECTION PLAN AND TREE ASSEMBLY PLAN FOR TREE PROTECTION AND TREE TO BE REMOVED, RETAINED OR TRANSPLANTED.
- REMOVAL OR DISTURBANCE OF VEGETATION AND TOP SOIL MUST BE DONE IN ACCORDANCE WITH THE TREE PROTECTION BUILDING AREA EXCEPT WHERE TREES ARE APPROVED FOR REMOVAL. LEVELS ARE TO BE ALTERED AND NEW LANDSCAPE FINISHES INSTALLED.

SURFACE FINISH HOLD POINTS:

- THE FINISH MUST BE READ IN CONJUNCTION WITH THE LANDSCAPE FINISH SCHEDULE.
- FINAL SET OUT OF ALL LANDSCAPE WORKS TO BE APPROVED BY THE ARCHITECT PRIOR TO POURING OF FINAL CONSTRUCTION.
- ALL REINFORCING TO BE INSPECTED AND APPROVED BY THE ARCHITECT PRIOR TO POURING OF FINAL CONSTRUCTION.
- STORMWATER ENERGY DISSIPATORS AND BALUSTRADES TO BE CONFIRMED WITH THE LANDSCAPE GRADING PLANS.
- ALL LIGHTING POINTS AND BOLLARD LOCATIONS ARE TO BE CONFIRMED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- TREE LOCATIONS ON WATER SIDE PORUM SLABS ARE TO BE CONFIRMED BY THE ARCHITECT PRIOR TO INSTALLATION OF FINAL EARTHWORKS.
- TREES IN THESE AREAS ARE TO BE INSTALLED PRIOR TO CONSTRUCTION OF FINAL LANDSCAPE FINISHES.
- ALL UNDERGROUND SERVICE CONNECTIONS ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION OF FINAL LANDSCAPE FINISHES.
- CONCRETE TO BE SCHEDULED TO EXCLUDE ANY MARKINGS OR DAMAGE TO COMPLETED SURFACES.

FURNITURE LEGEND

	F3 - FURNITURE TYPE 3 REFER SCHEDULE OF LANDSCAPE WORKS
	F4 - FURNITURE TYPE 4 REFER SCHEDULE OF LANDSCAPE WORKS
	F5 - FURNITURE TYPE 5 REFER SCHEDULE OF LANDSCAPE WORKS
	F6 - FURNITURE TYPE 6 REFER SCHEDULE OF LANDSCAPE WORKS
	F7 - FURNITURE TYPE 7 REFER SCHEDULE OF LANDSCAPE WORKS
	F10 - FURNITURE TYPE 10 REFER SCHEDULE OF LANDSCAPE WORKS
	F12 - FURNITURE TYPE 12 REFER SCHEDULE OF LANDSCAPE WORKS
	F13 - FURNITURE TYPE 13 REFER SCHEDULE OF LANDSCAPE WORKS
	F14 - FURNITURE TYPE 14 REFER SCHEDULE OF LANDSCAPE WORKS
	F16 - FURNITURE TYPE 16 REFER SCHEDULE OF LANDSCAPE WORKS
	F17 - FURNITURE TYPE 17 REFER SCHEDULE OF LANDSCAPE WORKS
	F18 - FURNITURE TYPE 18 REFER SCHEDULE OF LANDSCAPE WORKS
	F19 - FURNITURE TYPE 19 REFER SCHEDULE OF LANDSCAPE WORKS
	F20 - FURNITURE TYPE 20 REFER SCHEDULE OF LANDSCAPE WORKS
	F21 - FURNITURE TYPE 21 REFER SCHEDULE OF LANDSCAPE WORKS
	F22 - FURNITURE TYPE 22 REFER SCHEDULE OF LANDSCAPE WORKS
	F23 - FURNITURE TYPE 23 REFER SCHEDULE OF LANDSCAPE WORKS
	F24 - FURNITURE TYPE 24 REFER SCHEDULE OF LANDSCAPE WORKS
	F25 - FURNITURE TYPE 25 REFER SCHEDULE OF LANDSCAPE WORKS
	F26 - FURNITURE TYPE 26 REFER SCHEDULE OF LANDSCAPE WORKS
	F27 - FURNITURE TYPE 27 REFER SCHEDULE OF LANDSCAPE WORKS
	F28 - FURNITURE TYPE 28 REFER SCHEDULE OF LANDSCAPE WORKS
	F29 - FURNITURE TYPE 29 REFER SCHEDULE OF LANDSCAPE WORKS

	W1 - WALL TYPE 1 REFER SCHEDULE OF LANDSCAPE WORKS
	W1 - WALL TYPE 1 REFER SCHEDULE OF LANDSCAPE WORKS
	W2 - WALL TYPE 2 REFER SCHEDULE OF LANDSCAPE WORKS
	FENCE
	FENCE TYPE 1 REFER SCHEDULE OF LANDSCAPE WORKS
	FENCE TYPE 2 REFER SCHEDULE OF LANDSCAPE WORKS
	MARITIME ART
	M1 REFER SCHEDULE OF LANDSCAPE WORKS
	M2 REFER SCHEDULE OF LANDSCAPE WORKS
	M4 REFER SCHEDULE OF LANDSCAPE WORKS
	M5 REFER SCHEDULE OF LANDSCAPE WORKS
	M6 REFER SCHEDULE OF LANDSCAPE WORKS
	M7 REFER SCHEDULE OF LANDSCAPE WORKS
	M8 REFER SCHEDULE OF LANDSCAPE WORKS
	M9 REFER SCHEDULE OF LANDSCAPE WORKS
	M10 REFER SCHEDULE OF LANDSCAPE WORKS
	M11 REFER SCHEDULE OF LANDSCAPE WORKS
	M12 REFER SCHEDULE OF LANDSCAPE WORKS
	M13 REFER SCHEDULE OF LANDSCAPE WORKS
	M14 REFER SCHEDULE OF LANDSCAPE WORKS
	M15 REFER SCHEDULE OF LANDSCAPE WORKS

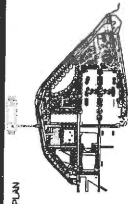
NOTE:
 LANDSCAPE FINISH SCHEDULE (SCHEDULE OF LANDSCAPE FINISHES) REFER TO OTHERS (DRAINAGE CONSULTANT STATE PROVIDED ON THE FURNITURE PLANS)

FURNITURE - HOLD POINTS:

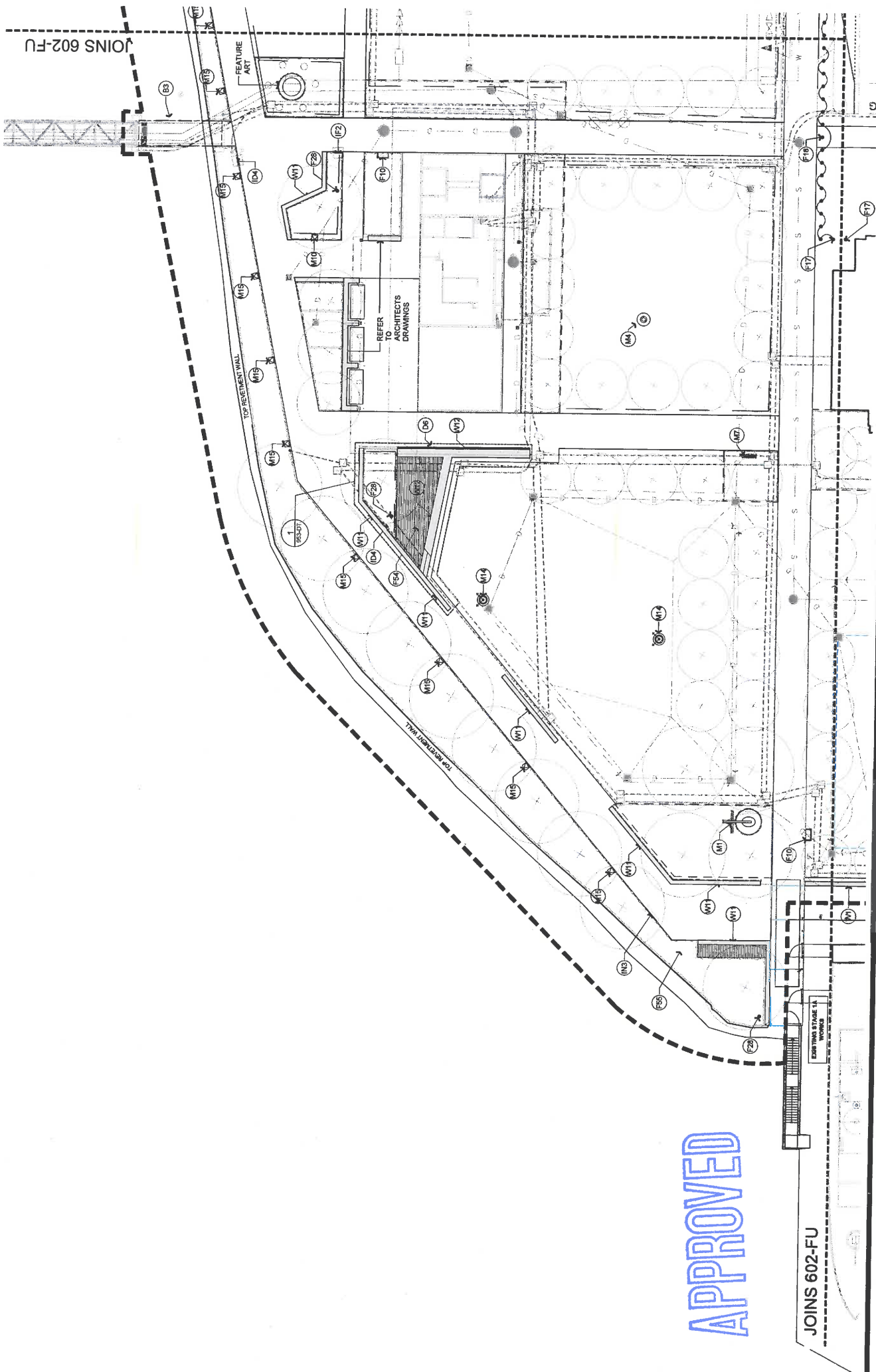
NOTIFY THE LANDSCAPE ARCHITECT OR SUPERVISANT MORE THAN 24 HOURS PRIOR TO THE FOLLOWING HOLD POINTS TO ARRANGE FOR INSPECTION.

1	VALUES APPROVED PRIOR TO INSTALLATION	CHKO	DATE/TIME
2	SETOUT		

APPROVED



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JOINS 602-FU

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 FLINDERS PARADE
 GLADSTONE QLD

ISSUE
 FOR TENDER

PROJECT NO.
 ND1500

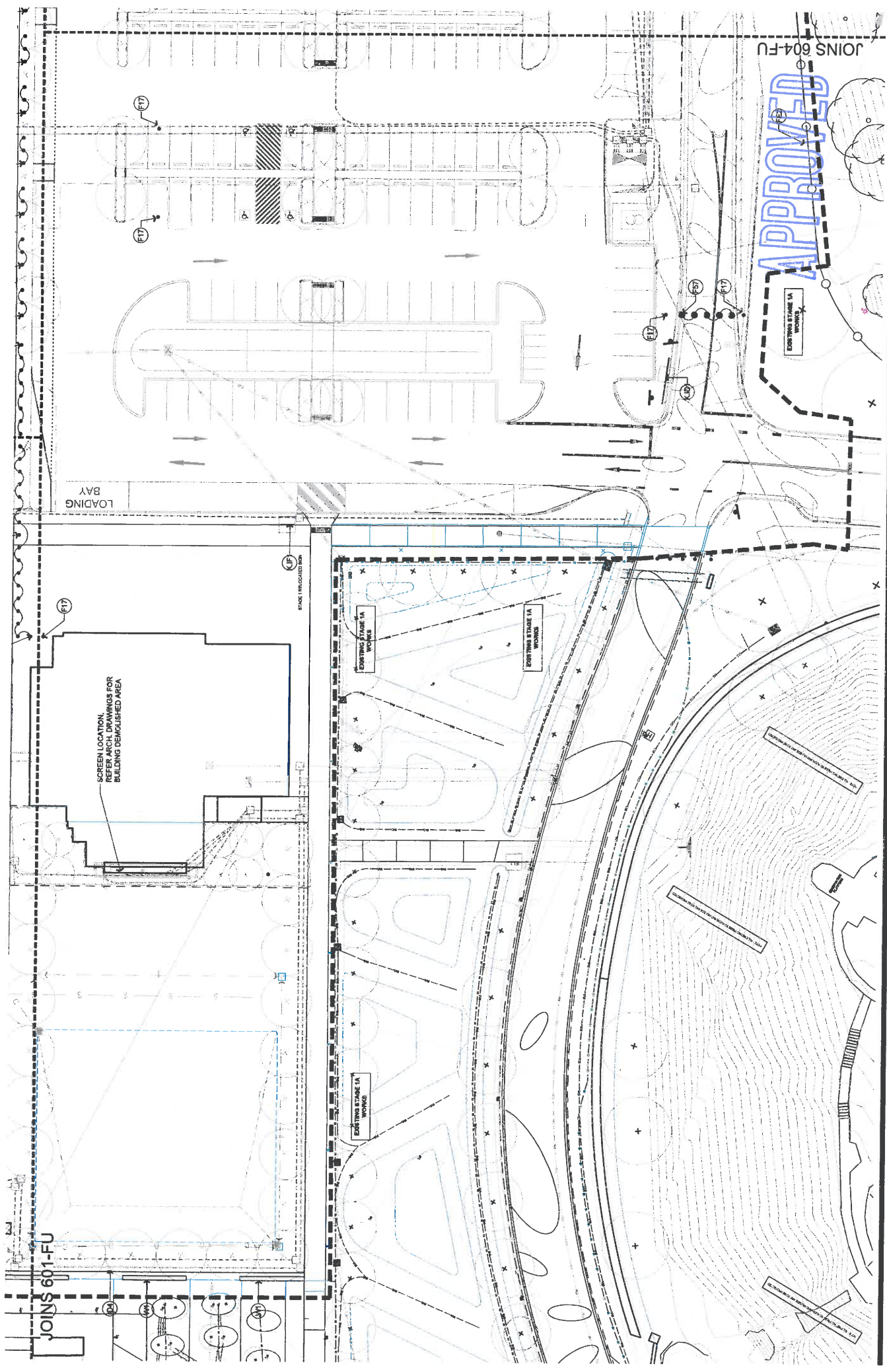
SCALE
 1:200 @ A1
 1:400 @ A3

DRAWING NO.
 601-FU

REVISION
 B

CLIENT
 70% DESIGN
 REV DESCRIPTION

DRAWN CHK DATE
 PROJECT DIRECTOR PH



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CLIENT

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PROJECT ADDRESS: FLINDERS PARADE, GLADSTONE QLD

PROJECT NO: ND1580

ISSUE FOR TENDER: NORTH

SCALE: 1:200 @ A1, 1:400 @ A3

DATE: 12/10/18

BY: RSB, 31/06/18

CHK: DATE

REV: DESCRIPTION

CP: 12/10/18

BY: RSB, 31/06/18

CHK: DATE

REV: DESCRIPTION

PROJECT DIRECTOR: PH

DRAWING TITLE: FURNITURE PLAN 03 603-FU

REVISION: B

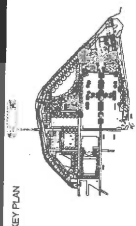


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REV	DESCRIPTION	DATE	BY	CHK
C	CLIENT REQUEST	12.10.18	JD	JD
B	70% DESIGN	20.08.18	SS	JD
A	40% DESIGN	20.08.18	SS	JD

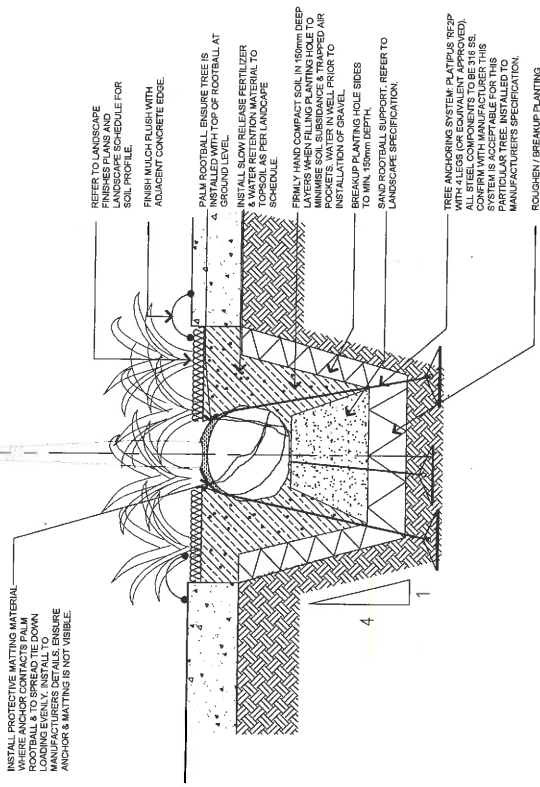
PROJECT NO. ND1560
 NORTH
 REVISION C

PROJECT ADDRESS
**FLINDERS PARADE
 GLADSTONE QLD**

ISSUE FOR TENDER
 SCALE AS SHOWN
 DRAWING NO. 901-DT
 PROJECT DIRECTOR: PH

APPROVED

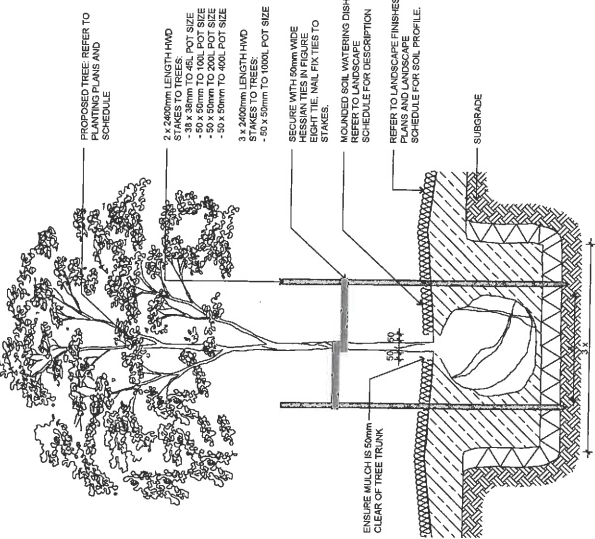
2 PALM PLANTING IN PAVEMENT - TYPICAL SECTION
 1:100
 9/13/17



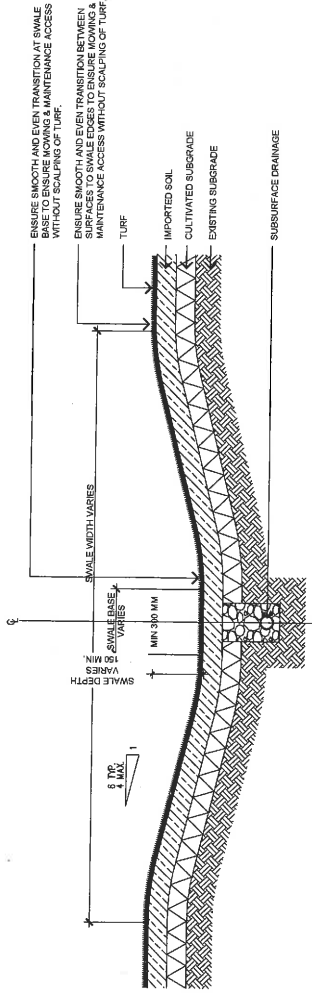
GENERAL NOTES:

- REFER TO PLANTING PLAN SCHEDULE FOR TREE SPECIES, LOCATION & CONTAINER SIZE.
- IF SHALLOW ROCK ENCOUNTERED DURING EXCAVATION THAT PREVENTS THE EXCAVATION TO THE REQUIRED DEPTH, SEEK SITE SUPERINTENDENT / REPRESENTATIVE DIRECTION.
- IF HEAVY CLAY / POORLY DRAINING SUBGRADE IS ENCOUNTERED, INCREASE PLANTING HOLE DEPTH AN ADDITIONAL 300mm. INITIAL 150mm DEEP 10-200 DRAINAGE GRAVEL LAYER. INITIAL 150mm DEEP GRADE. WHERE LOSS / SANDY SOILS ARE ENCOUNTERED, FLATTEN INCLINE AS REQUIRED.

1 INDIVIDUAL TREE PLANTINGS IN GROUND - TYPICAL STAKE AND GUYING DETAIL
 1:100
 9/13/17



NOTE:
 • SWALE TO BE KEPT FREE FROM CONSTRUCTION TRAFFIC & SEDIMENT LADEN RUNOFF DURING CONSTRUCTION. INSTALL SILT FENCING DURING CONSTRUCTION PHASES.



1 TURFED SWALE - TYPICAL SECTION
 DETAIL
 911-DT

APPROVED

PROJECT NO. ND1680
 NORTH
 ISSUE FOR TENDER
 SCALE AS SHOWN
 DRAWING NO. 911-DT
 REVISION C

PROJECT ADDRESS
 FLINDERS PARADE
 GLADSTONE QLD

DRAWING TITLE
 WSUD

PROJECT DIRECTOR PH

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ID	10.05.18	CP	CLIENT REVIEW
SS	31.08.18	SB	70% DESIGN
JD	20.05.18	SA	40% DESIGN

DWN CHK DATE

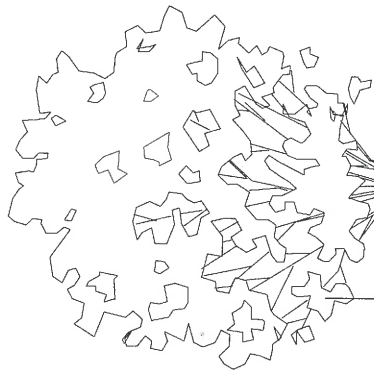
REV DESCRIPTION

CLIENT
 Gladstone Ports Corporation
 Growth. Energy. Community.
 Level 7, 123 Albert Street Brisbane QLD 4000 Australia | 61 7 3007 3800 | URBIS Pty Ltd | ABN 50 102 252 228

KEY PLAN

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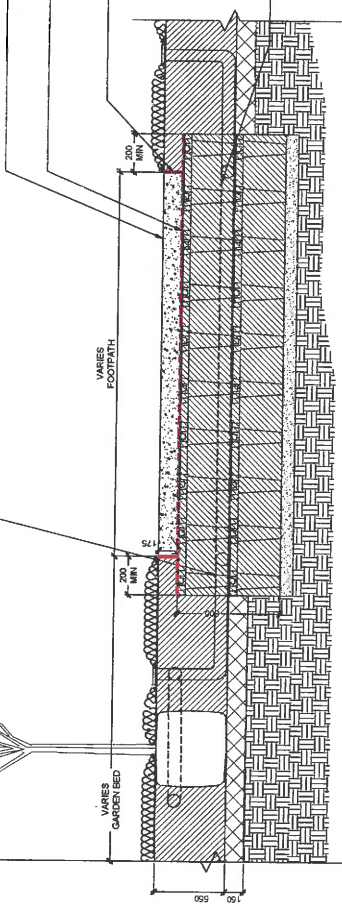
Shaded® Composition & Structural Soil Modules, 2100 x 2100 x 100 (RIB) CELL ARRANGEMENT 300mm INTO GARDEN BED, REFER TO SETOUT PLAN (S0-300)

CONCRETE TO ENGINEERS DETAIL, REFER TO FL PLANS FOR TYPE

5mm/50g HEAVY GRADE NON-WOVEN FILTER FABRIC WITH REINFORCING GRID

EDGE TYPE 2 - ROOT BARRIER INSTALLED WITH RISERS FACING THE TREE TO ALL PERIMETER OF GARDEN BEDS CONTAINING TREES. REFER FINISHED PLANS FOR LOCATIONS

ROOTBAY (URBAN) DUAL INLET DEEP WATERING AND AERATION SYSTEM TO BE LOCATED IN TOP LAYER OF STRATA VAULTS. CROSS CONNECTION LOCATED CENTRALLY. ENSURE AERATION LINE TO EXIT IN NEAREST GARDEN TO ALLOW AIRFLOW THROUGH SYSTEM.



1 P32 - STRATAGELLIS - TYPICAL SECTION
2024/7 DETAIL 1/20 PA

GENERAL NOTES:

- ADD 5% TO OUTER PLAN DIMENSIONS WHEN EXCAVATING PIT.
- ALWAYS CHECK PIT DIMENSIONS AT BASE OF SOIL. ENSURING SIDES ARE CLEAN AND SQUARE.
- ENSURE SUBSOIL DRAIN CONNECT TO STORM WATER SUMP AND FALL AWAY.
- ENSURE THE PIT BASE IS SCREEDED AND LEVELLED PROPERLY BEFORE PLACING CELLS OR MODULES. ALL CELLS OR MODULES TO BE INSTALLED ON A LEVEL SURFACE.
- ADEQUATE DRAINAGE FROM BASE OF TREEPIT TO BE PROVIDED IF DESIGN INCORPORATES WSUD PRINCIPLES OR IF SITE CONDITIONS REQUIRE.

SOIL NOTES:

INSTALLATION:

SOIL TO BE COMPRESSED BY HAND WITH FLAT TOPPED METAL BAR TO ENSURE EVEN AND ADEQUATE COMPACTION. LIGHT COMPACTION ONLY. ENSURE SOIL IS LIGHTLY WATERED BEFORE INSTALLATION. WATERING SHOULD BE STOPPED ONCE COMPACTION IS NOT SUITABLE. DUE TO STRATIFICATION OF FIBRES.

SOIL TYPE / COMPONENTS:

AS PER SOIL SPECIFICATION - BACKFILL SOIL FOR CITY GREEN SOIL CELL TREEPITS

*HYDROCELL WATER RETENTION PRODUCT TO BE INCORPORATED THROUGH SOIL PRIOR TO INSTALLATION. MIX AT RATE OF 15% OF TOTAL SOIL VOLUME

SOIL SUPPLIERS CONTACT INFORMATION AND SOIL TEST RESULTS TO BE PROVIDED TO ENGINEER AND LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO AWARD OF TENDER. SOIL TEST RESULTS TO BE SUPPLIED AGAIN BEFORE PURCHASE FOR INSTALLATION.

APPROVED

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Gladstone Ports Corporation
Growth, Energy, Community

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CLIENT

PROJECT ADDRESS
FLINDERS PARADE
GLADSTONE QLD

PROJECT NO.
ND1590

ISSUE FOR TENDER

SCALE
AS SHOWN

DRAWING NO.
922-DT

REVISION
A

DRAWING TITLE
HARDSCAPE

PROJECT DIRECTOR PH

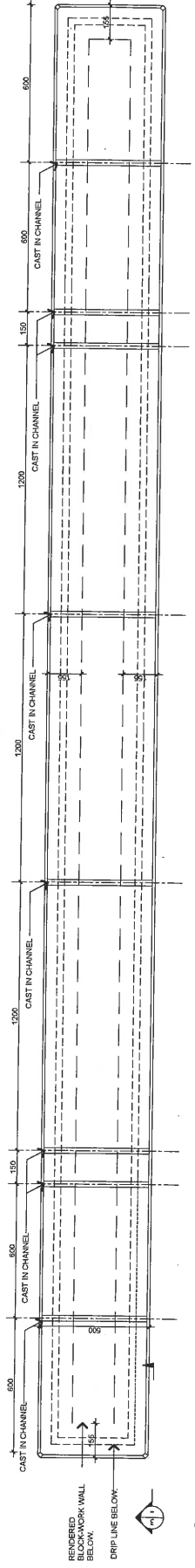
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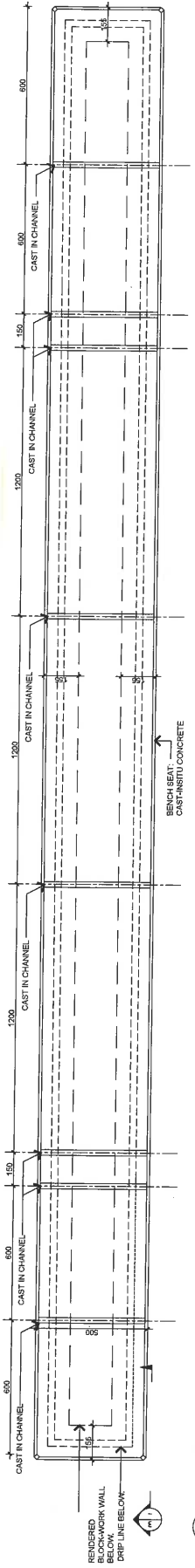
NO.	DATE	DESCRIPTION
1	12.15.18	CLIENT REVIEW
2		
3		
4		
5		
6		
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8		
9		
10		

CP JD 12.15.18
DWN CHK DATE

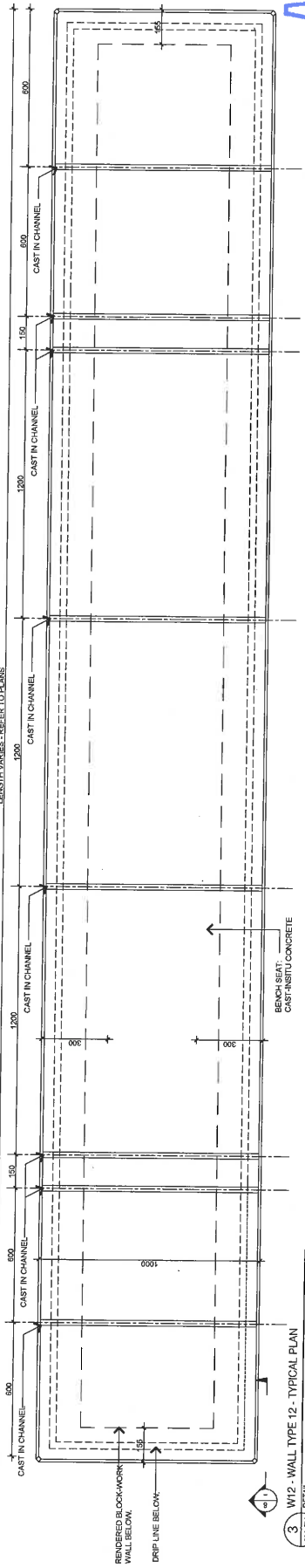
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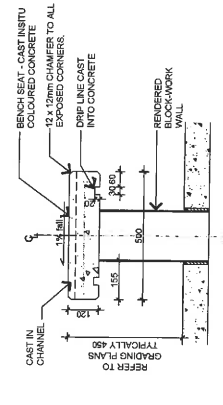
1 W1 - WALL TYPE 1 - TYPICAL PLAN
 03/10/21
 1:100



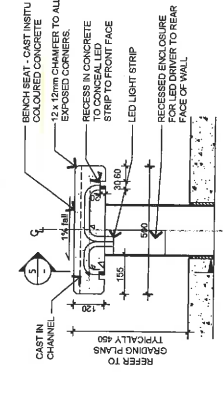
2 W11 - WALL TYPE 11 - TYPICAL PLAN
 03/10/21
 1:100



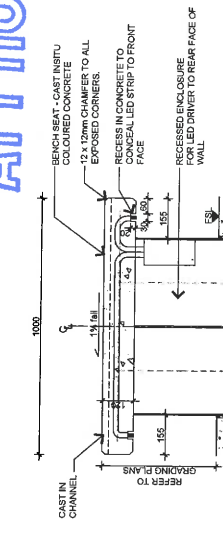
3 W12 - WALL TYPE 12 - TYPICAL PLAN
 03/10/21
 1:100



5 W1 - WALL TYPE 1 - SECTION
 03/10/21
 1:100



6 W11 - WALL TYPE 11 - SECTION
 03/10/21
 1:100



7 W12 - SECTION
 03/10/21
 1:100

PROJECT NO. ND1580
 NORTH
 SCALE AS SHOWN
 DRAWING NO. 931-DT
 PROJECT ADDRESS: FLINDERS PARADE, GLADSTONE QLD
 ISSUE FOR TENDER
 PROJECT DIRECTOR: PH
 DWG CHK DATE: 22.05.18
 DWG CHK: SB

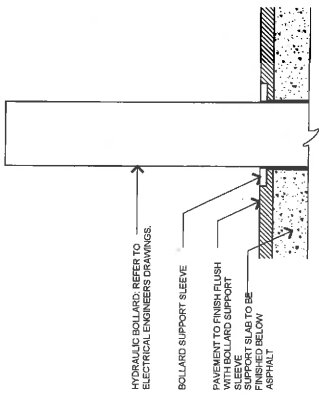
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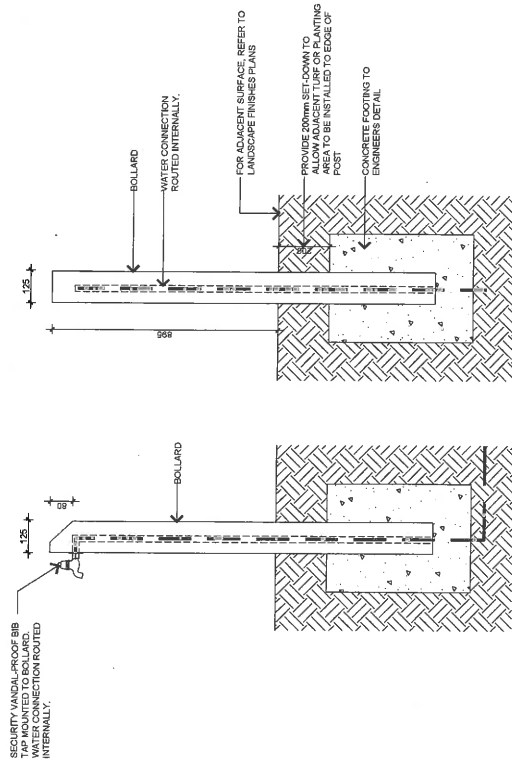


DISC. NAME	DATE	BY	CHK	APP	REV. DESCRIPTION
CP	10.10.18	SB	SB	PH	CLIENT REVIEW
D	20.05.18	SB	SB	PH	70% DESIGN
C	20.05.18	SB	SB	PH	40% DESIGN
A	22.05.18	SB	SB	PH	FOR INFORMATION

PROJECT NO. ND1580
 NORTH
 SCALE AS SHOWN
 DRAWING NO. 931-DT
 PROJECT ADDRESS: FLINDERS PARADE, GLADSTONE QLD
 ISSUE FOR TENDER
 PROJECT DIRECTOR: PH
 DWG CHK DATE: 22.05.18
 DWG CHK: SB



1 F57 - HYDRAULIC BOLLARD - SURFACE FINISH DETAIL
11/8/21



SIDE ELEVATION

FRONT ELEVATION: TO FACE GARDEN EDGE

2 F28 - BOLLARD AND TAP FITTING DETAIL
11/8/21

APPROVED

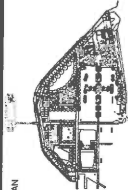
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GLADSTONE QLD

ISSUE FOR TENDER

SCALE AS SHOWN

PROJECT NO. ND1560

NORTH



REVISION

C

DRAWING NO. 951-DT

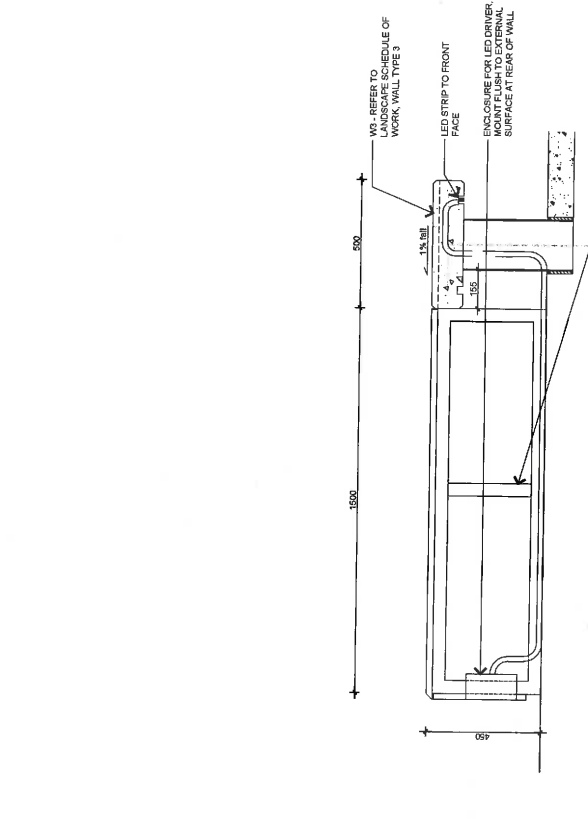
DRAWING TITLE FURNITURE

PROJECT DIRECTOR: PH

CP ID 13.10.18
SY SB 21.08.18
SB JD

CLIENT REVIEW
C 70% DESIGN
B 40% DESIGN
A

DOWN CHK DATE



1 F55 - DECK SEAT
600x500 / DETAIL
1:50 @ A1

2 DECK SEAT - SECTION
600x500 / DETAIL
1:10 @ A1

APPROVED

PROJECT NO. ND1580
ISSUE FOR TENDER
SCALE AS SHOWN
DRAWING NO. 952-DT
REVISION C

PROJECT ADDRESS
**FUNDERS PARADE
GLADSTONE QLD**

DRAWING TITLE
FURNITURE

PROJECT DIRECTOR/PH

DWG CHK DATE

REV	DESCRIPTION	CHK	DATE
C	CLIENT REVIEW		
B	70% DESIGN		
A	40% DESIGN		

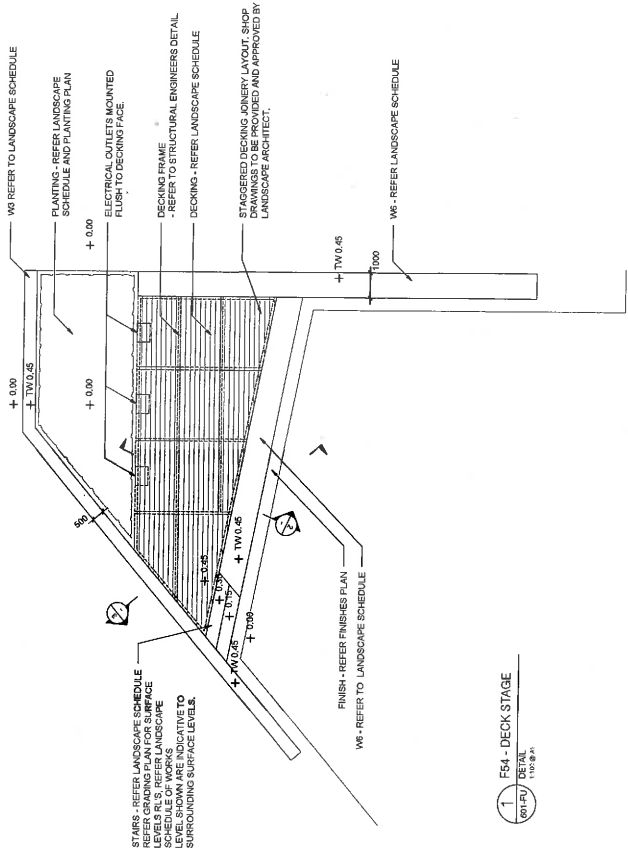
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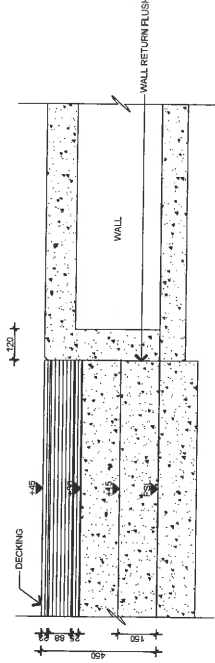
CLIENT
Gladstone Ports Corporation
Level 7, 123 Albert Street | Brisbane QLD 4000 Australia | +61 7 3007 3800 | urbis@urbis.com.au | www.urbis.com.au

KEY PLAN

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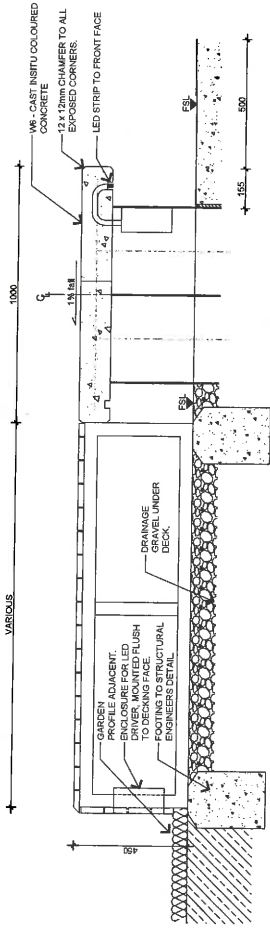


1 F54 - DECK STAGE
1:500 DETAIL
11.08.24

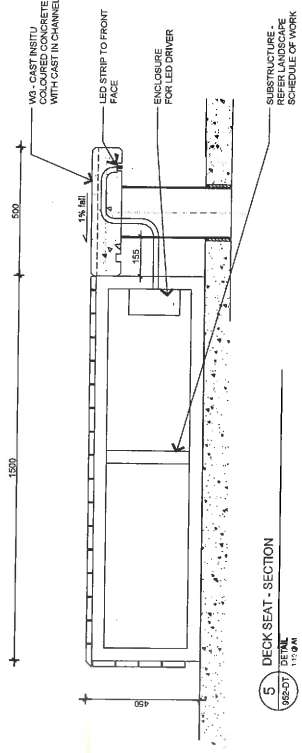


3 WALL TO STAIR INTERFACE - TYPICAL SECTION
1:50 DETAIL
11.08.24

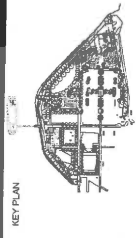
APPROVED



4 DECKING STAGE
1:50 DETAIL
11.08.24



5 DECK SEAT - SECTION
1:50 DETAIL
11.08.24



KEY PLAN

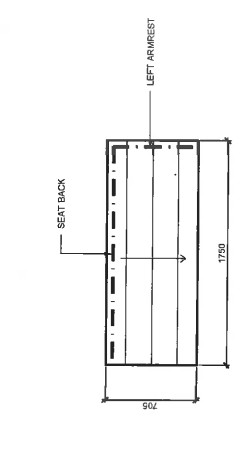
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CLIENT
Gladstone Ports Corporation
Gladstone City Community
Level 7, 123 Albert Street (Business QLD 4800 Australia) | 417 7 3007 3800 | URBIS Pty Ltd | ASN 59 105 258 228

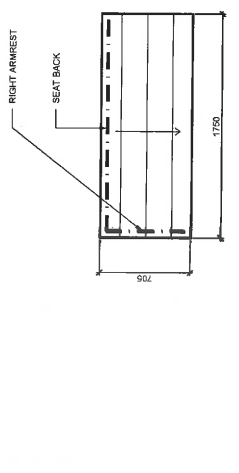


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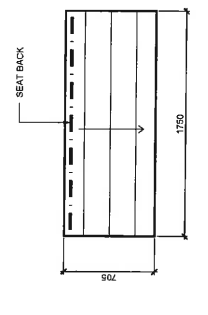
PROJECT NO.	ND1680
ISSUE	FOR TENDER
SCALE	AS SHOWN
PROJECT ADDRESS	FLINDERS PARADE GLADSTONE QLD
DRAWING NO.	953-DT
TITLE	FURNITURE
PROJECT DIRECTOR	PH



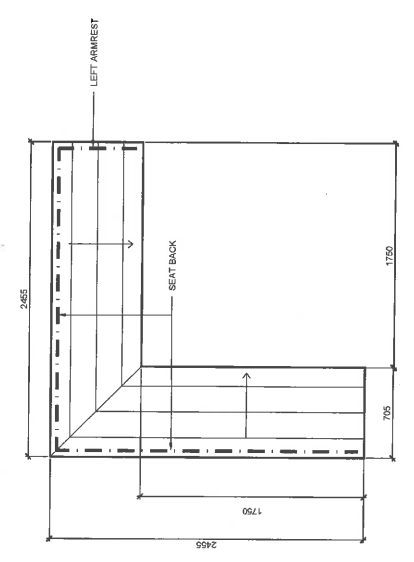
SIGNAL BENCH SEAT WITH SEAT BACK & LEFT ARMREST
(F21)



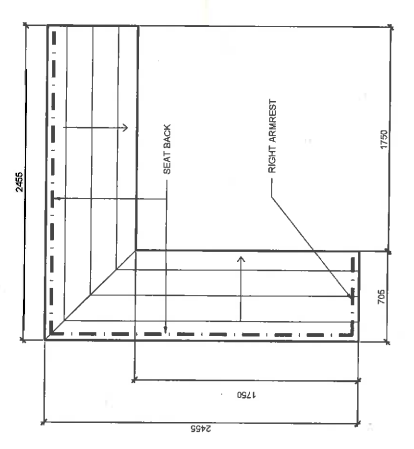
SIGNAL BENCH SEAT WITH SEAT BACK & RIGHT ARMREST
(F22)



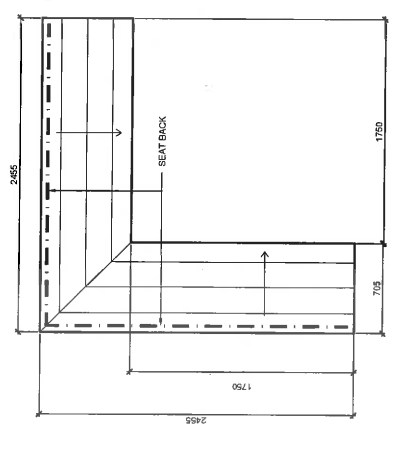
SIGNAL BENCH SEAT WITH SEAT BACK
(F23)



CORNER BENCH SEAT WITH SEAT BACK & LEFT ARMREST
(F24)



CORNER BENCH SEAT WITH SEAT BACK & RIGHT ARMREST
(F25)



CORNER BENCH SEAT WITH SEAT BACK
(F26)

1 P32 - STRATACELLS - TYPICAL SECTION
REVISED 15/09/18

APPROVED

PROJECT NO. ND1580
ISSUE FOR TENDER
SCALE AS SHOWN
PROJECT ADDRESS: FLINDERS PARADE GLADSTONE QLD
DRAWING TITLE: FURNITURE
PROJECT NO. 954-DT
PROJECT DIRECTOR: PH

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CP_ID: 11.10.18
DWN_CHK: DATE

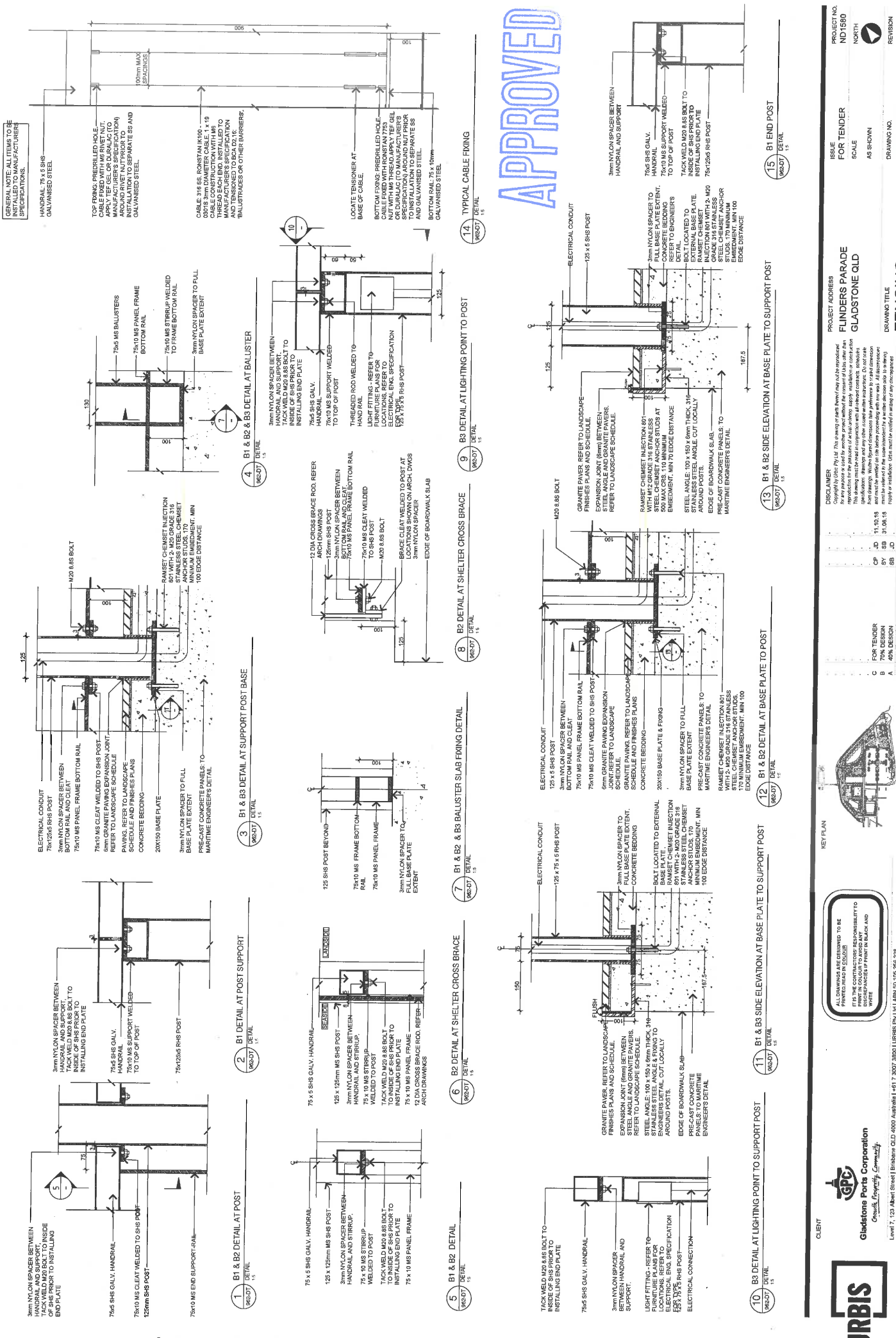
FOR TENDER
REV DESCRIPTION

KEY PLAN

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IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRINT IN COLOR TO MATCH ANY DIMENSIONS IN BLACK AND WHITE

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Gladstone Ports Corporation
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URBIS



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GENERAL NOTE: ALL ITEMS TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS.

HANDRAIL 75 x 5 SHS GALVANISED STEEL

TOP FRANKS PREDRILLED HOLE. COBOL CONSTRUCTION. APPLY TEF GEL OR DURALAC TO MANUFACTURER'S SPECIFICATION. INSTALLATION TO SEPARATE SS AND GALVANISED STEEL.

CABLE 316 SS. KONSTAN M100. COBOL CONSTRUCTION. APPLY TEF GEL OR DURALAC TO MANUFACTURER'S SPECIFICATION. INSTALLATION TO SEPARATE SS AND GALVANISED STEEL.

LOCATE TENSIONER AT BASE OF CABLE.

BOTTOM FRANKS. PREDRILLED HOLE. COBOL CONSTRUCTION. APPLY TEF GEL OR DURALAC TO MANUFACTURER'S SPECIFICATION. INSTALLATION TO SEPARATE SS AND GALVANISED STEEL.

LOCATE TENSIONER AT BASE OF CABLE.

BOTTOM FRANKS. PREDRILLED HOLE. COBOL CONSTRUCTION. APPLY TEF GEL OR DURALAC TO MANUFACTURER'S SPECIFICATION. INSTALLATION TO SEPARATE SS AND GALVANISED STEEL.

LOCATE TENSIONER AT BASE OF CABLE.

BOTTOM FRANKS. PREDRILLED HOLE. COBOL CONSTRUCTION. APPLY TEF GEL OR DURALAC TO MANUFACTURER'S SPECIFICATION. INSTALLATION TO SEPARATE SS AND GALVANISED STEEL.

LOCATE TENSIONER AT BASE OF CABLE.

BOTTOM FRANKS. PREDRILLED HOLE. COBOL CONSTRUCTION. APPLY TEF GEL OR DURALAC TO MANUFACTURER'S SPECIFICATION. INSTALLATION TO SEPARATE SS AND GALVANISED STEEL.

LOCATE TENSIONER AT BASE OF CABLE.

BOTTOM FRANKS. PREDRILLED HOLE. COBOL CONSTRUCTION. APPLY TEF GEL OR DURALAC TO MANUFACTURER'S SPECIFICATION. INSTALLATION TO SEPARATE SS AND GALVANISED STEEL.

LOCATE TENSIONER AT BASE OF CABLE.

BOTTOM FRANKS. PREDRILLED HOLE. COBOL CONSTRUCTION. APPLY TEF GEL OR DURALAC TO MANUFACTURER'S SPECIFICATION. INSTALLATION TO SEPARATE SS AND GALVANISED STEEL.

LOCATE TENSIONER AT BASE OF CABLE.

BOTTOM FRANKS. PREDRILLED HOLE. COBOL CONSTRUCTION. APPLY TEF GEL OR DURALAC TO MANUFACTURER'S SPECIFICATION. INSTALLATION TO SEPARATE SS AND GALVANISED STEEL.

LOCATE TENSIONER AT BASE OF CABLE.

BOTTOM FRANKS. PREDRILLED HOLE. COBOL CONSTRUCTION. APPLY TEF GEL OR DURALAC TO MANUFACTURER'S SPECIFICATION. INSTALLATION TO SEPARATE SS AND GALVANISED STEEL.

LOCATE TENSIONER AT BASE OF CABLE.

BOTTOM FRANKS. PREDRILLED HOLE. COBOL CONSTRUCTION. APPLY TEF GEL OR DURALAC TO MANUFACTURER'S SPECIFICATION. INSTALLATION TO SEPARATE SS AND GALVANISED STEEL.

LOCATE TENSIONER AT BASE OF CABLE.

BOTTOM FRANKS. PREDRILLED HOLE. COBOL CONSTRUCTION. APPLY TEF GEL OR DURALAC TO MANUFACTURER'S SPECIFICATION. INSTALLATION TO SEPARATE SS AND GALVANISED STEEL.

LOCATE TENSIONER AT BASE OF CABLE.

BOTTOM FRANKS. PREDRILLED HOLE. COBOL CONSTRUCTION. APPLY TEF GEL OR DURALAC TO MANUFACTURER'S SPECIFICATION. INSTALLATION TO SEPARATE SS AND GALVANISED STEEL.

LOCATE TENSIONER AT BASE OF CABLE.

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PROJECT ADDRESS
 FLINDERS PARADE
 GLADSTONE QLD

PROJECT NO.
 ND1660

SCALE
 AS SHOWN

ISSUE FOR TENDER

REVISION
 C

DRAWING NO.
 962-DT

FENCING

PROJECT DIRECTOR PH
 DWN CHK DATE

DESIGNER
 SB JD

DATE
 31.05.18

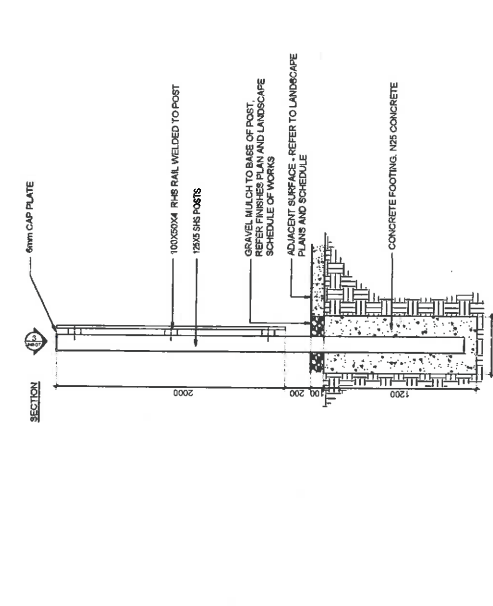
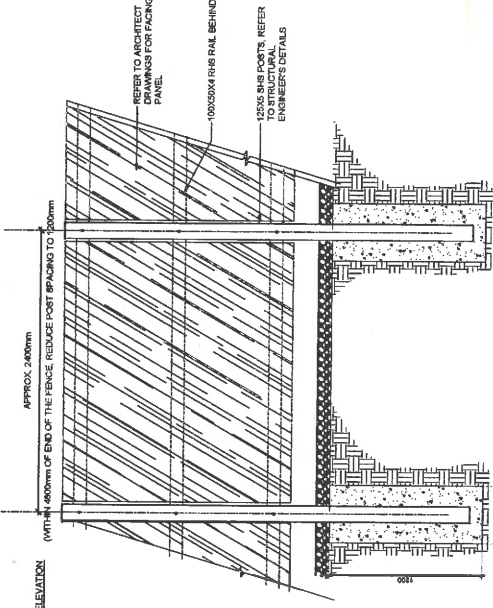
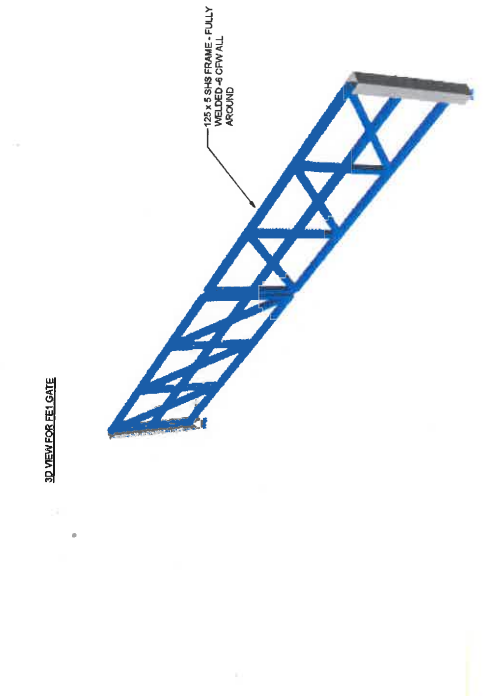
FOR TENDER
 A 40% DESIGN
 B 70% DESIGN
 C 70% DESIGN

REV DESCRIPTION

DISCLAIMER
 This drawing is for general information only and is not intended to be used for the purposes of any contract. The contractor shall be responsible for the design and construction of the works shown on this drawing. The contractor shall be responsible for the design and construction of the works shown on this drawing. The contractor shall be responsible for the design and construction of the works shown on this drawing.

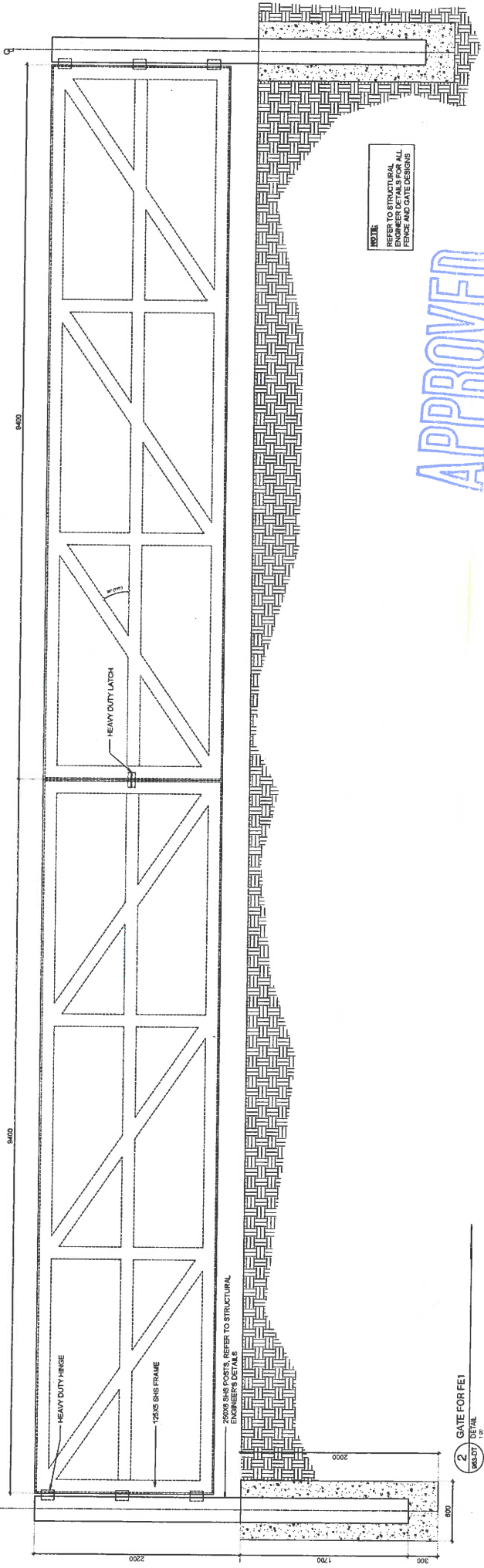
KEY PLAN

ALLOWANCES ARE DEEMED TO BE THE CONTRACTOR'S RESPONSIBILITY TO PRINT IN BLACK AND WHITE



1 FE1 - FENCE TYPE 1
SCALE: 1:50

2 GATE FOR FE1
SCALE: 1:50



NOTE:
REFER TO STRUCTURAL
ENGINEER DETAILS FOR ALL
FENCE AND GATE DETAILS

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VERIFY ALL DIMENSIONS AND TO AVOID ANY
CONFLICTS WITH EXISTING UTILITIES AND
WHITE LINE.



REV	DESCRIPTION	DATE	BY	CHK	DATE
C	FOR TENDER	11.10.15	CP	JD	
B	70% DESIGN	31.05.15	BY	SB	
A	40% DESIGN		RB	JD	

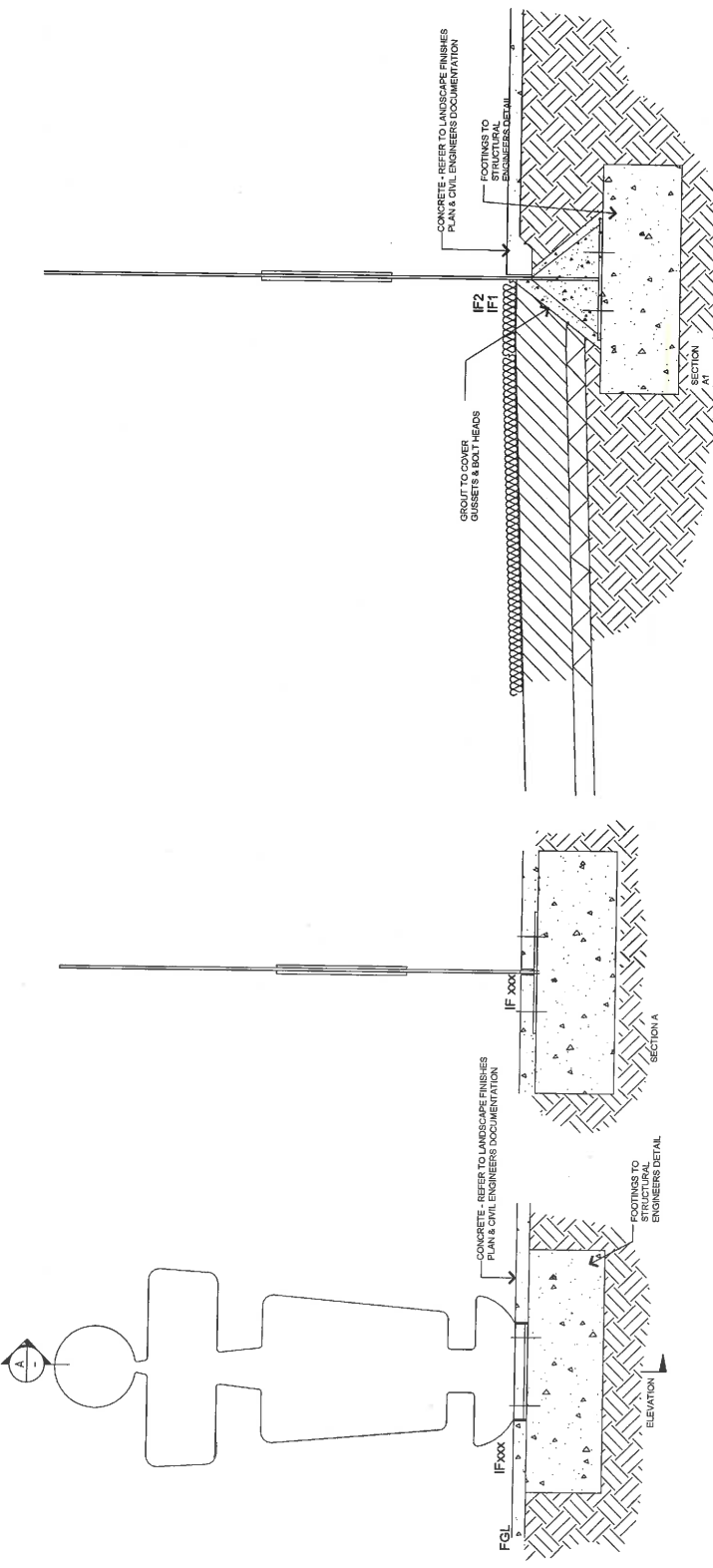
PROJECT ADDRESS
**FLINDERS PARADE
GLADSTONE QLD**

DRAWING TITLE
FENCING

FOR TENDER
SCALE
AS SHOWN

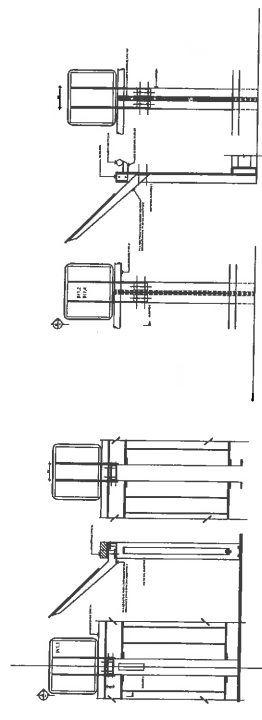
PROJECT NO.
ND1580
NORTH
REVISION
C





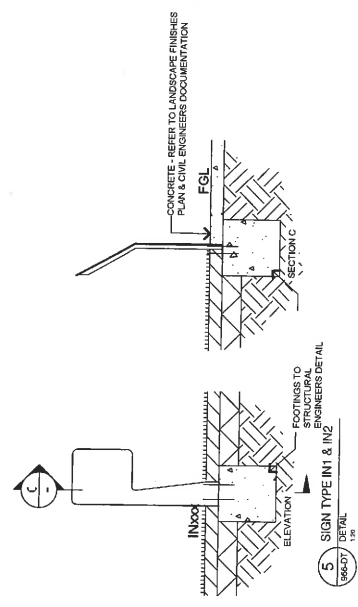
1 SIGN TYPE IF2 IN CONCRETE PAVING
DETAIL 1:10
966.07

2 SIGN TYPE IF1 & IF2 AT GARDENTURF TO CONCRETE PAVING INTERFACE
DETAIL 1:10
966.07



3 SIGN TYPE IN2 ON BALUSTRADE B3
DETAIL 1:10
966.07

4 SIGN TYPES INC ON BALUSTRADE B3
DETAIL 1:10
966.07



5 SIGN TYPE IN1 & IN2
DETAIL 1:10
966.07

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PROJECT ADDRESS
**FLINDERS PARADE
 GLADSTONE QLD**

PROJECT NO.
 ND1580

ISSUE FOR TENDER
 SCALE
 AS SHOWN

DRAWING NO.
966-DT

REVISION
C

PROJECT DIRECTOR: PH

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11.10.18
 31.08.19
 11.10.19

CP JD
 GP SB
 40% DESIGN
 70% DESIGN
 FOR TENDER

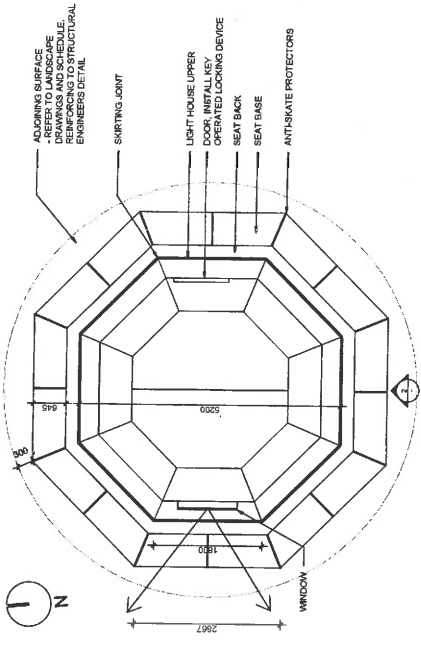
REV DESCRIPTION
 A 40% DESIGN
 B 70% DESIGN
 C FOR TENDER

KEY PLAN

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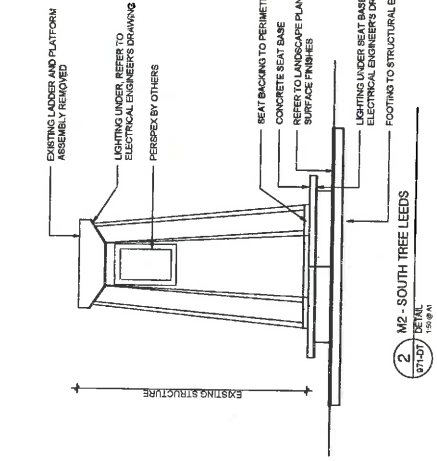
APPROVED

REFER STRUCTURAL ENGINEERS DRAWINGS FOR FURTHER DETAIL

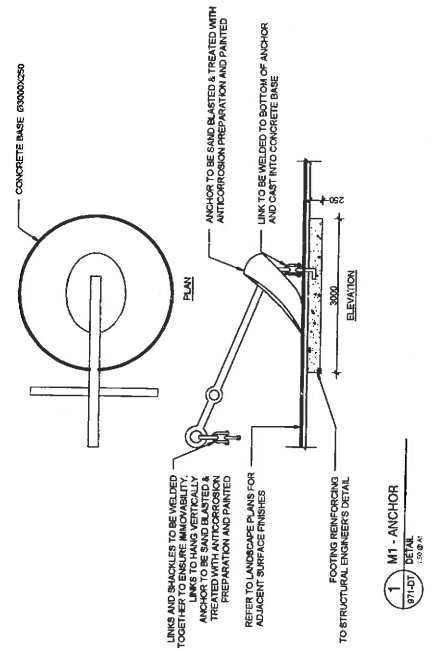


NOTE: REFER TO ALL DIMENSIONS FOR EXISTING STRUCTURES AND CONFIRM ALL DIMENSIONS FOR FABRICATIONS REFER TO PLANS FOR ORIENTATION

3 M2 - SOUTH TREE LEEDS SEATING PLINTH
971-07 DETAIL 100 @ A1

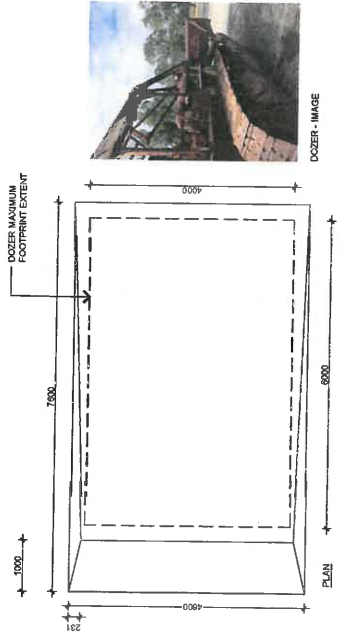


2 M2 - SOUTH TREE LEEDS
971-07 DETAIL 100 @ A1

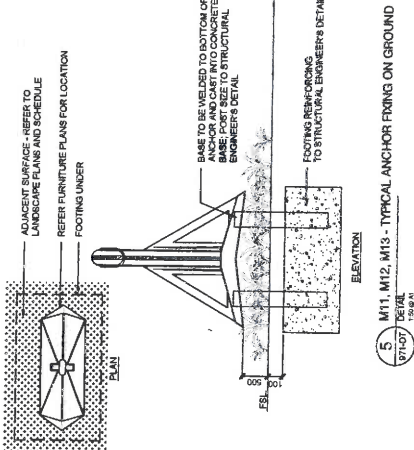


1 M1 - ANCHOR
971-07 DETAIL 100 @ A1

NOTE: TO BE FULLY MEASURED AND CONFIRMED PRIOR TO PAD CONSTRUCTION.



4 M3 - DOZER
971-07 DETAIL 100 @ A1



5 M11, M12, M13 - TYPICAL ANCHOR FIXING ON GROUND
971-07 DETAIL 100 @ A1

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CLIENT: URBIS Gladstone Ports Corporation
PROJECT ADDRESS: FLINDERS PARADE GLADSTONE QLD
PROJECT NO.: ND1580
ISSUE: FOR TENDER
SCALE: AS SHOWN
DRAWING NO.: 971-DT
REV. DESCRIPTION
DWN. CHK. DATE
BY: 7/04/18
BY: 21/08/18
CP: 14/10/18
BY: 14/10/18
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KEY PLAN

PROJECT ADDRESS: FLINDERS PARADE GLADSTONE QLD
PROJECT NO.: ND1580
ISSUE: FOR TENDER
SCALE: AS SHOWN
DRAWING NO.: 971-DT

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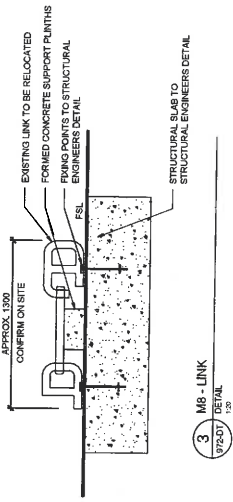
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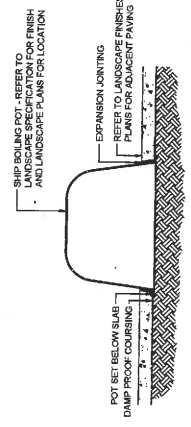
NOTE: COVER ALL DIMENSIONS FOR EXISTING STRUCTURES ON SITE BEFORE CONSTRUCTION AND FABRICATIONS REFER TO PLANS FOR ORIENTATION



LINK - IMAGE



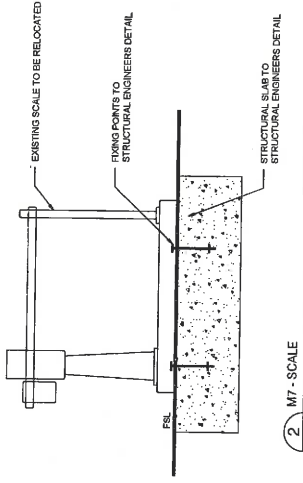
3 M8 - LINK DETAIL 1:20



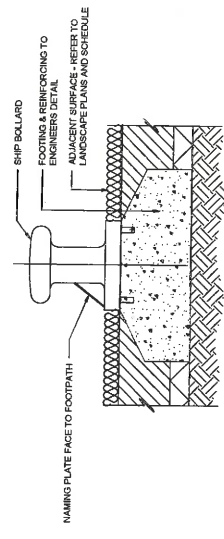
6 M9 - SHIP BOILING POT DETAIL 1:20



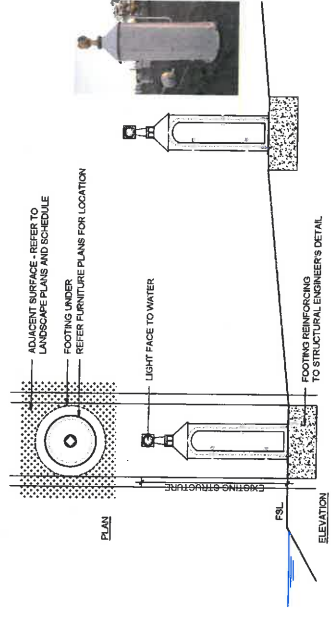
SCALE - IMAGE



2 M7 - SCALE DETAIL 1:20



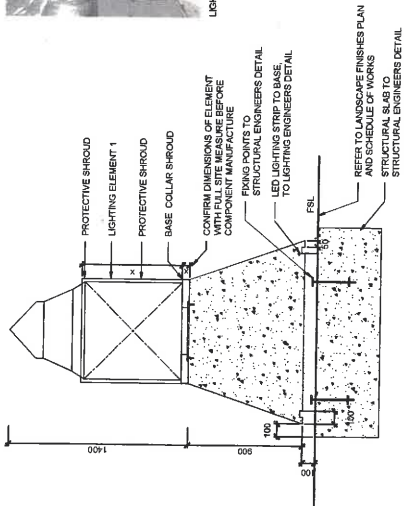
5 M10 - SHIP BOLLARD - ELEVATION 1:20



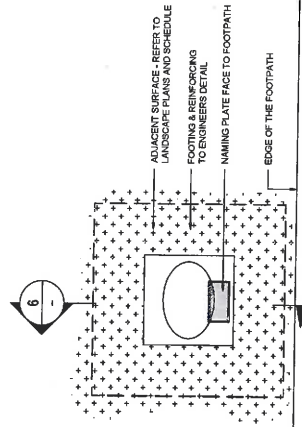
7 M14 - LIGHT HOUSE DETAIL 1:50 (A1)



LIGHTING ELEMENT 1 - IMAGE



1 M4 - LIGHTING ELEMENT 1 DETAIL 1:20



4 M10 - SHIP BOLLARD - PLAN DETAIL 1:20

APPROVED

REFER STRUCTURAL ENGINEERS DRAWINGS FOR FURTHER DETAIL

PROJECT NO. ND1580 NORTH

FOR TENDER SCALE AS SHOWN

ISSUE FOR TENDER

PROJECT ADDRESS FLINDERS PARADE GLADSTONE QLD

DRAWING TITLE ARTEFACTS

PROJECT NO. 972-DT

PROJECT DIRECTOR: PH

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DRW	NO.	DATE	DESCRIPTION
GP	11	11.00.19	2D/3D/10
DP	11	11.00.19	2D/3D/10
SB	10	10.00.19	2D/3D/10

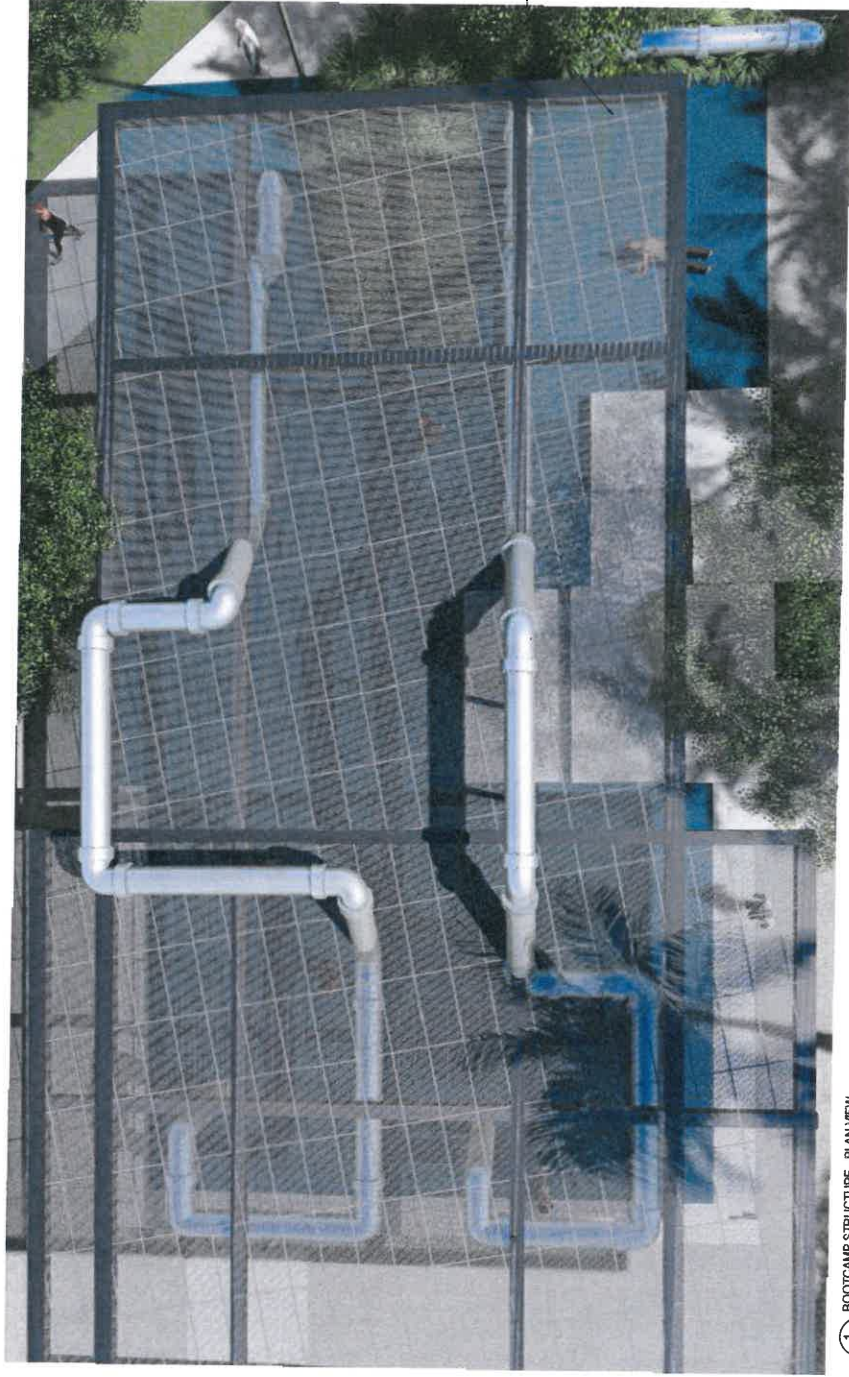
KEY PLAN

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1 BOOTCAMP STRUCTURE - PLAN VIEW
VR107 DETAIL NS



2 BOOTCAMP STRUCTURE - FRONT ELEVATION
VR107 DETAIL NS



3 BOOTCAMP STRUCTURE - SIDE ELEVATION
VR107 DETAIL NS

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FOR ALL COMPONENTS
 REFER LANDSCAPE SCHEDULE OF WORKS



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 DISCREPANCIES IN PRINT OR SURFACE AND
 WHITE



REV	DESCRIPTION	FOR TENDER	DWN	CHK	DATE
B		70% DESIGN			
A					

CP	JD	11/10/18
BY	BB	31/06/18

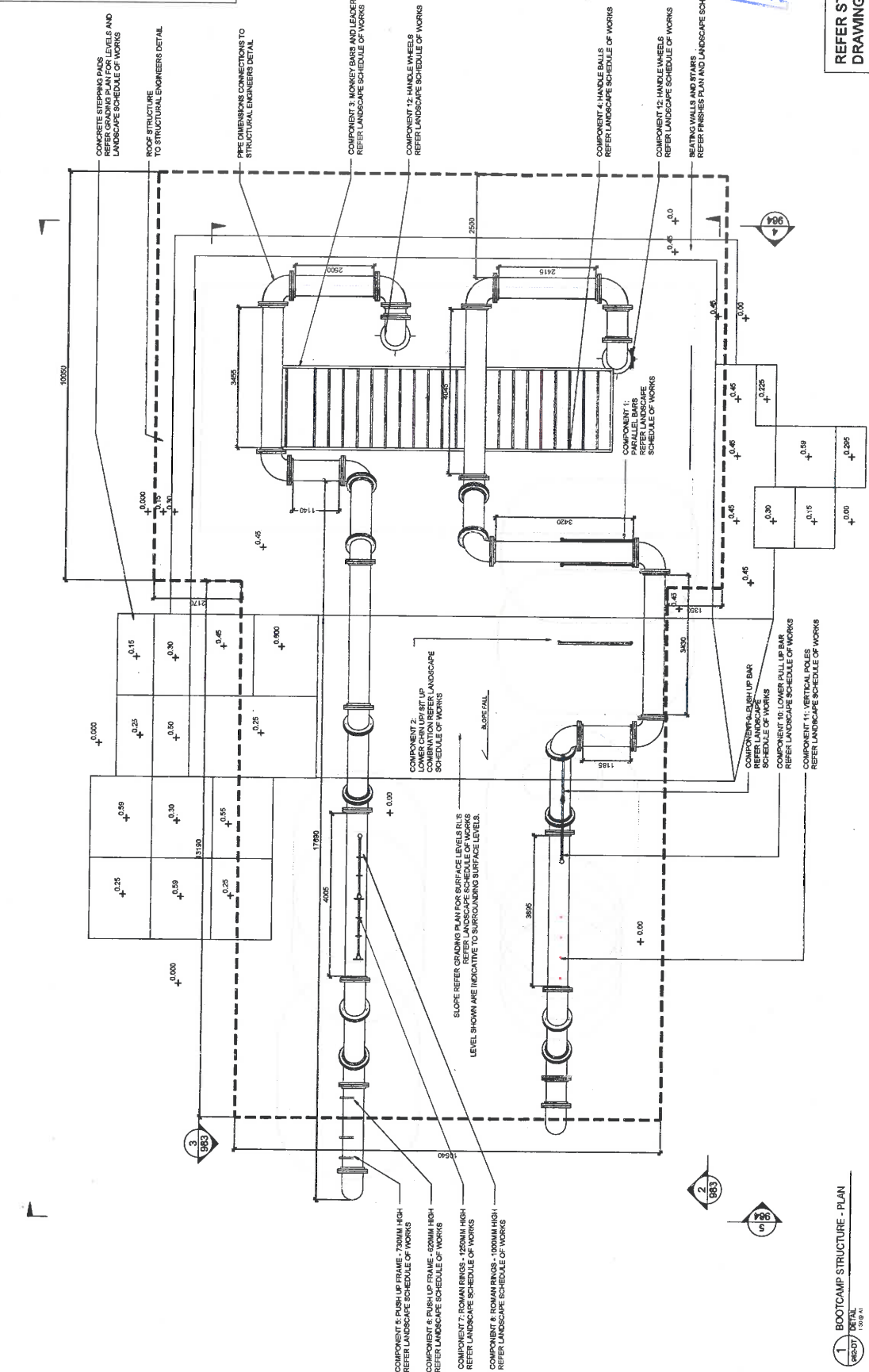
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 work or installation. Refer next for further in writing of any discrepancy.

PROJECT ADDRESS
**FLINDERS PARADE
 GLADSTONE QLD**
 DRAWING TITLE
STRUCTURES

ISSUE
 FOR TENDER
 SCALE
 AS SHOWN
 DRAWING NO.
981-DT

PROJECT NO.
 ND1890
 NORTH
 REVISION
B

- NOTES:**
- DISTANCE TO ACCESSIBLE PART OF ROOF THE STRUCTURE TO THE OUTER PERIMETER OF THE ROOF SHOULD BE GREATER THAN 2500 MM.
 - REQUIREMENTS THE CROSS SECTION OF ANY SUPPORTS SHALL BE NOT LESS THAN 16 MM OR MORE THAN 45 MM IN ANY DIRECTION, WHEN MEASURED CONFORM TO EN ISO 5994 OR EN ISO 2397, OR CERTIFICATE STATING THE MATERIAL USED AND THE SAFE WORKING LOAD.
 - 2500 ROPE RINGS AT ONE END THE ROPE DIAMETER SHALL BE BETWEEN 25 MM AND 45 MM AND SHOULD BE MADE OF A STIFFER MATERIAL TO MAKE IT MORE DIFFICULT TO CREEP LOAD.
 - OPENINGS BETWEEN THE ROOF AND STRUCTURE SHALL BE LESS THAN 8 MM OR GREATER THAN 25 MM. ALL OPENINGS BETWEEN THE LOWER EDGE OF THE ROOF AND THE UPPER EDGE OF THE EQUIPMENT SHALL BE LESS THAN 8 MM OR GREATER THAN 25 MM TO PREVENT HEAD ENTANGLEMENT GREATER THAN 2500 MM.
 - FINISH OF EQUIPMENT, CORNER, EDGES AND ROUNDS SHALL BE FINISHED TO A FINISH WHICH IS BY THE USER THAT NO DIRT SPACE OCCUPIED AND WHICH ARE NOT SHIELDED BY ADJACENT PARTS OF THE EQUIPMENT. THE MINIMUM RADIUS OF THE ROUNDS SHALL BE 150 MM. EDGES AND PROJECTIONS WITH A RADIUS LESS THAN 150 MM MAY BE ANOTHER ACCESSIBLE PARTS OF THE EQUIPMENT ONLY IF THEY ARE NOT SHARP.



REFER STRUCTURAL ENGINEERS DRAWINGS FOR FURTHER DETAIL

APPROVED

URBIS
Gladstone Ports Corporation
 Growth, Energy, Community
 Level 7, 123 Albert Street | Brisbane, QLD 4000 Australia | +61 7 3007 3000 | LANG18 Pty Ltd | ABN 50 102 292 228

CLIENT
Gladstone Ports Corporation
 Growth, Energy, Community

PROJECT ADDRESS
FLINDERS PARADE
GLADSTONE QLD

PROJECT NO.
 ND1580

SCALE
 AS SHOWN

DRAWING NO.
 982-DT

REVISION
 B

FOR TENDER
 7/24/2018

REV. DESCRIPTION

DISCLAIMER
 The Designer shall be responsible for any errors or omissions in the drawings and shall not be liable for any consequences arising from the use of the drawings. The Contractor shall be responsible for the accuracy of the information provided to the Designer. The Designer shall not be responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings. The Contractor shall be responsible for the accuracy of the information provided to the Designer. The Designer shall not be responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings. The Contractor shall be responsible for the accuracy of the information provided to the Designer.

CP ID: 11.10.18
BY SB: 31/04/18
DWG CHK DATE: PROJECT DIRECTOR: PH

REV. DESCRIPTION

FOR TENDER
 7/24/2018

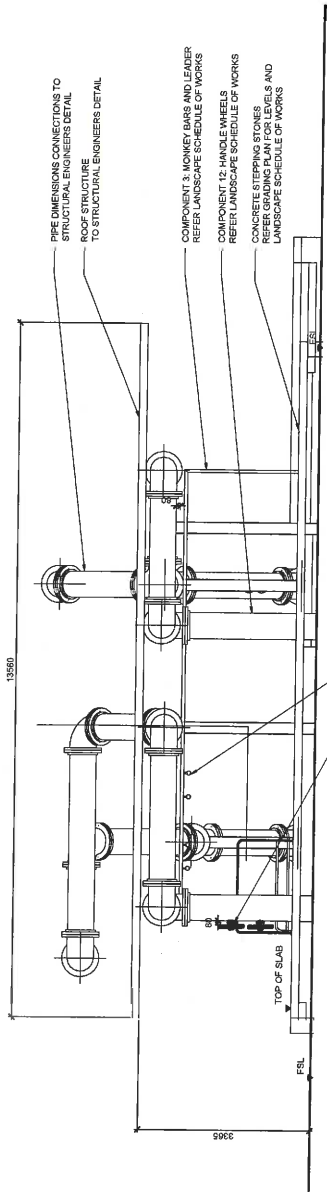
REV. DESCRIPTION

DISCLAIMER
 THE CONTRACTOR SHALL BE RESPONSIBLE TO PRINTED AND IN COLOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRINT IN COLOR TO AVOID ANY MISTAKES OR PRINTING ERRORS. WHITE.

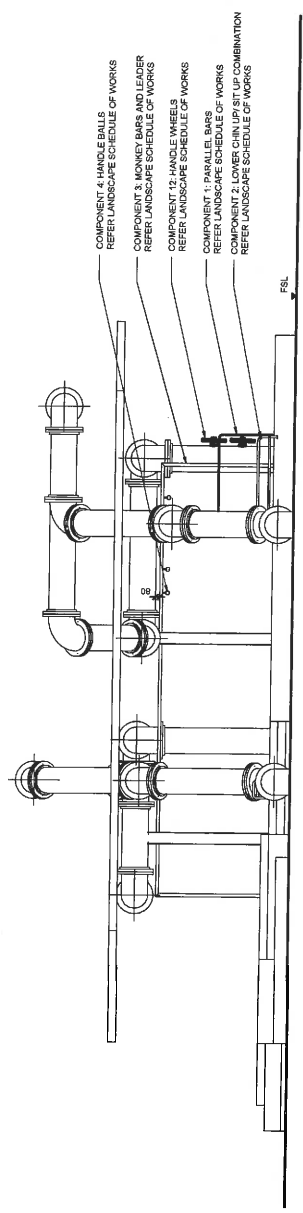
KEY PLAN

1 BOOTCAMP STRUCTURE - PLAN
 DETAIL
 1:100 @ A

- NOTES:
- DISTANCE TO ACCESSIBLE PART OF ROOF THE DISTANCE FROM ANY PART OF THE STRUCTURE TO THE EDGE OF THE ROOF SHOULD BE GREATER THAN 2500 MM
 - GRIP REQUIREMENTS THE CROSS SECTION OF ANY ROPE SHALL BE NOT LESS THAN 19 MM OR MORE A DIMENSION OF NOT LESS THAN 19 MM OR MORE THAN 45 MM IN ANY DIRECTION, WHEN MEASURED FIBRE ROPES SHALL EITHER:
 - CONFORM TO EN ISO 9554 OR EN ISO 2307, OR
 - CONFORM TO EN ISO 9554 OR EN ISO 2307, OR
 - SAFE WORKING LOAD.
 - CERTIFICATE STATING THE MATERIAL USED AND THE END OF THE ROPE DIAMETER SHALL BE USED AT ONE MM AND 45 MM AND SHOULD BE MADE OF A STIFFER CRYSTAL LOCK.
 - OPENINGS BETWEEN THE ROOF AND STRUCTURE ALL OPENINGS BETWEEN THE LOWER EDGE OF THE ROPE AND THE UPPER EDGE OF THE EQUIPMENT MUST BE LESS THAN 8 MM OR GREATER THAN 25 MM TO PREVENT FINGER ENTRAPMENT AND/OR ALL OPENINGS BETWEEN THE LOWER EDGE OF THE ROOF AND THE UPPER EDGE OF THE EQUIPMENT MUST BE LESS THAN 8 MM OR GREATER THAN 20 MM TO PREVENT TOE ENTRAPMENT AND/OR FINISH OF EQUIPMENT, CORNERS, EDGES AND PROTECTING PARTS WITHIN THE SPACE OCCUPIED BY THE EQUIPMENT SHALL BE FINISHED TO A MINIMUM AND WHICH ARE NOT SHIELDED BY ADJACENT AREAS SHALL BE ROUNDED OFF. THE MINIMUM RADIUS OF CURVATURE SHALL BE 100 MM. EDGES AND PROJECTIONS WITH A RADIUS LESS THAN 3 MM MAY BE IN OTHER ACCESSIBLE PARTS OF THE EQUIPMENT ONLY IF THEY ARE NOT SHARP



4 BOOTCAMP STRUCTURE - ELEVATION EAST
DETAIL
1:00 @ A



5 BOOTCAMP STRUCTURE - ELEVATION WEST
DETAIL
1:00 @ A

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CLIENT: Gladstone Ports Corporation
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PROJECT ADDRESS: FLINDERS PARADE GLADSTONE QLD

PROJECT NO: ND1580

ISSUE FOR TENDER

SCALE AS SHOWN

DRAWING NO: 984-DT

REVISION B

STRUCTURES

REV DESCRIPTION

REV	NO	DESCRIPTION	DATE
A	70% DESIGN		
B	FOR TENDER		

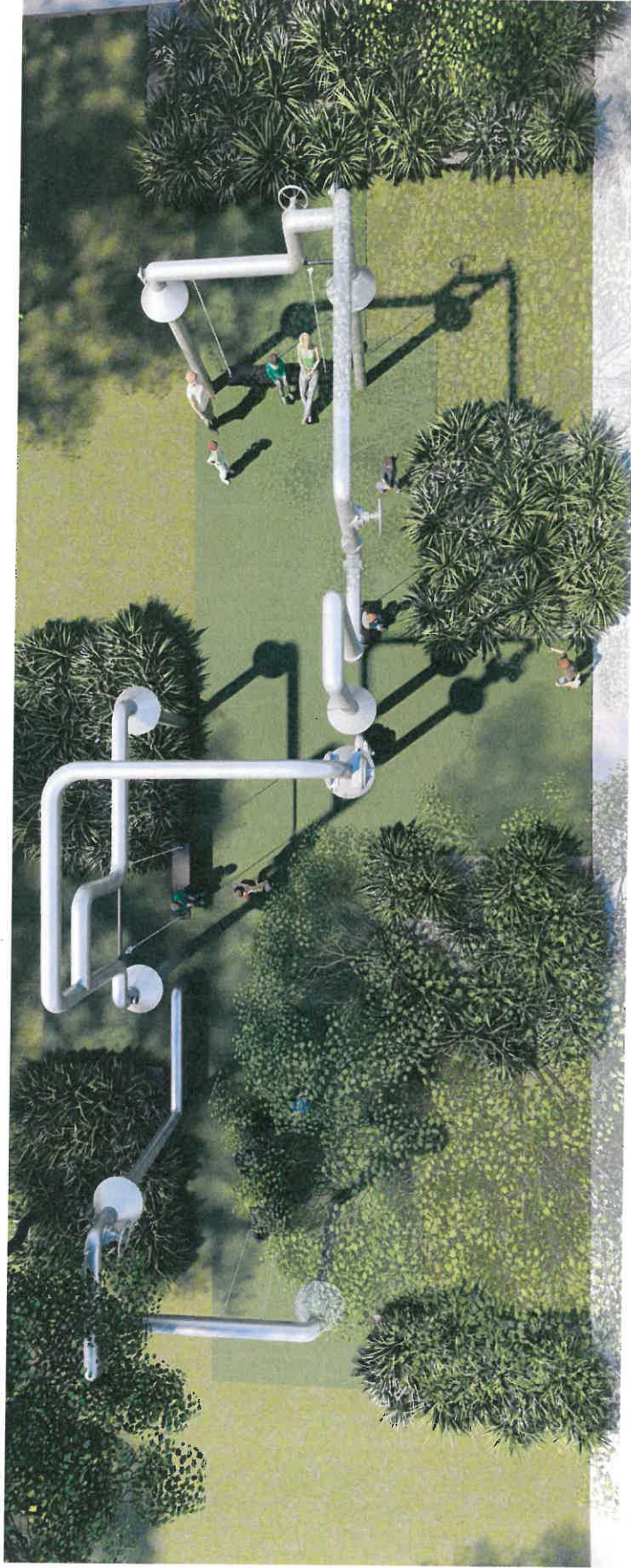
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KEY PLAN

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1 SWING - PLAN
DETAIL
1:0.00 N



3 SWING - SIDE ELEVATION
DETAIL
1:0.00 N



2 SWING - FRONT ELEVATION
DETAIL
1:0.00 N

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PROJECT NO.
ND1560
NORTH
REVISION
B

PROJECT ADDRESS
FLINDERS PARADE
GLADSTONE QLD

DRAWING TITLE
STRUCTURES

DATE
11.10.18
BY SB 31.04.18
FOR TENDER
70% DESIGN
PROJECT DIRECTOR/PI

REV. DESCRIPTION



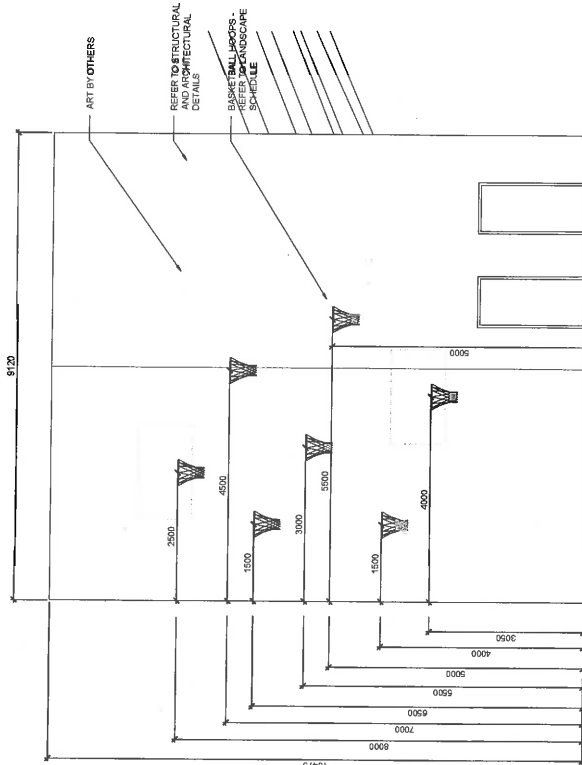
ALL DIMENSIONS UNLESS SPECIFIED TO BE PRINTED IN COLOUR
IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK FOR ANY DISCREPANCIES IN COLOUR AND DIMENSIONS PRIOR TO CONSTRUCTION AND PRINT IN COLOUR TO AVOID ANY DISCREPANCIES

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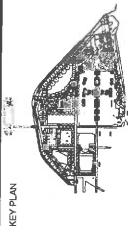
FOR ALL COMPONENTS
REFER LANDSCAPE SCHEDULE OF WORKS

APPROVED



1 BASKETBALL WALL - ELEVATION
1:10

IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRINT IN COLOUR TO AVOID ANY MISUNDERSTANDING. SUCCESS: PRINT IN BLUE AND WHITE



REV	DESCRIPTION
B	FOR TENDER
A	70% DESIGN

CP JD 11.10.18
 SY SB 31.04.18
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PROJECT ADDRESS
**FLINDERS PARADE
 GLADSTONE QLD**

DRAWING TITLE
STRUCTURES

ISSUE
FOR TENDER

SCALE
AS SHOWN

DRAWING NO.
988-DT

PROJECT NO.
ND1580

NORTH

REVISION
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Gladstone Ports Corporation
 Growth. Energy. Community.

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Acid Sulfate Soils (ASS) Factual Report

East Shore Parklands Precinct

P198



Prepared for
Gladstone Port Corporation

27 November 2018

APPROVED

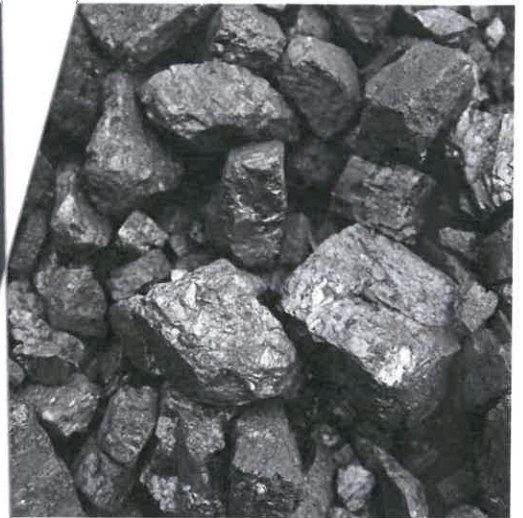
Site Contamination Investigation

Gladstone Port East Shores Gap
Analysis

P/198

Prepared for
Gladstone Ports Corporation Limited

26 November 2018



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