



Gladstone Ports Corporation

Growth, Prosperity, Community.

GPC Document No. 1514028
GPC Ref: DA2019/03
Your Ref.:

13 June 2019

Fodico Pty Ltd
c/- Mr Stephen Strachan
Engineers Queensland
17 Flinders Parade
GLADSTONE QLD 4680

Email: stephen@engqld.com.au

Dear Mr Strachan

DECISION NOTICE – APPROVAL WITH CONDITIONS – DA2019/03

(GIVEN UNDER THE PROVISIONS OF GLADSTONE PORTS CORPORATION LAND USE PLAN 2012)

1. Application Details

This development application was **properly made** to the Gladstone Ports Corporation Limited on **31 May 2019**.

Application Number:	DA2019/03
Applicant Name:	Fodico Pty Ltd
Applicant Contact Details:	Stephen Strachan Engineers Queensland 17 Flinders Parade GLADSTONE QLD 4680 Email: stephen@engqld.com.au
Approvals Sought:	Port application for new office building and shed
Details of Proposed Development:	Office building, 4 bay shed and associated vehicle parking
Location Street Address:	223 Alf O'Rourke Drive CALLEMONDAH QLD 4680
Location Real Property Description:	Lease MAP on SP203080 in Lot 210 on SP120888
Land Owner:	Gladstone Ports Corporation Limited
Present Zoning & Precinct	Strategic Port Land – Light/Commercial Industry

2. Details Of Proposed Development

The approval includes constructing and operating an office building, a 4 bay shed and car park for the purposes of indoor storage, customer parking and marine related light industrial activities.

This approval excludes the use of the site for outdoor storage.

3. Details Of Decision

This development application was **decided on 10 June 2019**.

This development application is **approved in full with conditions**. These conditions are set out in Attachment 1 and are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

4. Details Of Approval

This development approval is a **Development Permit** given for:

- a) Port Application for undertaking work in, on over or under premises that materially affects the premises or their use including excavating or filling (*GPC Land Use Plan 2012v2*).

5. Conditions

This development approval is subject to the conditions in Attachment 1 - Part 1 and Part 2.

6. Further Development Permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

1. Not applicable.

7. Properly made submissions

Not applicable – No part of the application required public notification.

8. Approved Plans and Specifications –

Copies of the following plans, specifications or drawings are enclosed in **Attachment 2**:

Drawing/report title	Prepared by	Date	Reference no.	Version
Aspect of development: Port Application				
Site Plan	Engineers Queensland	07/06/2019	Draw. No. BK7680D01	Rev B
Vehicle Swept Path Analysis	Engineers Queensland	30/05/2019	Draw. No. BK7680D02	Rev A
Proposed Building for Fodico Pty Ltd at 223 Alf O'Rourke Drive, Gladstone	D&B Home Plans Design & Drafting		Draw. No. 1/B, 2/B, 3/B, 4/B, 5/B, 6/B, 7/B	

Drawing/report title	Prepared by	Date	Reference no.	Version
Quote Documentation for shed and skillion awning	The Shed Company			
Building Layout	The Shed Company	17/04/2019	Ref # kitr1904014-1	
Building Layout	The Shed Company	17/04/2019	Ref # kitr1904015	
Fodico Pty Ltd Construction Environmental Management Plan	Engineers Queensland		BK7680RO2	Rev C

9. Currency Period for the Approval

This development approval will lapse at the end of the periods set out below:

- For Port Applications this approval lapses 6 years after this approval decision date.
- For Operational Works approvals, the approval lapses 2 years after this approval decision date – reference section 85 of the *Planning Act 2016*.

10. Rights of Appeal

No legislated appeal rights are afforded with this decision notice in relation to the Port Application for relocation of stormwater infrastructure as the application was not made under the provisions of the *Planning Act 2016*. Legislated appeal rights afforded to the Operational Works for relocation of sewerage infrastructure are attached to the Negotiated Referral Entity Advice Notice.

For further information please contact Judy Horsfall, Planning Officer on 07 4976 1314 or via email horsfallj@gpcl.com.au or Sarah Hunter, Principal Planner, on 07 4976 1287 or via email hunters@gpcl.com.au.

Yours sincerely


Clive Gibson
Property Advisor
13 June 2019

- Enc. Attachment 1: Conditions of Approval
Part 1 – Conditions imposed by the assessment manager
- Attachment 2: Approved plans and specifications

ATTACHMENT 1: CONDITIONS OF APPROVAL

PART 1: ASSESSMENT MANAGER CONDITIONS

In general the development proposal is in compliance with the requirements of Gladstone Ports Corporation Limited (GPC). This development approval is subject to each of the following conditions which are stated by Gladstone Ports Corporation Limited, the assessment manager.

Part 1a: Approval sought under GPC Land Use Plan 2012v2 – Port Application

GENERAL

1. The proposed development must be carried out generally in accordance with the plans as lodged with the application except where modified by conditions of this permit.
2. Unless otherwise stated, all conditions must be completed prior to the commencement of the use.
3. Where additional “approval” is required under these conditions by GPC for drawings or documentation, the proponent must submit for review, amend to the satisfaction of, and obtain written acceptance from the Gladstone Ports Corporation. Only in this manner can compliance with the condition be achieved.
4. All other relevant regulatory approvals must be obtained before commencement of works or operation of the facility.
5. The proponent must inform GPC of completion of works within 14 days of practical completion and undertake a site inspection with GPC. The proponent must also certify that the development is constructed as per design and provide RPEQ certification that the development has been constructed generally in accordance with the approved plans.
6. The proponent must at its cost and expense, keep and maintain the subject area, including existing services, in a state that is satisfactory to the Port.

ENGINEERING & PLANNING

7. Upon completion of the works, the proponent must supply GPC with RPEQ certified “As Constructed” plans in both hard copy (2 of) and electronic (CAD format) which illustrate all infrastructure and services installed on Port land associated with the activity.
8. The proponent is required to apply for and obtain from GPC a Permit to Dig/Excavate prior to commencing works by contacting Mr Owen Barton, Port Infrastructure Asset Manager on 4976 1332 and where necessary submit a plan for approval to adjust any existing services found during this excavation that was not originally shown on the proposed plans.
9. The proponent must obtain certification for plumbing and drainage work and for building work as required by legislation.
10. Upon completion of the works, the shade cloth must be removed from the existing fence and outdoor storage must cease at the site within 10 business days.
11. Any site lighting used during construction should not impact on the visibility of Navigational Aids utilised for the primary shipping channels nor illuminate a landward glare beyond the site boundary. Lighting must be continually reviewed during construction and operations with respect to navigation and will be revised as required in response to negative impacts as they arise.

12. The hours for the construction of the facility (i.e. operation of any machinery and/or other equipment) shall be restricted to between 6.30am and 6:30pm Monday to Friday and 6.30am to 12.30pm Saturday. No works shall be undertaken on Sunday or on public holidays. Any variations to these times will be subject to the written approval of GPC.

ENVIRONMENT

Construction Environmental Management Plans

13. Prior to construction and operational phases of the works commencing on site, a Construction Environmental Management Plan (CEMP) specific to these works, is to be submitted to GPC for approval.

The activity must be undertaken in accordance with the approved CEMP that ensures:

- (a) environmental risks are identified, managed and continually assessed in relation to the activity (this includes construction, operations, and rehabilitation as applicable);
- (b) that staff are trained and aware of their obligations under the EMP;
- (c) that reviews of environmental performance are undertaken at least annually; and
- (d) any amendments to the EMP are to be submitted to GPC for review and approval.

Operational Environmental Management Plan

14. Prior to operational works commencing on site, an Operational Environmental Management Plan (OEMP) (or its equivalent) specific to operational works must be submitted to GPC for approval.

The operational works must be undertaken in accordance with the approved OEMP that ensures:

- (a) environmental risks are identified, managed and continually assessed; and
- (b) that staff are trained and aware of their obligations under the OEMP; and
- (c) that reviews of environmental performance are undertaken at least annually; and
- (d) any amendments to the OEMP are to be submitted to GPC for review and approval.

Incident notification

15. Gladstone Ports Corporation Environment Hotline (07) 4976 1617 is to be notified of the occurrence of any:
- (a) release / spill of contaminants (e.g. fuels / chemicals / sewerage) greater than 250L to land;
 - (b) release / spill of contaminants (e.g. fuels / chemicals / sewerage) of any amount to water;
 - (c) any environmental complaints received by the holder of this approval; and
 - (d) non-compliance with conditions of this approval or any other environmental approval obtained in relation to the approved activity.

ATTACHMENT 2: APPROVED PLANS AND SPECIFICATIONS

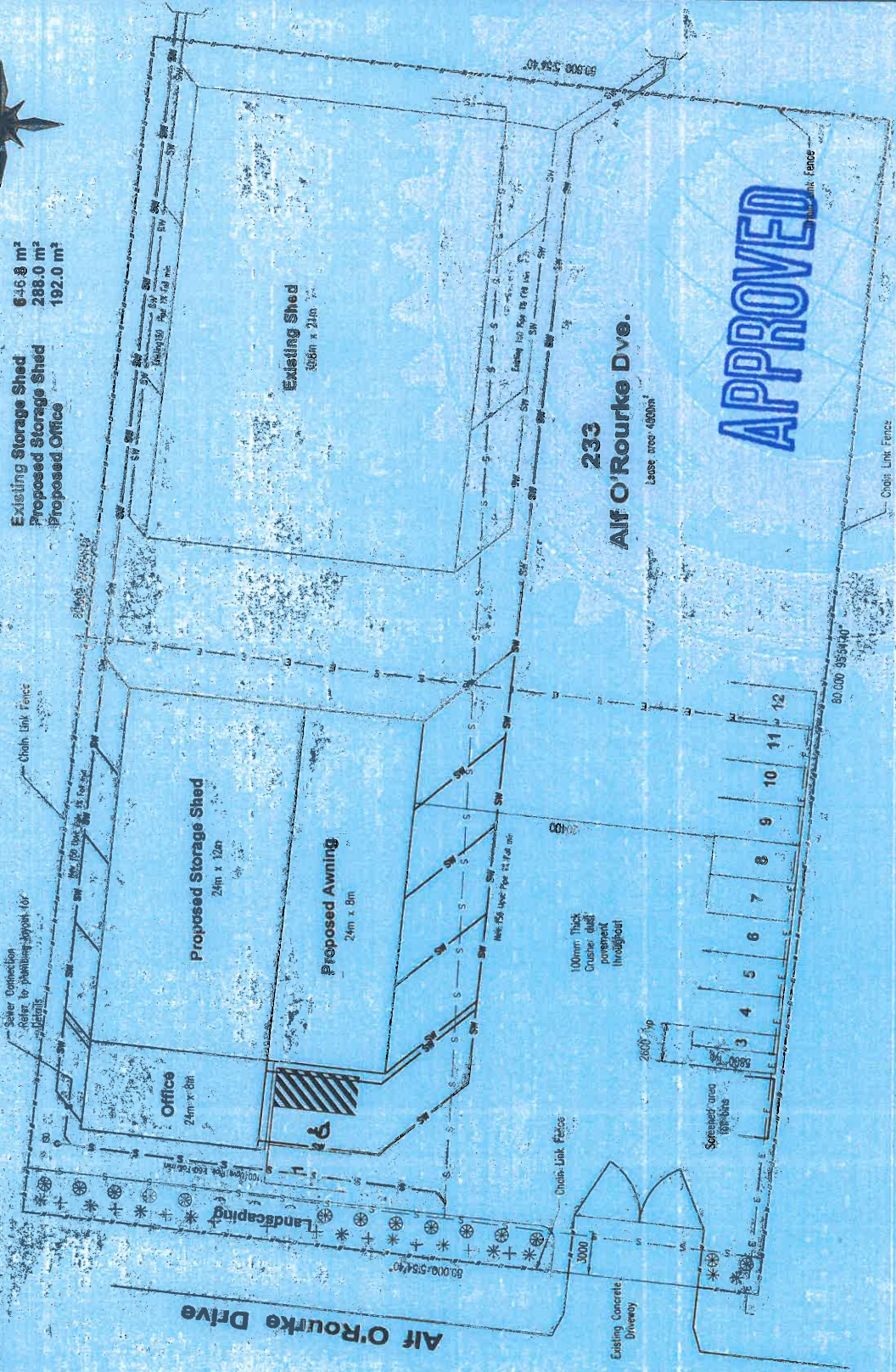
Notes:

- Colours and textures of finishes are to be varied and aesthetically pleasing.
- Highly reflective materials and colours must be avoided.
- Building design must provide for non-discriminatory access in accordance with AS1428.
- Design Access and Mobility.
- Outdoor lighting is to be provided.
- Energy efficient outdoor lighting technologies are to be adopted.
- Signage is to be located on the front wall of the new shed above the proposed office roof.

Mulching materials

The type of mulching material to be used for planting areas should be selected on the basis of its general purpose and location of the bed within the environment. When subjected to heavy machinery constructed shrub beds, it should be applied so its settled depth is 400 mm. This will prevent topsoil generation in the soil. The mulch should not be used as it is prone to being either blown or washed away and decompose too rapidly.

Existing Storage Shed 646.8 m²
 Proposed Storage Shed 288.0 m²
 Proposed Office 192.0 m²



Landscaping

In accordance with CPC Development Code of Practice 2012

Plant Species List

Botanical Name	Common Name
Acacia podalyrioides	Silver Wattle
Bryonia oblongifolia	Coffee bush
Pyramulocallis illorata	Spider Lily

DATE SCALE: 1:500 DRAWN: ASK

ENGINEERS QUEENSLAND

17, Flinders Pde.
 Gladstone Q. 4680
 Email: office@engqid.com.au

Ph: (07) 4972 5246
 Fax: (07) 4972 5248
 www.engqid.com.au

Fodico Pty Ltd

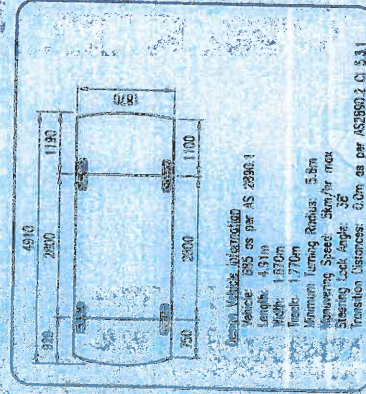
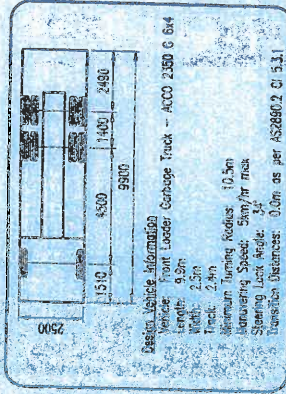
Proposed Building
 233 Alf O'Rourke Dve.
 Gladstone

Rev	Date	Issued For	Revision
1	29/05/2019	Issued For Approval	
2	29/05/2019	Issued For Approval	

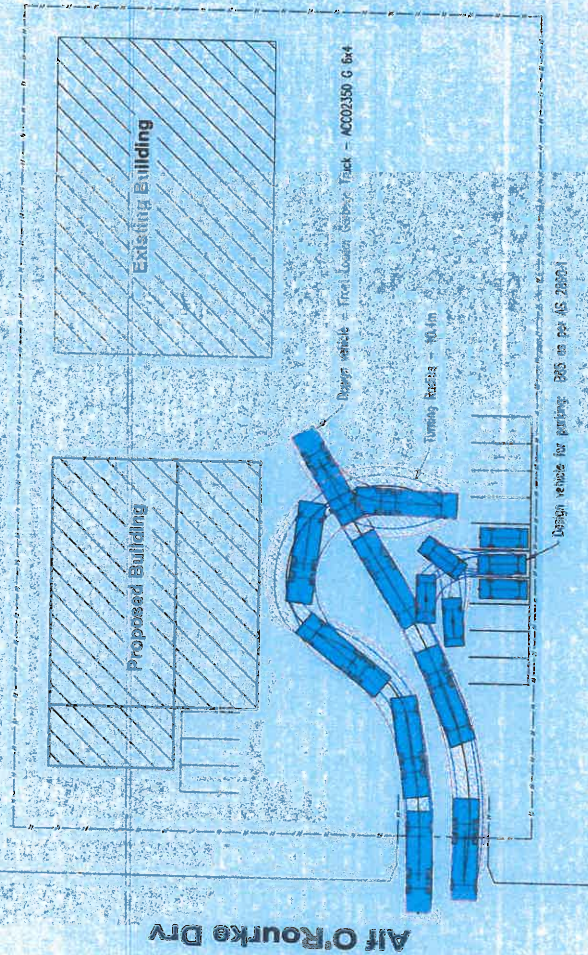
Client	Drawn	By	Date	Scale	Printed	Approved
Fodico Pty Ltd	ASK	ASK	29/05/2019	1:500 (A3)	ASK	ASK

Drawing Name: Site Plan
 Drawing Number: BK7680D01
 Revision: B

30 NOT SCALE - IF IN DOUBT ASK



APPROVED



Rev	Date	Issued For Approval	Revision Description	Units
A	-	-	-	-
Rev	Date	Issued For Approval	Revision Description	Units

		All dimensions in millimetres UNO	
© This drawing remains the property of Engineers Queensland and may not be copied, reproduced or otherwise used without the written permission of Engineers Queensland			

Client: Fodico Pty Ltd		Proposed Building At: 233 Aif O'Rourke Drv Gladstone	
Drawn: S Weinholz	Date: 30/5/2019	Checked: SAS	Approved: MOA
Scale: 1:500	Drawing Name: Vehicle Swept Path Analysis	Drawing Number: BK7680D02	Revision: A

		17 Flinders Pde Gladstone Q 4680 Email: office@engqld.com.au	Ph (07) 4972 5246 Fax (07) 4972 5248 www.engqld.com.au
--	--	--	--

PROPOSED BUILDING

FOR

FODILO PTY. LTD

AT

113 ALF O'Rourke DRIVE

GLADSTONE

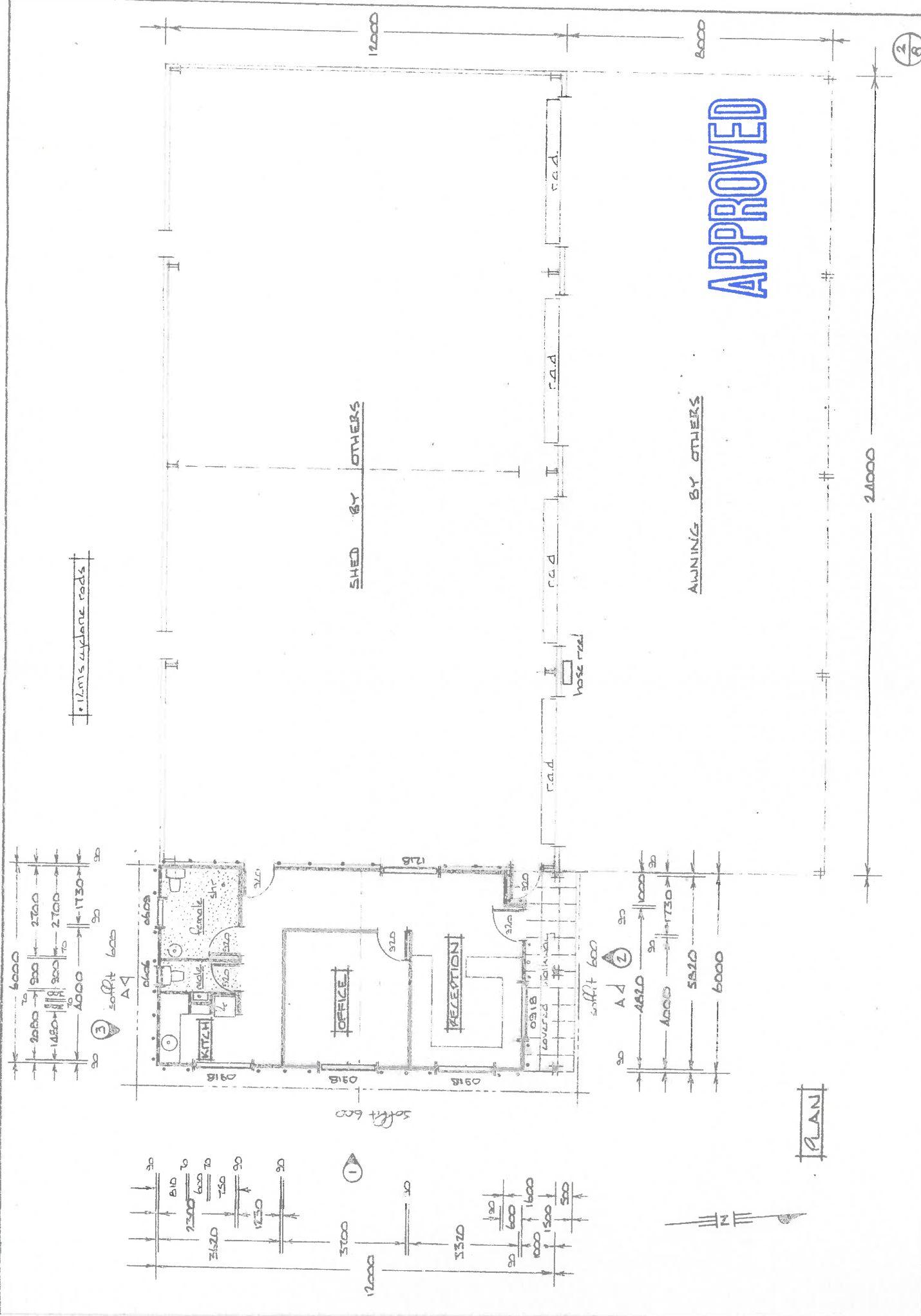


SCALE

1:100

APPROVED





APPROVED

PLAN

colorbond corrug roof sheet (surfmist colour)

colorbond corrug wall sheet - horizontal

alum sl windows

shed by others

10°

10°

curved by others

vertical slat posts

VIEW 1

colorbond corrug roof sheet (surfmist colour)

alum sl windows

colorbond corrug wall sheet - horizontal

shed by others

shed by others

40 x 150 slat posts

VIEW 2

VIEW 3

APPROVED

roof insulation: 75mm bonded blanket or equal in situation
 @ Bears report No B7126 dated 30/1/19

external zinc roof sheet (surfmist esleuc)

75x35 1/2 roof battens / 900 ctrs fixed to rafters with T5 type 17 screws

50x38 pine ceiling battens / 45 ctrs

ridge beam: 135x65/172 HZ

rafters: 170x45 top HZ / 900 ctrs

165x65/172 HZ beam cont

2/m12

pc sheet

140x140 stud post

2/m12

1.40
5mm

galv post support

external cladding

horizontal colorband clarb

ridge cap

2/m12

2/m12

plasterboard sheet

70mm stud frame

nl. insulation

165x65/172 HZ initial

RECEPTION

OFFICE

2.502

anchor rod

90mm stud frame

90mm stud frame

100

2400

90mm stud frame

pc sheet

anchor rod

90mm stud frame

external cladding

horizontal colorband clarb

lightweight timber stud frame insulation @ Bears report No B7126 dated 30/1/19

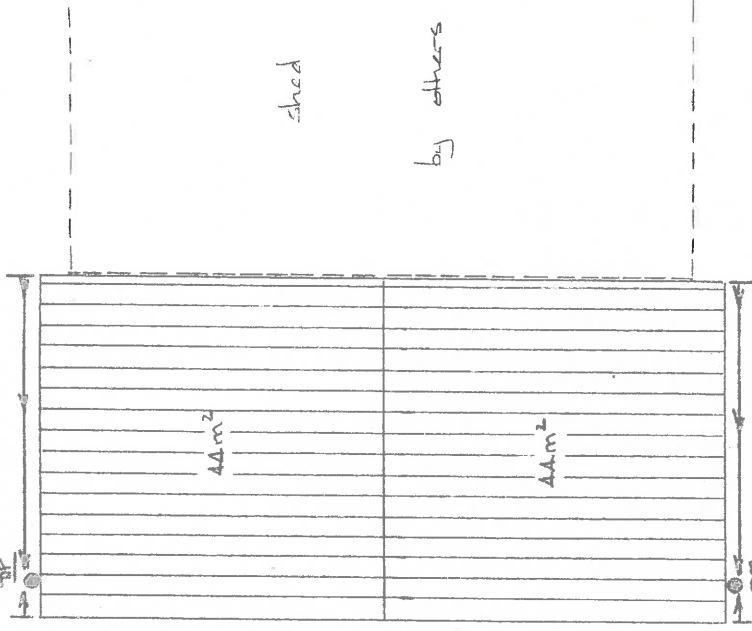
Roil with one reflective air-gap & 75mm R20 bulk batts e.g. 75mm SR multibatt batts

SECTION A-A 1:50

- all footings & slabs to be designed & certified by a RPEd (Registered Professional Engineer & L1)
- external wall cladding - colorband clarb (surfmist) fixed horizontal.
- at completion of construction, builder to supply confirmation of material & system adopted to comply with energy efficiency requirements. @ Bears report No B7126 dated 30/1/19

APPROVED

44m² roof area to DP



44m² roof area to DP

stormwater pipe selection guide

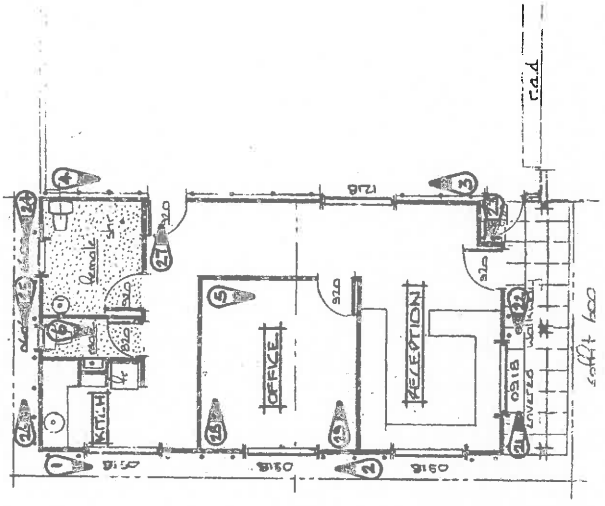
pipe slope max roof area contribution
 20φ 1:100 80m²

connect downpipes to existing stormwater connection point

- all work to AS/NZS 3500 & NCC Vol 2 sect 3.5.2.
- 125mm quad gutter max 40m² of roof contributing to DP in each direction
- downpipe DP to be 90φ UPVC
- spacings between downpipes to be not more than 12m

APPROVED

ROOFWATER LAYOUT

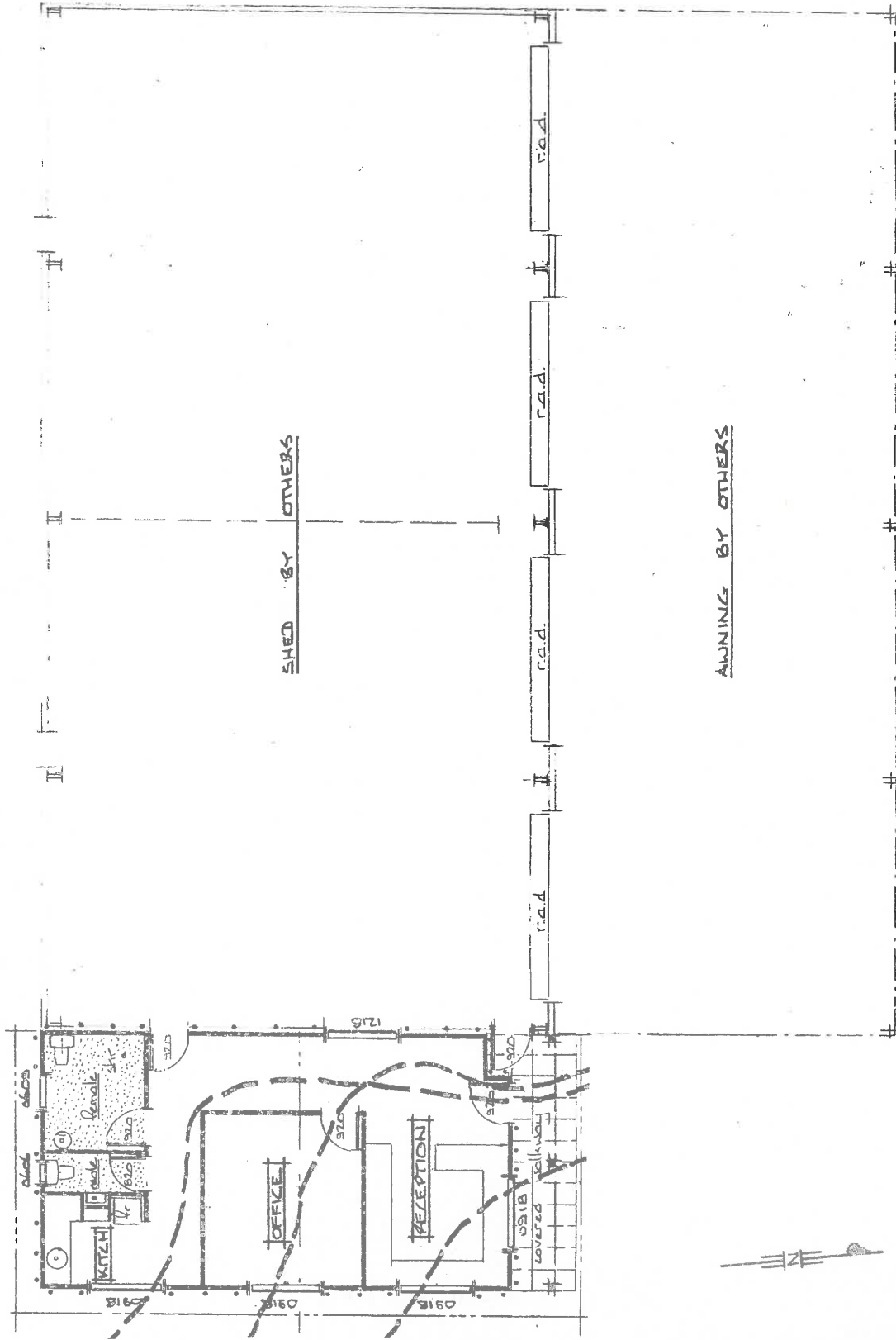


44 kN

17 kN

wall	bracing indicator	CL
1	9m	5.7
2	9m	5.7
3	9m	5.7
4	9m	5.7
5	9m	5.7
6	9m	5.7
7	9m	5.7
8	9m	5.7
9	9m	5.7
10	9m	5.7
11	9m	5.7
12	9m	5.7
total resistance in direction A		28.8
total resistance in direction B		17.4
total resistance in direction A		44 kN
total resistance in direction B		17.4 kN

BRACING PLAN N.T.S.



APPROVED

- proposed building openings & layout meets crossflow ventilation requirements
- completion of construction, builder to supply confirmation of material & system adapted to comply with energy efficiency requirements as indicated in Bears report No.

Delivery

*Free delivery offer applies to delivery fees for the standard delivery area. Any additional fees for delivery outside the standard area are not included in this promotion. Conditions apply, refer to your purchase agreement for more information.

Details of your Building

(Approx. weight: 16,300 kg)

Span	12 metres
Length	24 metres (4 Bays of 6 metres each)
Height	5.5 metres
Roof Type	Gable, 10 degree pitch
Roof	COLORBOND® steel TRIMCLAD® steel 0.42 BMT (0.47TCT) sheeting, BlueScope
Walls and Trim	COLORBOND® steel TRIMCLAD® steel 0.42 BMT (0.47TCT) sheeting, BlueScope
Downpipes	90mm PVC downpipe - 6m lengths
Roller Doors	Four (4) COLORBOND® steel 4.2m high x 4.5m wide roller doors (opening with jambs and flashings only - door by others, roller door is wind rated). Refer to the General Specification (# Access Doors) in relation to opening sizes. The Roller Doors are wrapped for protection during transport.
PA Doors	Four (4) 920mm wide pre-hung double skin COLORBOND® steel doors with keyed lockset and lever handle on both sides;
Dividing Walls	One (1) running across the span of the building. COLORBOND® steel TRIMCLAD® steel 0.42 BMT (0.47TCT) sheeting.
Purlins & Girts	Z sections bolted to rafters & columns with a minimum overlap of 10% of the bay width. The roof purlins are Z 150, the side girts are Z 150 and the end girts are Z 100. Brackets are provided so that the Z is bolted through the web.
Bracing	The building will have Knee and Apex braces. Minimum internal knee clearances are: Main Building 3.703m. Side Walls bracing will be supplied as cable.
Fixing to Footings	Cast-in Brackets.

APPROVED

Details of your Building

Span	8 metres
Length	24 metres (4 Bays of 6 metres each)
Height	4.66 metres (Low Side), 5.5 metres (High Side)
Roof Type	Skillion, 06 degree pitch
Roof	COLORBOND® steel TRIMCLAD® steel 0.42 BMT (0.47TCT) sheeting, BlueScope
Walls and Trim	COLORBOND® steel TRIMCLAD® steel 0.42 BMT (0.47TCT) sheeting, BlueScope
Downpipes	90mm PVC downpipe - 6m lengths
Open Bays	Eight (8) 6m open bays - along the sides of the steel building. Four (4) 4m open bays on the ends of the steel building. Refer to Layout (attached) for location & height clearances.
Open Gable-Ends	Steel building has sheeting as shown whilst the end-wall-mullions have been removed. Refer to the Layout attached.
Purlins & Girts	Z sections bolted to rafters & columns with a minimum overlap of 10% of the bay width. The roof purlins are Z 150, the side girts are Z 150 and the end girts are Z 100. Brackets are provided so that the Z is bolted through the web.
Bracing	The building will have Knee braces. Minimum internal knee clearances are: Main Building 3.282m.
Fixing to Footings	Columns embedded into the concrete footings.

Additional Items Quoted - Included In Total Price Above

Insulation Roof only	\$0.00
Vermaseal	\$0.00
24x8x5.5 Skillion Awning	\$0.00
4 x Cyclonic Roller shutter P/Coat Motorised, Installed	\$0.00
Total Cost of Additional Items	\$0.00

This price covers entirely our offer. Anything that has been discussed or implied that is not covered specifically in this quote has not been allowed for and will not be supplied. If we have missed something out that you require, then please contact us and we will send you a revised quotation.

APPROVED

Supplying premium quality BlueScope buildings manufactured locally.

Specific Inclusions Of Building

- Determination of the design criteria by the engineer. This includes assessment in 8 cardinal directions to determine the site design wind speed.
- A comprehensive step by step Construction Kit. This kit is specific to your building and gives step by step, simple to follow instructions on how to build your building.
- Engineering certification of the steel building to the appropriate Australian Standards.
- Slab or Pier designs for soil classes A, S, M, H1 and H2.
- Materials as nominated above supplied as per the attached "General Specification".
- BlueScope - product warranties of up to 15 years apply.

Specific Exclusions

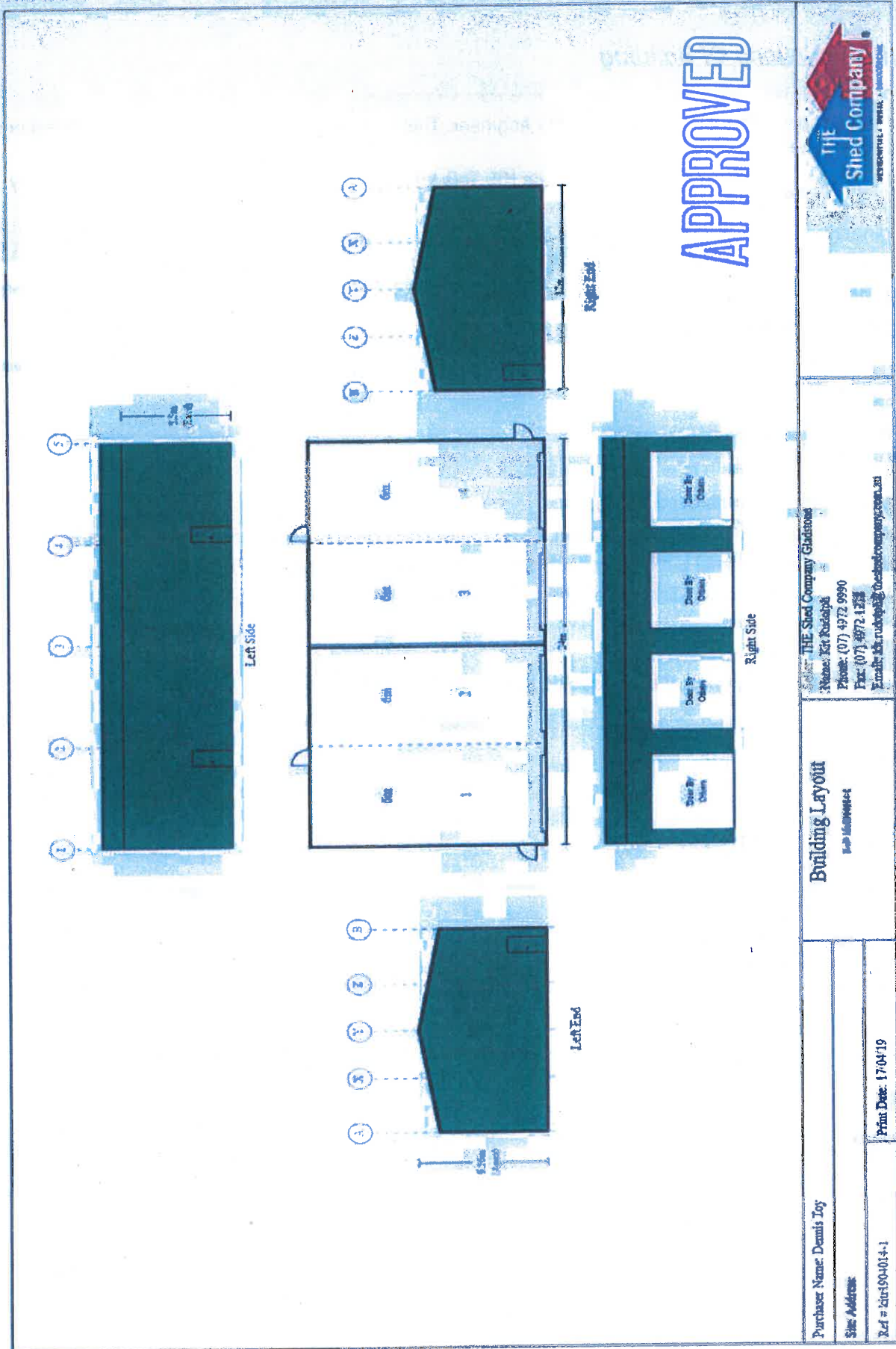
- Drawings other than detailed above.
- Consent authority including any building, development or construction certificate application(s).
- Construction of the steel building and any foundations (building is supplied as a kit).
- Insurance of the steel building once delivered to site or collected from depot.

If you have any further queries, then please do not hesitate to contact us.

Kind Regards,

Kit Rudolph
Design Consultant
Ph: (07) 4972 9990
Email: kit.rudolph@theshedcompany.com.au

APPROVED



APPROVED



Supplier: THE Shed Company Gladstone
 Address: 131 Roadpool
 Phone: (07) 4972 9990
 Fax: (07) 4972 1232
 Email: sales@shedcompany.com.au

Building Layout

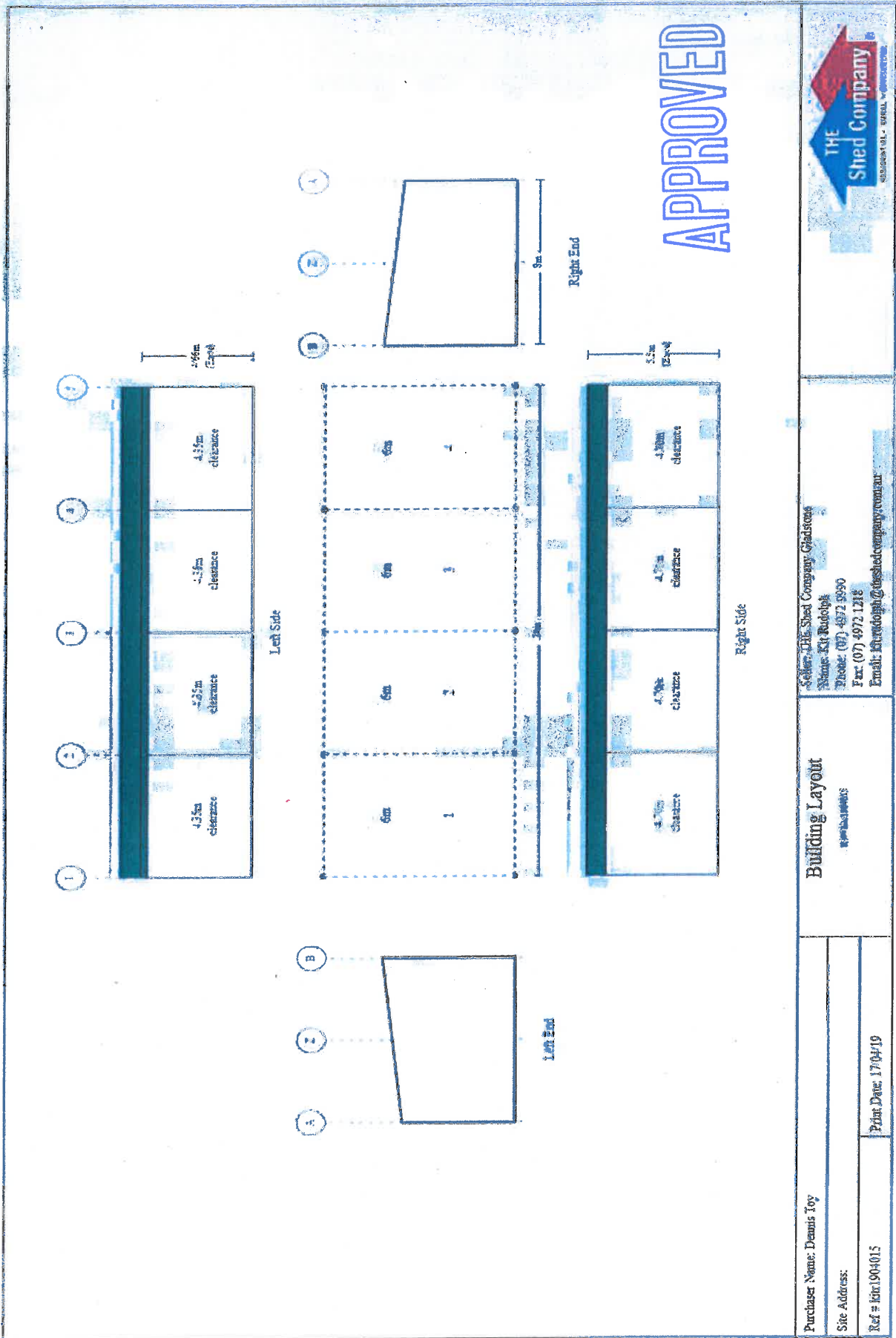
Map 16/000000-4

Purchaser Name: Dennis Joy

Site Address:

Ref # EIR1904014-1

Print Date: 17/04/19



Seller: THE Shed Company Gladstone
Address: 101 Ruddle St
Phone: (07) 4972 9990
Fax: (07) 4972 1218
Email: info@shed.com.au

Building Layout
 10/10/2019

Purchaser Name: Dennis Toy
Site Address:
Ref #: 1901015
Print Date: 17/04/19



APPROVED

Building Information

The design criteria nominated has been assessed by your trained sales consultant. This assessment is subject to the certifying engineers confirmation. Changes by the engineer may result in a change to the materials and price.

Terrain Category 2.25 (TC 2.25) is half way between:

Terrain Category 2 (TC 2) : Open terrain, including grassland, with well scattered obstructions having heights generally from 1.5m to 5m, with no more than two obstructions per hectare, e.g. farmland and cleared subdivisions with isolated trees and uncut grass.

Terrain Category 2.5 (TC 2.5) : Terrain with a few or isolated obstructions. This category represents the terrain in developing outer urban areas with scattered houses, or large acreage developments with fewer than 10 buildings per hectare. Examples: between 2 and 10 large trees per Ha, site with high vegetation or crops (over 600mm), such as vineyards, wheat etc.

From the site location and the usage information we have at hand, it is likely that the building is subject to a Marine Influence and/or Industrial Influence.

We refer you to BlueScope Technical Bulletins (in particular TB1A, TB1B, TB4, TB30 and TB35) to consider the environmental conditions and the materials that have been specified in your quotation. It is likely that the BlueScope warranties will be limited for the specified materials.

If you contact BlueScope on 1800 800 789, they will be able to discuss this further with you. Should you wish to consider changing any materials, your steel building supplier will be able to assist.

General Specifications

Due to ongoing product development, the seller reserves the right to make design and engineering changes up to the point of commencing manufacture. The engineer's final design requirements may override anything nominated.

Standards & Codes - All buildings are designed in accordance with the loads of AS/NZS 1170, AS 3600 for the concrete components, the methods of AS 4100 for steel components and the specific requirements of AS 4600 for cold formed sections.

Design Criteria - The Design Criteria nominated is subject to confirmation by the certifying engineer. Unless nominated, no allowance has been made for earthquake or snowloading. The building is not suitable for lining with gyprock.

Dimensions - all dimensions nominated are nominal sizes only Length and span are to inside of sheeting. Height is to top of gutter. Length and span may vary when sides are fully open by up to 150mm per side/end. If an exact opening or clearance is required, then this must be specifically nominated as "exact size" in the quotation.

Environmental Characteristics - All components of the steel building are designed to suit the conditions generally described as Non aggressive. Care must be taken with any steel building to ensure that regular maintenance is carried out. The suitable conditions and Maintenance requirements are defined in the various BlueScope Technical Bulletins.

Roof & Wall Sheeting - COLORBOND® steel or ZINCALUME® steel as nominated. TCT refers to Total Coated Thickness. BMT refers to Base Metal Thickness. Refer to BlueScope TB-1a&1b

GALVSPAN® steel Sections - GALVSPAN® steel C-sections, Z-sections, purlins and girts have a minimum coating of 350-gm/m² (Z350) and a minimum yield strength of 450Mpa. Refer to BlueScope TB-17

Fasteners - All major connections including Z purlins and girts are bolted. All other connections are tec screwed. Fasteners are supplied to a class 3 standard as defined in AS 3566. Roof screws with cyclonic washers are ONLY provided where the building is rated cyclonic. Should conditions be severe (ISO Category 4 or 5), then class 4 fasteners may be required. The purchaser should advise the seller if this is required. (Refer to BlueScope TB-16 and manufacturers warranty data.)

Bracing

Wall & Roof : Cross and Fly bracing as per the engineering plans, steel strapping will be supplied unless otherwise nominated. In open bays, a double eave purlin is provided for bracing purposes. Subject to engineering cross bracing in some open bays and over windows may be required.

Apex: Where nominated in the engineering drawings, apex braces are supplied. Apex braces are bolted and screwed to the rafters. Droppers are provided where necessary.

Knee Braces: Where nominated in the engineering drawings, knee braces are provided. Knee braces are bolted and screwed to the rafters and columns and in some instances of open bays to the columns and eave purlins. The knee braces and apex braces will reduce the internal clearance height of the building.

End Wall Mullions - Where nominated are fixed at 90 degrees to the columns and inside the rafter. These reduce internal clearance.

Gutters - The gutter type supplied will be nominated by our supplier as the most common type for the area.

Piers and Slab - Designs are for a safe bearing value $\geq 100\text{kPa}$. (400kPa ultimate). Where a concrete slab, or concrete slab and piers is nominated, the wall sheeting will be supplied to extend 25 mm past the slab (building height + 25 mm). When concrete piers only are nominated, wall sheeting is provided to building height. Where a 50mm step down is nominated, the wall sheeting is not extended any further.

Fixing Method - The fixing method nominated is for the main side columns. Other columns are supplied as per engineering design. Where chemical studs are nominated, due to hazardous transport laws, the chemical is to be supplied by others. The Engineers design may override your request.

Marking, Cutting and Drilling - Most components are marked for easy identification and placement. Most are also cut to length and drilled to suit bolt placement. It will be necessary to cut and/or drill some components on site.

symbol indicates items that are only included when specifically nominated in your quotation.

Colours - Not all colours are available from all manufacturing depots. 0.40 TCT wall sheeting is limited in colours in most areas.

Dividing Walls - Sheeting to one side of the wall. Where the wall is in ZINCALUME® steel, any doors etc. on the wall shall also be in ZINCALUME® steel.

Downpipes - 100 x 75 or 90 dia PVC as provided by our supplier.

Internal Stud Walls - No sheeting provided.

Access Doors - All roller doors, shutters, steel sliding or bifold doors and PA doors are NOT wind rated. Roller doors can be supplied wind rated at an additional cost. The sizes quoted are approximate door sizes - NOT clear opening sizes. Clear opening sizes may be reduced due to the building height, widths, motors or chains. At least 70mm in height will be lost due to the lead in. All roller door keys (where included) are keyed alike, unless otherwise stated. All Stable shutters will be provided in the same colour as the wall colour. Sliding doors are supplied so that each door will slide across the door bay plus one other bay as per shed layout.

Roller Door Transport Protection - All doors are either steel wrapped or hardboard covered to protect them during transport. Care must still be taken with Roller Doors.

Windows - Positions shown on plans are for illustration purposes only (all windows are 2.1m to top of window from floor level). A header flashing is provided as part of the building. Other stile material is provided to enable secure fixing of the windows and surrounding sheeting. An 'X' shown in the elevation on a window represents cross bracing over the window.

Mezzanine Floors - Supply is for bearers and joists only. Flooring, stairs and balustrading are not supplied. Combined Dead Load plus Live Load of 1.5kPa maximum. Joists spacing of 600mm. Support posts fitted under bearers in line with End Wall Mullion positions.

Skylights - Translucent (Opal) Fibreglass sheeting. Industrial weight (2400 gm per m²). Safety mesh (if required) is to be provided by others. Maximum of one sheet per bay, per side.

Insulation + Wire - Of the type nominated in the quote.

Delivery - Delivery is quoted to within the normal delivery runs. Additional fees apply where the address is off the run. Alternatively delivery is to be ex works. Unloading of the whole kit is not included where any length exceeds 11.8m. Semi trailer access required. Where a body truck is requested it is subject to availability. Should a body truck be requested and it is not available for the site then the building shall be either ex works or delivered to an alternative address by a semi trailer.

Ex Works - Collection will be from our supplier's depot nominated as the manufacturing location in the quote letter.

Pricing - Pricing is valid for 30 days, unless notified of an impending price rise where the price rise date will become the new validation date.

APPROVED

FODICO PTY LTD

Construction Environment Management Plan

This plan sets out the minimum environmental management requirements that must be met or exceeded for the construction of buildings, services and pavement on GPC leasehold land – 223 Alf O'Rourke Drive, Gladstone Marina

Uncontrolled when printed unless issued and stamped Controlled Copy.

APPROVED