

26 October 2021

Curtis Island Assets Pty Ltd
c/- Zone Planning Group, Sarah Hunt
PO Box 3805
BURLEIGH TOWN QLD 4220

Dear Ms Hunt

DECISION NOTICE – APPROVAL WITH CONDITIONS – DA2021/28/01

(GIVEN UNDER THE PROVISIONS OF GPC LAND USE PLAN 2012V2)

1. Application Details

This development application was **properly made** to the Gladstone Ports Corporation Limited on **24 August 2021**.

Application Number:	DA2021/28/01
Applicant Name:	Curtis Island Assets Pty Ltd
Applicant Contact Details:	Sarah Hunt Zone Planning Group PO Box 3805 BURLEIGH TOWN QLD 4220 Email: sarah@zoneplanning.com.au
Approvals Sought (GPC - Land Use Plan):	Port Application for igloo for vessel maintenance
Details of Proposed Development:	Installation of igloo structure on existing concrete hardstand for undercover vessel maintenance
Location Street Address:	31 Morgan Street (<i>known as 3 Rooksby Street</i>) GLADSTONE QLD 4680
Location Real Property Description:	Part of Lot 258 on CTN1351
Land Owner:	Gladstone Ports Corporation Limited
Land Use Plan Precinct:	Strategic Port Land – Light Industry and Commercial Precinct
Local Government Area:	Gladstone

2. Details Of Proposed Development

Port application for installation of igloo structure for undercover vessel maintenance.

3. Details Of Decision

This development application was **decided** on **26 October 2021**.

This development application is **approved in full with conditions**. These conditions are set out in Attachment 1 and are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

This application is **not** taken to have been approved (a deemed approval) under section 64(5) of the *Planning Act 2016*.

4. Details Of Approval

This development approval is a **Development Permit** given for:

- (a) Port Application for undertaking work in, on, over or under premises that materially affects the premises or their use including excavating or filling (*GPC Land Use Plan 2012v2*).

5. Conditions

This development approval is subject to the conditions in Attachment 1 - Part 1 and Part 2.

6. Further Development Permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

- (a) Any approvals for building works.

7. Approved Plans and Specifications

Copies of the following plans, specifications and/or drawings are approved and enclosed in Attachment 2:

Drawing/report title	Prepared by	Date	Job no. / Shelter Code	Version	Approval subject to the following changes
Aspect of development: Port application (Land Use Plan)					
CATA1724BDSOM 1 of 13	Allshelter	16/06/2020	8180 – Shelter Assembly	Rev. C	
CATA1724BDSOM 2 of 13	Allshelter	16/06/2020	8180 – Shelter Assembly	Rev. C	

CATA1724BDSOM Footing Layout - 3 of 13	Allshelter	16/06/2020	8180 – Shelter Assembly	Rev. C	
Shelter Assembly - Inner footing bracket details - 4 of 13	Allshelter	16/06/2020	8180 –CATA1724BDSIM		
CATA1724BDSOM HB and ET Layout 5 of 13	Allshelter	16/06/2020	8180 – Shelter Assembly	Rev. C	
CATA1724BDSOM ARC 01: Qty required: 2 - 6 of 13	Allshelter	16/06/2020	8180 – Shelter Assembly	Rev. C	
CATA1724BDSOM ARC 02: Qty required: 2 - 7 of 13	Allshelter	16/06/2020	8180 – Shelter Assembly	Rev. C	
CATA1724BDSOM ARC 03: Qty required: 2 - 8 of 13	Allshelter	16/06/2020	8180 – Shelter Assembly	Rev. C	
CATA1724BDSOM ARC 04: Qty required: 2 - 9 of 13	Allshelter	16/06/2020	8180 – Shelter Assembly	Rev. C	
CATA1724BDSOM ARC 05: Qty required: 5 -10 of 13	Allshelter	16/06/2020	8180 – Shelter Assembly	Rev. C	
CATA1724BDSOM Arc and Brace Layout – 11 of 13	Allshelter	16/06/2020	8180 – Shelter Assembly	Rev. C	
CATA1724BDSOM Cover Fixings Detail – 12 of 13	Allshelter	16/06/2020	8180 – Shelter Assembly	Rev. C	
CATA1724BDSOM – 13 of 13	Allshelter	16/06/2020	8180 – Shelter Assembly	Rev. C	
Environmental Management Plan 3 Rooksby Street Gladstone	Sealink	23/02/2016	Revised 12/04/2020		

12. Currency Period for the Approval

This development approval will lapse at the end of the periods set out below:

- (a) For Port Application this approval lapses 6 years after this approval decision date.

13. Rights of Appeal

No legislated appeal rights are afforded with this decision notice as the application was not made under the provisions of the *Planning Act 2016*.

For further information please contact Judy Horsfall, Planning Advisor, on 07 4976 1314 or the undersigned on 07 4976 1287 or via email planning@gpcl.com.au.

Yours sincerely,



Erin Clark
Principal Planner

Enc. Attachment 1: Conditions of Approval
Part 1 – Conditions imposed by the assessment manager
Attachment 2: Approved plans and specifications

Attachment 1 Conditions of Approval

PART 1: ASSESSMENT MANAGER CONDITIONS

In general the development proposal is in compliance with the requirements of Gladstone Ports Corporation Limited (GPC). This development approval is subject to each the following conditions which are stated by GPC, the Assessment Manager.

Part 1a: Approval sought under Land Use Plan - Port Application

GENERAL

1. Development must be carried out generally in accordance with the Approved plans, except where modified by conditions of this permit.
2. Unless otherwise stated, all conditions must be complied with and completed prior to the commencement of the development.
3. Where additional "approval" is required under these conditions by the Assessment Manager (GPC) for drawings or documentation the proponent must submit for review, amend to the satisfaction of, and obtain written approval from the Assessment Manager.
4. The proponent must at its cost and expense, keep and maintain the development footprint, including existing services, in a state that is satisfactory to the Assessment Manager.

ENGINEERING

5. Upon completion of the works, the proponent must supply GPC with RPEQ certified "As Constructed" plans in both hard copy (2 of) and electronic (CAD format) which illustrate all infrastructure and services installed on, under or over Port land associated with the activity.
6. Prior to the use commencing, the proponent must certify that the development is constructed as per design and that the development has been constructed generally in accordance with the Approved plans.
7. Any site lighting used during construction / works should not negatively impact on the visibility of Navigational Aids utilised for the primary shipping channels nor illuminate a landward glare beyond the site boundary. Lighting must be reviewed during construction with respect to navigation. Where an issue is identified or a validated complaint received, the proponent must immediately rectify to the satisfaction of the Assessment Manager.

Design

8. The colour scheme of the igloo structure is to be consistent with the site and surrounding area, such as white, grey, blue or light colour tones for containers and white canvas roof.

Stormwater

9. Stormwater from the igloo structure must be directed to Auckland Inlet or Rooksby Street frontage drainage via existing stormwater discharge points to ensure stormwater is not discharged to adjacent premises.

Waste management

10. At all times, maintain and operate an adequate waste disposal service, including the maintenance of refuse bins and associated storage areas so as not to cause an environmental nuisance.

Construction Management

11. The hours for the construction of the facility (i.e. operation of any machinery and/or other equipment) shall be restricted to between 6.30am and 6:30pm Monday to Friday and 7.30am to 12.30pm Saturday. No works shall be undertaken on Sunday or on public holidays. Any variations to these times will be subject to the written approval of the Assessment Manager.

ENVIRONMENT

Environmental Management Plan

12. The approved development must be undertaken in accordance with the approved Environmental Management Plan 3 Rooksby Street Gladstone revision date 04/12/2020.
13. Any amendments to the EMP are to be submitted to the Assessment Manager (GPC) for review and approval. Amendments must ensure:
 - (a) environmental risks are identified, managed and continually assessed; and
 - (b) that staff are trained and aware of their obligations under the OEMP, including a copy of the management plan and development approval available on site at all times; and
 - (c) that reviews of environmental performance are undertaken at least annually.

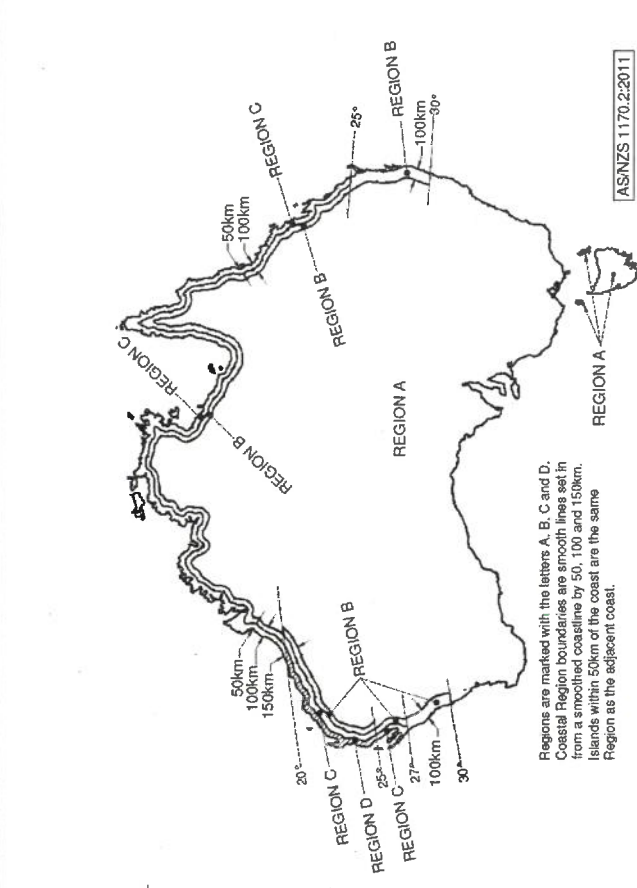
Incident notification

14. Gladstone Ports Corporation Environment Hotline (07) 4976 1617 is to be notified of the occurrence of any:
 - (a) release / spill of contaminants (e.g. fuels / chemicals / sewerage) greater than 250L to land;
 - (b) release / spill of contaminants (e.g. fuels / chemicals / sewerage) of any amount to water;
 - (c) any environmental complaints received by the holder of this approval; and
 - (d) non-compliance with conditions of this approval or any other environmental approval obtained in relation to the development.
15. Environmental incident notification must be included in any Environmental Management Plans for the premises.

ADVICE NOTES

1. All other relevant approvals must be obtained before commencement of the development or operation of the development, including any Building works or Plumbing and drainage works.
2. The *Environmental Protection Act 1994* states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks, construction, and operational phases of this development, are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm.
3. This decision notice does not represent an approval to commence Building work.
4. Where the Applicant is required to submit further documentation to the Assessment Manager, this is to be directed to the Planning section at planning@gpcl.com.au, including reference to the allocated development application number.

Attachment 2 Approved Plans and Specifications



ASINZS 1170.2:2011

Regions are marked with the letters A, B, C and D. Coastal Region boundaries are smooth lines set in from a smoothed coastline by 50, 100 and 150km. Islands within 50km of the coast are the same Region as the adjacent coast.

NOTE:
 1) THESE DRAWINGS ARE DESIGNED FOR USE BY A QUALIFIED BUILDER EXPERIENCED IN THE USE OF ALL FORMS OF CONSTRUCTION TO BE USED IN THIS PROJECT.
 2) THE SHIPPING CONTAINERS USED TO SUPPORT THE ROOF STRUCTURE HAVE NOT BEEN CHECKED AS PART OF THE STRUCTURAL DESIGN OF THE SHELTER. IT IS THE RESPONSIBILITY OF THE CLIENT TO ENSURE THAT ALL CONTAINERS WILL BE IN GOOD CONDITION AND ARE SUITABLE TO WITHSTAND THE ARCH FORCES FROM THE ROOF STRUCTURE.
 3) IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE FABRIC REMAINS TIGHT. FLOGGING OF THE FABRIC WILL OVERLOAD THE STEEL FRAME. COOK & ROE CANNOT GUARANTEE THE DESIGNER'S RESPONSIBILITY FOR FLOGGING OCCURS.

APPROVED

26/10/2021
 [Signature]

FOUNDATIONS:

- F1. FOOTINGS HAVE BEEN DESIGNED FOR ALL ALLOWABLE BEARING PRESSURE OF 150 kPa AND ALLOWABLE SHAFT ADHESION OF 15 kPa.
 - F4. FOUNDATION MATERIAL SHALL BE INSPECTED AND APPROVED BY A QUALIFIED GEOTECHNICAL ENGINEER FOR THE ABOVE SAFE BEARING PRESSURE BEFORE PLACING CONCRETE.
- REINFORCED CONCRETE:**
- C1. ALL WORKMANSHIP SHALL BE IN ACCORDANCE WITH ASS900.
 STEEL REINFORCING FOR CONCRETE SHALL COMPLY WITH AS/NZS4671.
 REINFORCEMENT SHALL SATISFY THE FOLLOWING GRADE REQUIREMENTS:
 N- DENOTES GRADE 500 NORMAL DUCTILITY DEFORMED BAR TO AS4671
 R- DENOTES GRADE 250 NORMAL DUCTILITY PLAIN ROUND BAR TO AS4671
 SL- DENOTES GRADE 500 LOW DUCTILITY WELDED SQUARE MESH TO AS4671
 A CERTIFICATE BY THE REINFORCING STEEL SUPPLIER SHALL BE PROVIDED TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REQUIREMENTS.

ELEMENT	SLUMP mm	MAX SIZE AGG mm	CONCRETE GRADE
FOOTINGS	80±15	20	N25
SLAB ON GROUND	80±15	20	N32

- C2. MINIMUM CLEAR CONCRETE COVER TO REINFORCEMENT INCLUDING TIES AND STIRRUPS SHALL BE AS FOLLOWS UNLESS OTHERWISE SHOWN

ELEMENT	COVER mm
FOOTINGS	50
SLAB ON GROUND	40

- C3. ALL CONCRETE SHALL BE COMPACTED WITH MECHANICAL VIBRATORS. VIBRATORS SHALL NOT BE USED TO SPREAD CONCRETE.
 SPLICE IN REINFORCEMENT SHALL NOT BE MADE WITHOUT THE APPROVAL OF COOK & ROE.
 WELDING OF REINFORCEMENT IS NOT PERMITTED.

COMPACTED FILLING

- CF1. BEFORE PLACING ANY FILL, ALL ORGANIC MATERIAL & TOP SOIL ARE TO BE REMOVED & THE AREA PROOF ROLLED TO IDENTIFY ANY LOW STRENGTH AREAS. IF NECESSARY, LOW STRENGTH MATERIAL IS TO BE EXCAVATED TO OBTAIN A UNIFORM STRENGTH BASE PRIOR TO PLACEMENT OF FILL MATERIAL.
- CF2. WHERE FILL IS REQUIRED, A SUITABLE FILL MATERIAL CERTIFIED BY A QUALIFIED GEOTECHNICAL ENGINEER SHALL BE PLACED IN 150mm LAYERS & COMPACTED TO A DENSITY RATIO NOT LESS THAN 98% STANDARD PRO DENSITY IN ACCORDANCE WITH AS 3798-2007 *GUIDELINES ON EARTHWORKS FOR COMMERCIAL & RESIDENTIAL DEVELOPMENTS*. FURTHERMORE, THE SUBGRADE SHOULD BE COMPACTED TO ACHIEVE TO MEET THE SAME COMPACTION REQUIREMENTS NOTED ABOVE PRIOR TO PLACEMENT OF FILL.

GENERAL:

- G2. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
- G3. ALL LEVELS AND SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED ON SITE BEFORE CONSTRUCTION.
- G4. DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
- G5. DESIGN LOADS.
- G6. COMBINATION LOADS (ASINZS 1170.2:2002) SECTION 4 WIND LOAD (ASINZS 1170.2:2011) level 3 wind speed: A: 42.7m/s B: 52.9m/s C: 64.8m/s
- G7. * REFERS TO WIND REGION SPECIFIED IN THE TABLE BELOW SHELTER CODE BELOW.
- G8. SNOW LOAD - NOT ALLOWED - REFER TO ENGINEER FOR REDESIGN IF IN SNOW AREA.
- G9. STRUCTURAL IMPORTANCE LEVEL - 2

NOTE: 1. ULTIMATE DESIGN WIND SPEED V_{ult} INCLUDES A FACTOR FOR BUILDING HEIGHT, BUT NOT FOR LOCAL TOPOGRAPHIC EFFECTS SUCH AS HILLS & ESCARPMENTS. THESE DRAWINGS ARE NOT VALID IF THESE EFFECTS OCCUR ON-SITE. CONTACT COOK AND ROE FOR A REVISED DESIGN IN THESE CIRCUMSTANCES.
 2. STRUCTURAL ASSESSMENT & SUITABILITY OF CONTAINERS FOR RESISTING AIR FORCES BY OTHERS
 3. THE SUPPLY AND USE OF THESE DRAWINGS IS SUBJECT TO THE ALLSHELTER STANDARD TERMS OF CONTRACT AS DISPLAYED ON WWW.ALLSHELTER.COM.AU

STRUCTURAL STEEL WORK:

- S1. FABRICATION AND ERECTION TO BE IN ACCORDANCE WITH AS4100 SECTIONS 14 & 15 AND ASINZS1554 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS. STRUCTURAL STEEL SHALL COMPLY WITH ASINZS1163, ASINZS3678 AND ASINZS3679.1.
- S2. STRUCTURAL STEEL SHALL BE CONSTRUCTED FROM THE FOLLOWING GRADES:
 ROLLED SECTIONS GRADE 300 plus
 RECTANGULAR HOLLOW SECTION GRADE 350/450 AS NOTED ON PLAN
 CIRCULAR HOLLOW SECTIONS GRADE 250/350 AS NOTED ON PLAN
 PLATE GRADE 250
 A. CERTIFICATE BY THE STRUCTURAL STEEL SUPPLIER SHALL BE PROVIDED TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REQUIREMENTS.
- S3. STRUCTURAL STEEL WORK SHALL BE OF THE FOLLOWING DIMENSIONS UNO.

SECTION	GRADE
FLATS, PLATES, ROUNDS	ASINZS3678 - 300 ASINZS3679.1 - 250
COLD-FORMED SHS, RHS, CHS	ASINZS1163 - C345 - C350

- S4. ALL DIMENSIONS GIVEN FOR MATERIALS ARE GROSS DIMENSIONS WITH NO REDUCTION FOR WELD PREPARATION.
 BOLTS DESIGNATED 4.6/5 SHALL BE COMMERCIAL GRADE BOLTS TO AS AS1111 & NUTS TO AS TO AS1112 (GRADE 4.6) TIGHTENED TO A SNUG FIT. BOLTS DESIGNATED 8.8/5 SHALL BE HIGH STRENGTH BOLTS TO ASINZS1232 TIGHTENED TO A SNUG FIT.
- S7. ALL WASHERS FOR HIGH STRENGTH BOLTS SHALL BE HARDENED STEEL TO ASINZS1232 EXCEPT FOR SNUG-TIGHT JOINTS WHERE BLACK STEEL WASHERS TO AS1237 MAY BE USED.
- S8. A FLAT WASHER IS TO BE FITTED UNDER THE ROTATING COMPONENT OF EACH BOLT.
- S14. ALL BOLTS, NUTS AND WASHERS SHALL BE HOT DIPPED GALVANIZED BY THE MANUFACTURER.
- S15. THE CONTRACTOR SHALL PROVIDE ALL CLEATS AND DRILL ALL HOLES NECESSARY FOR FRING STEEL, TO STEEL, WHETHER OR NOT DETAILED IN THE DRAWING.
- S17. WELDS SHALL BE 6mm CONTINUOUS FILLET, ELECTRODES E60XX, BOLTS M12 DIAMETER, GUSSET PLATES AND CLEATS 6mm THICK UNO.



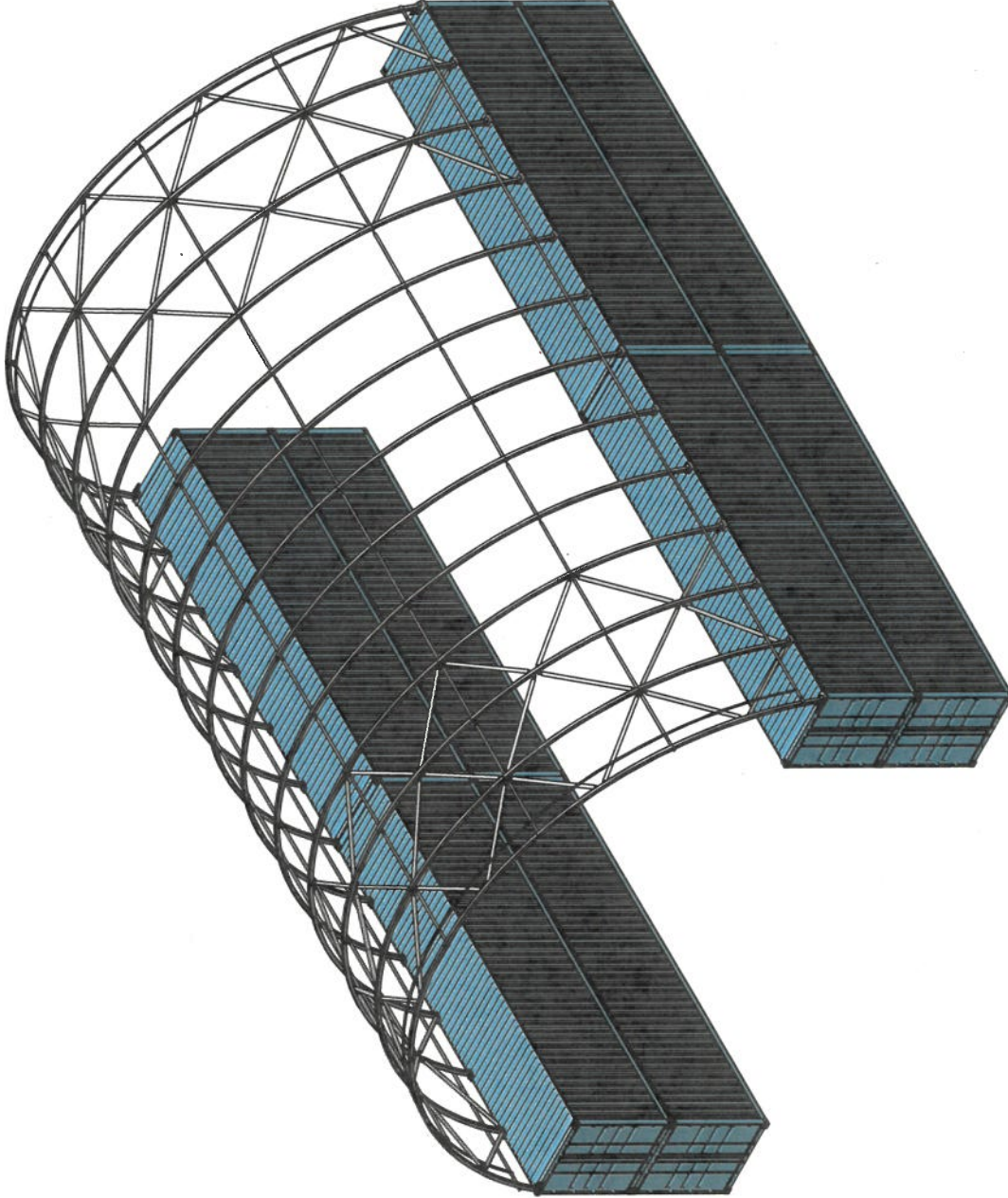
TITLE: **CATA1724BDSOM**
 SHELTER CODE: **SHELTER ASSEMBLY**

APPROVED FOR CONSTRUCTION	16/06/20
FOOTING CONTAINER HEIGHT AMENDED	12/08/20
KN LOADING ADDED	05/06/20
RELEASE FOR APPROVAL	28/05/20
DETAILS	

APPROVED	Shihab
DATE:	28/05/20
SCALE:	NTS
PAGE:	1 of 13

JOB NUMBER:	8180
DATE:	28/05/20
SCALE:	NTS
PAGE:	1 of 13

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APPROVED

26/10/2021 *Shihab*

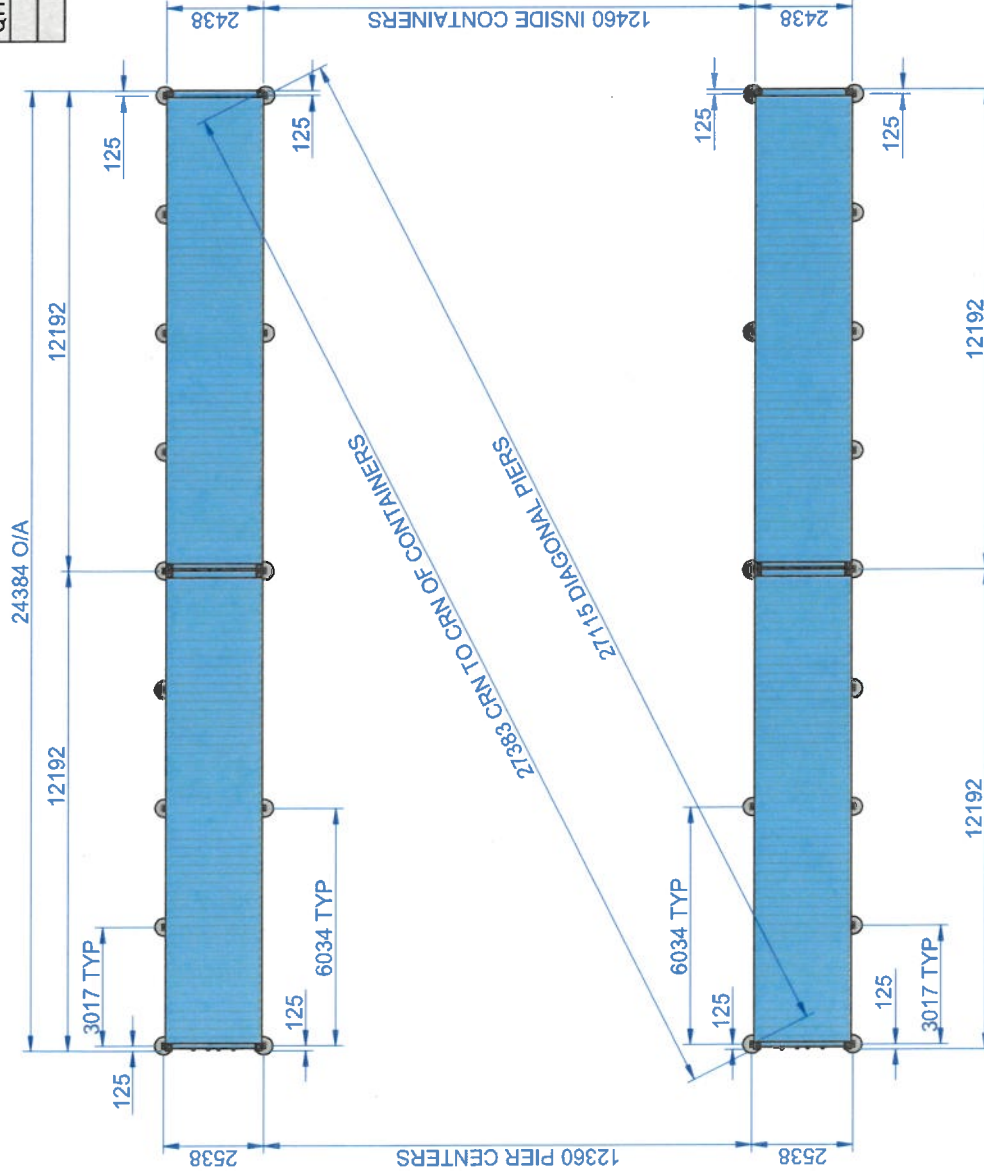
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REV DATE DETAILS		DRAWN: Shihab		SHELTER CODE: SHELTER ASSEMBLY	
16/06/20 APPROVED FOR CONSTRUCTION		DATE: 29/05/20		SCALE: NTS	
C 12/06/20 FOOTING CONTAINER HEIGHT AMENDED		DATE:		PAGE: 2 of 13	
B 05/06/20 KN LOADING ADDED		DATE:		PAGE:	
A 29/05/20 RELEASE FOR APPROVAL		DATE:		PAGE:	
REV DATE DETAILS		DATE:		PAGE:	

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Reaction forces (uplift):

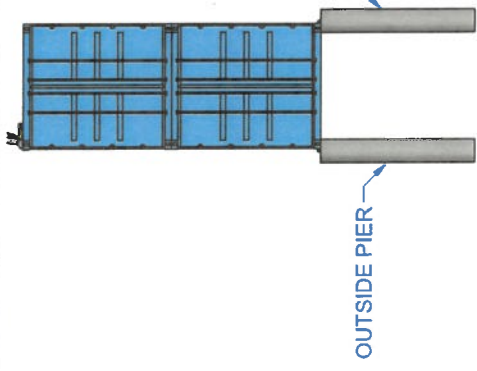
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-Inside: 5kN/m (30kN at each pier location)

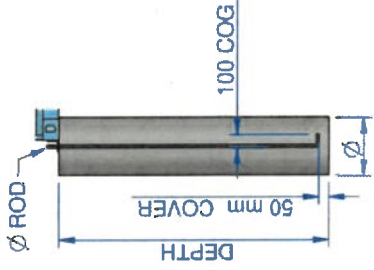


APPROVED

26/10/2021 *J Henshall*



PIER



PIER DETAIL

PIER/BALLAST DETAILS	
MOUNTING	FRAME MOUNTED ALONG INNER EDGE OF CONTAINER
CONTAINER HEIGHT	2890mm
POSITION	INSIDE
Ø PIER	450
QTY + DEPTH (mm)	5x2000
Ø ROD	20
	OUTSIDE
	450
	5x2400
	20

FOOTING LAYOUT

NOTE: FOOTING AND REACTION FORCES ARE FOR WIND REGION-A,
STEEL STRUCTURE ARE FOR WIND REGION-B

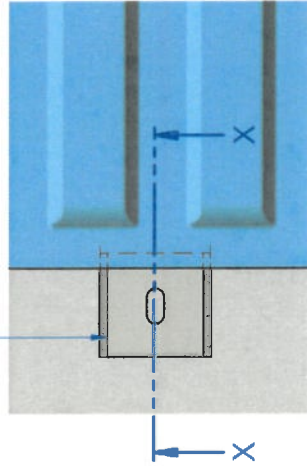
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JOB NUMBER: 8180		SHELTER CODE: SHELTER ASSEMBLY	
APPROVED FOR CONSTRUCTION	16/06/20	DATE: 28/05/20	SCALE: NTS
FOOTING CONTAINER HEIGHT AMENDED	C 12/06/20	DATE: 28/05/20	SCALE: NTS
KN LOADING ADDED	B 05/06/20	DATE: 28/05/20	SCALE: NTS
RELEASE FOR APPROVAL	A 28/05/20	DATE: 28/05/20	SCALE: NTS
REV	DATE	DETAILS	APPROVED



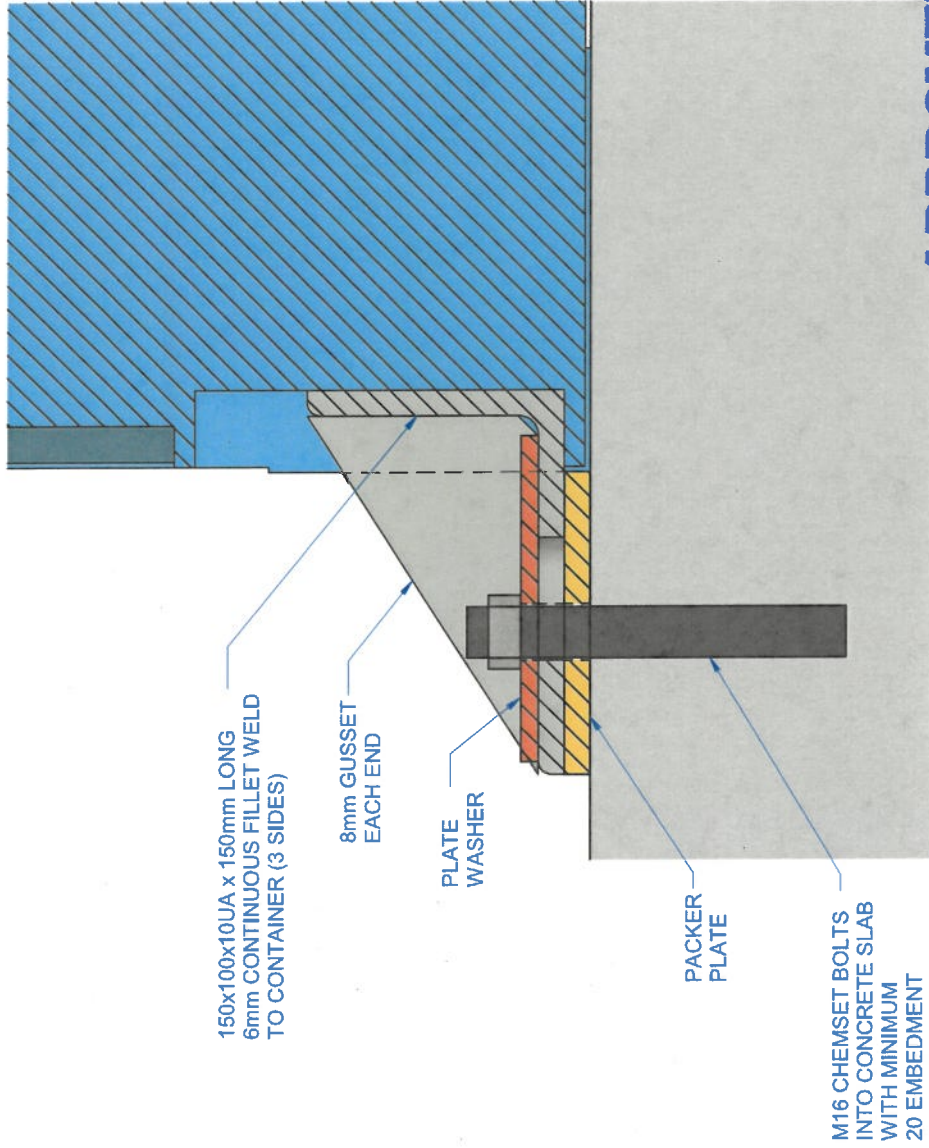
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FOOTING BRACKET
BY OTHERS



TOP VIEW



SECTION X-X

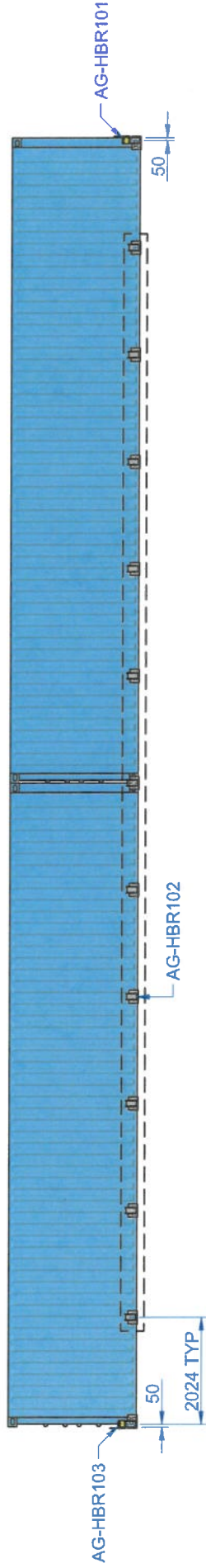
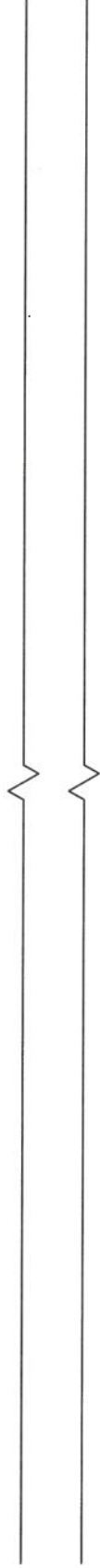
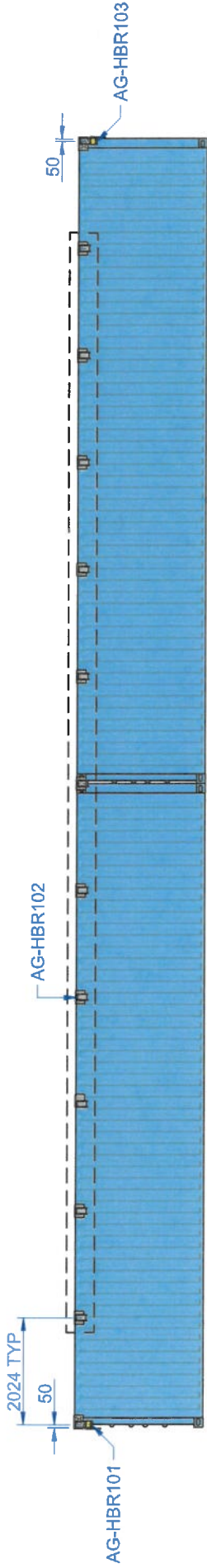
APPROVED

26/10/2021 *Mensfield*

INNER FOOTING BRACKET DETAILS

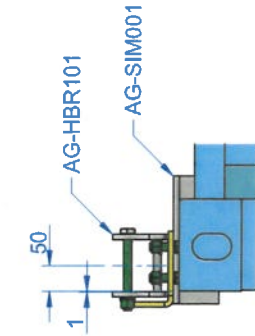
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		SHELTER CODE: CATA1724BDSIM	
JOB NUMBER: 8180		DATE: 28/10/20	SCALE: NTS
DRAWN: Shihab	APPROVED:	PAGE: 4 of 13	16/09/20 APPROVED FOR CONSTRUCTION
REV DATE DETAILS	APPROVED	DETAILS	16/09/20 APPROVED FOR CONSTRUCTION

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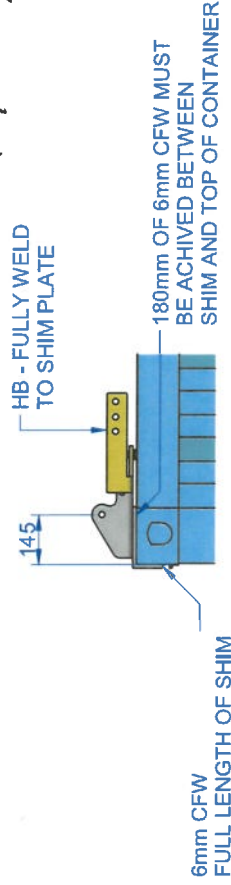


APPROVED

26/10/2021 Shihab



END HB PLACEMENT



TYPICAL 'SHIM' AND 'HB' CONNECTION TO CONTAINERS

HB AND ET LAYOUT



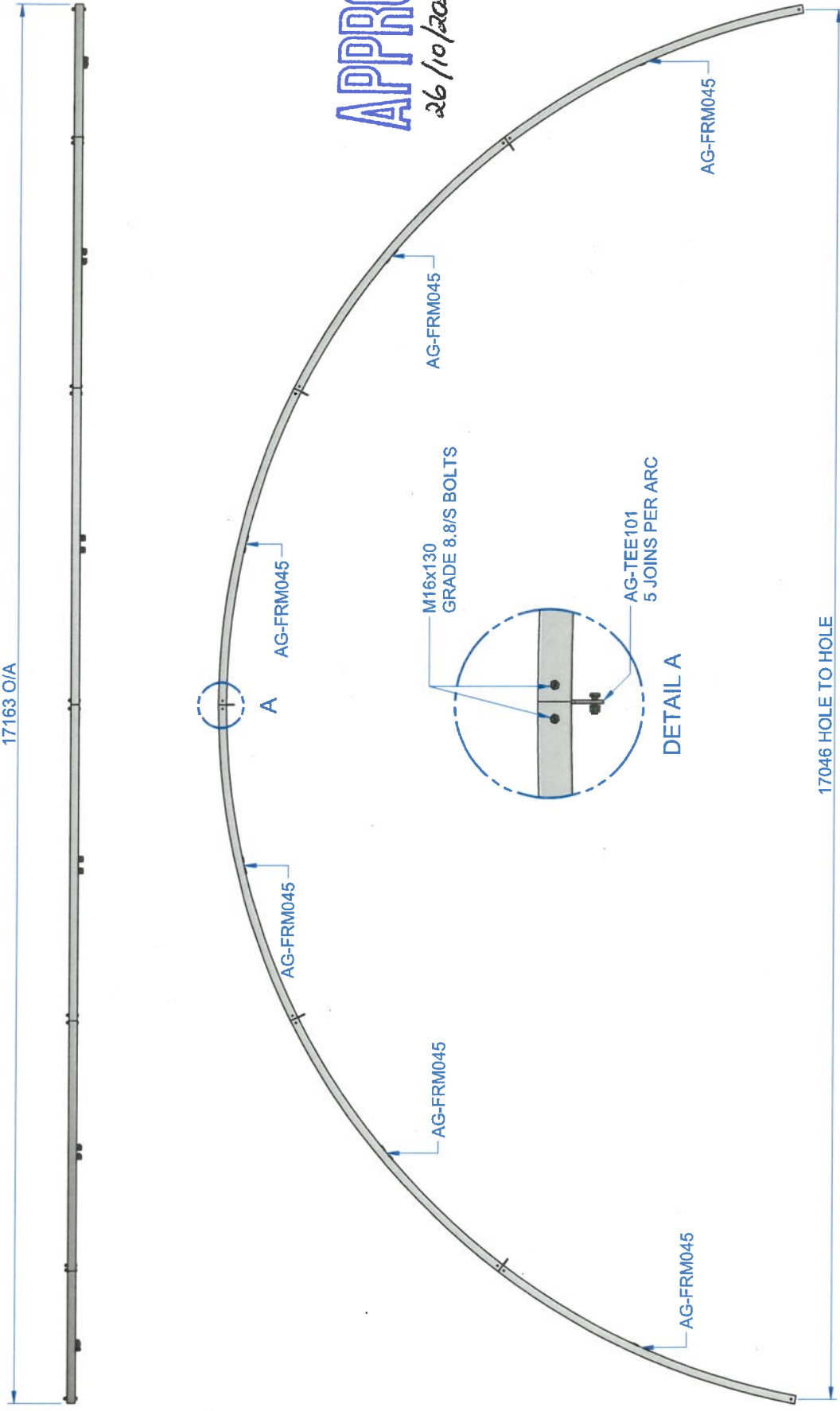
REV	DATE	DETAILS	APPROVED	DRAWN:	DATE:	SCALE:	NTS	PAGE:
A	28/05/20	RELEASE FOR APPROVAL		Shihab	28/05/20			5 of 13
B	05/06/20	KN LOADING ADDED						
C	12/06/20	FOOTING CONTAINER HEIGHT AMENDED						
		APPROVED FOR CONSTRUCTION						

JOB NUMBER:	8180
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17163 O/A



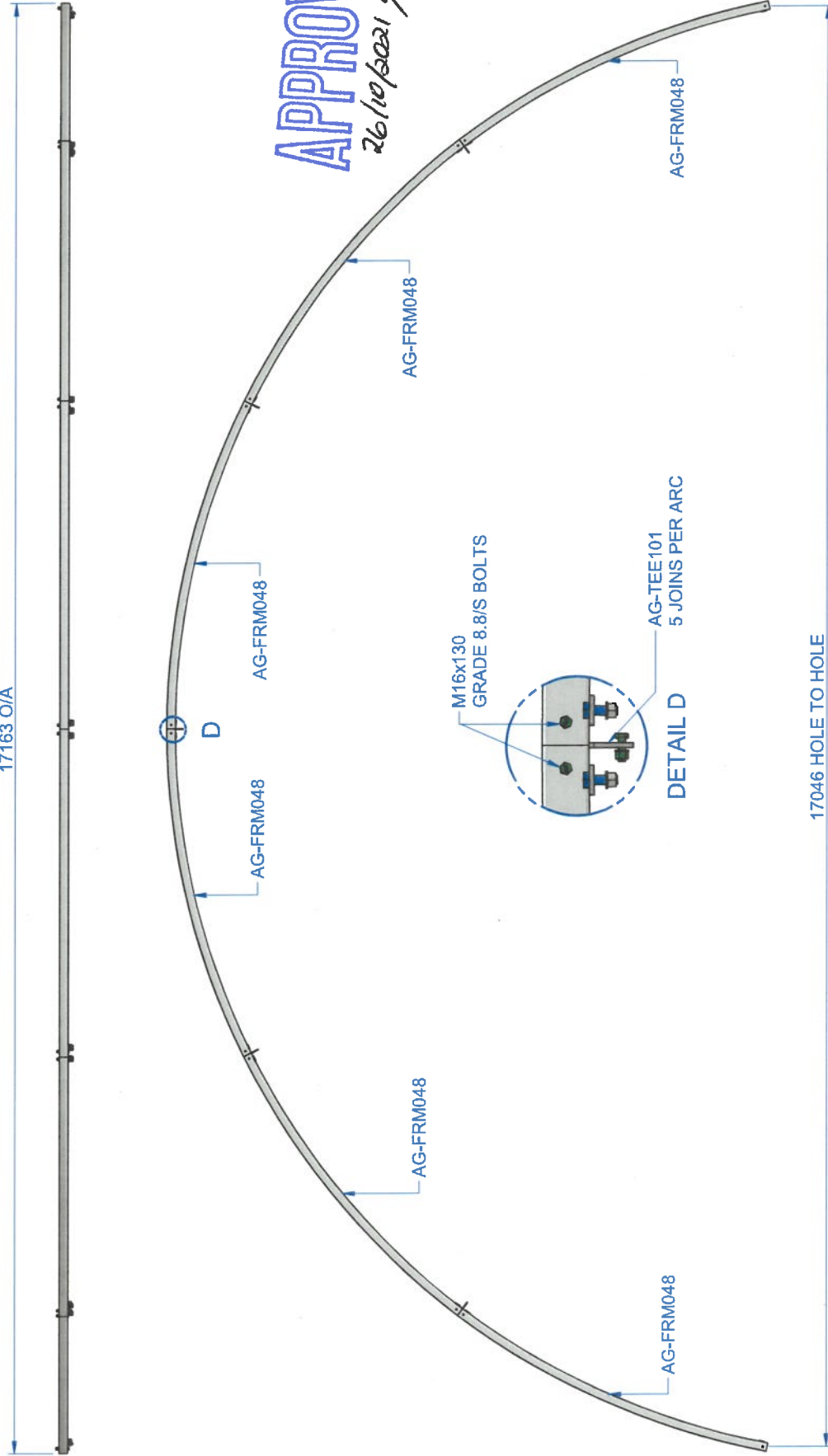
APPROVED
26/10/2021 *[Signature]*

ARC 01: QTY REQUIRED: 2

		TITLE: CATA1724BDSOM		JOB NUMBER: 8180				SCALE: NTS		PAGE: 6 of 13	
		SHELTER CODE: SHELTER ASSEMBLY		DATE: 28/05/20		DATE: 28/05/20		SCALE: NTS		PAGE: 6 of 13	
REV		DATE		DETAILS		APPROVED		APPROVED		APPROVED	
18/06/20		APPROVED FOR CONSTRUCTION		APPROVED FOR CONSTRUCTION		APPROVED FOR CONSTRUCTION		APPROVED FOR CONSTRUCTION		APPROVED FOR CONSTRUCTION	
C		12/06/20		FOOTING CONTAINER HEIGHT AMENDED		FOOTING CONTAINER HEIGHT AMENDED		FOOTING CONTAINER HEIGHT AMENDED		FOOTING CONTAINER HEIGHT AMENDED	
B		05/06/20		KN LOADING ADDED		KN LOADING ADDED		KN LOADING ADDED		KN LOADING ADDED	
A		28/05/20		RELEASE FOR APPROVAL		RELEASE FOR APPROVAL		RELEASE FOR APPROVAL		RELEASE FOR APPROVAL	

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17163 O/A



17046 HOLE TO HOLE

ARC 04: QTY REQUIRED: 2

TITLE:

CATA1724BDSOM

SHELTER CODE:

SHELTER ASSEMBLY

JOB NUMBER:

8180



PAGE:

9 of 13

SCALE:

NTS

DATE:

28/05/20

DRAWN:

Shihab

APPROVED

DETAILS



18/06/20 APPROVED FOR CONSTRUCTION

C 12/06/20 FOOTING CONTAINER HEIGHT AMENDED

B 05/06/20 KN LOADING ADDED

A 28/05/20 RELEASE FOR APPROVAL

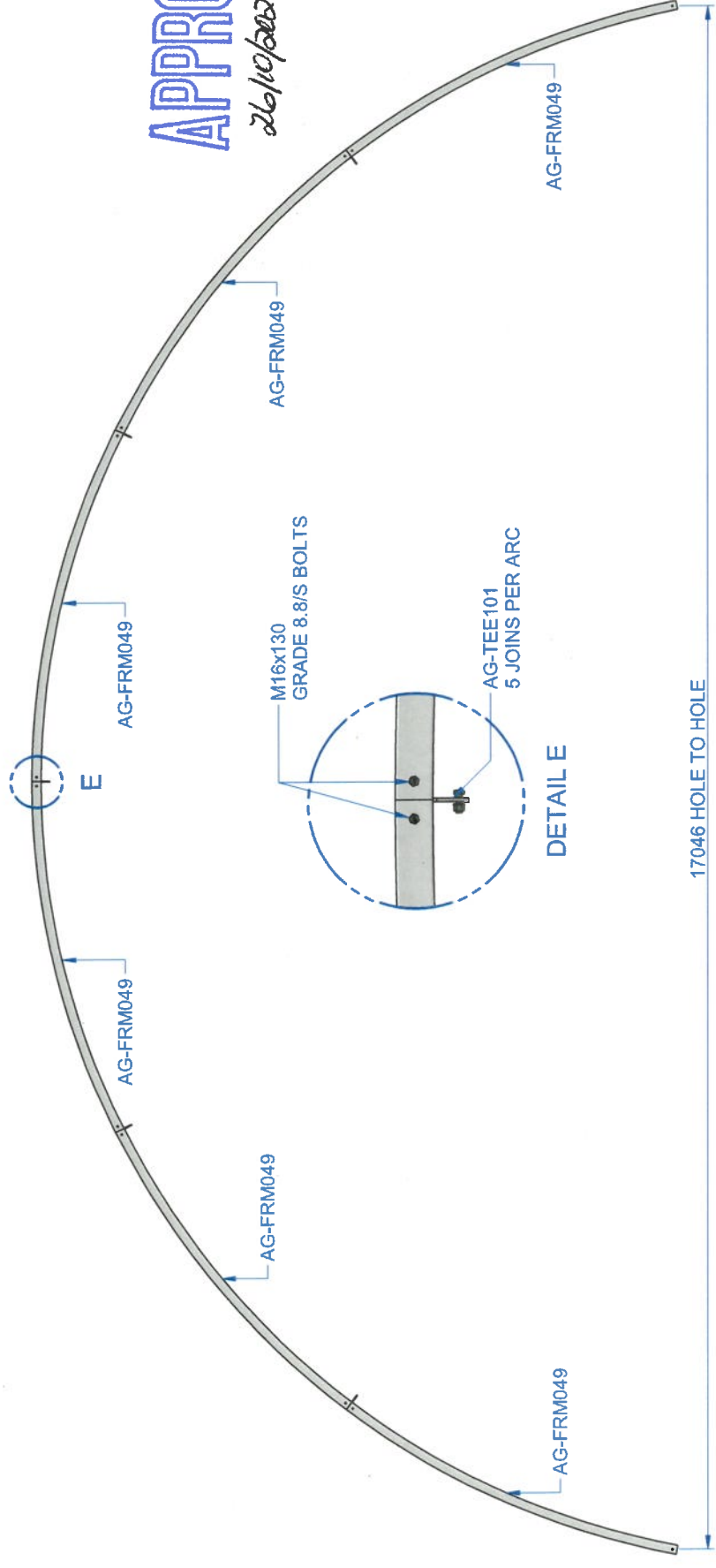
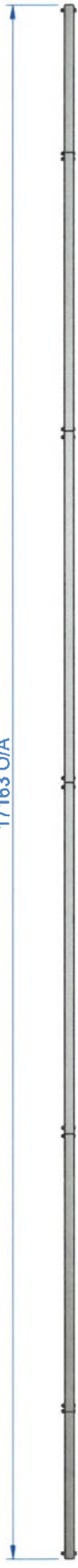
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DATE

DETAILS

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17163 O/A



APPROVED

26/10/2021 M. H. J.

ARC 05: QTY REQUIRED: 5



REV	DATE	DETAILS	APPROVED
A	08/05/20	RELEASE FOR APPROVAL	
B	05/06/20	KN LOADING ADDED	
C	12/06/20	FOOTING CONTAINER HEIGHT AMENDED	
	16/06/20	APPROVED FOR CONSTRUCTION	

JOB NUMBER:
8180



DATE: 28/05/20
SCALE: NTS
PAGE: 10 of 13

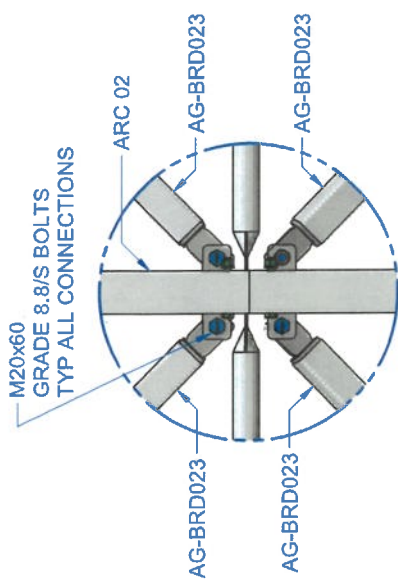
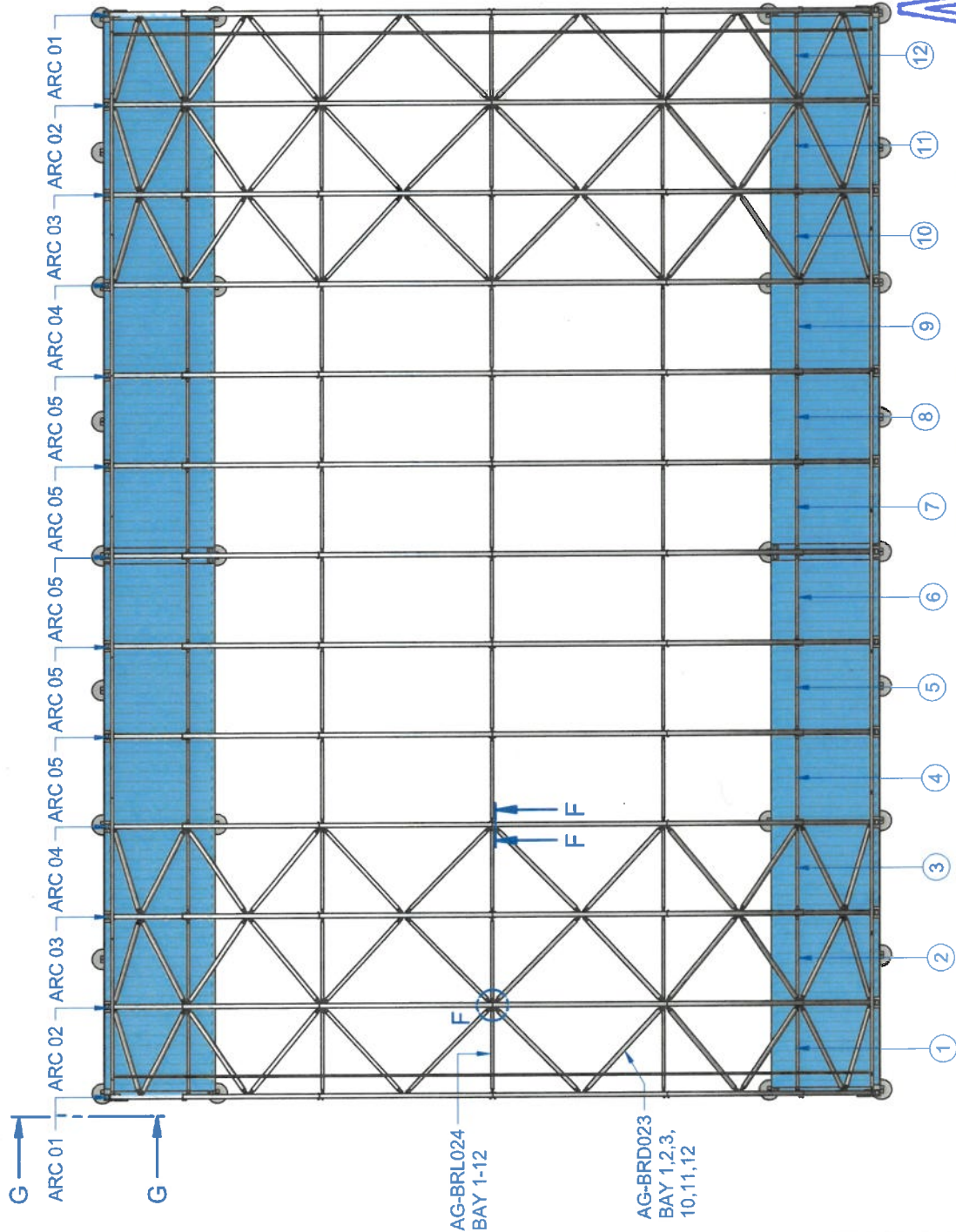
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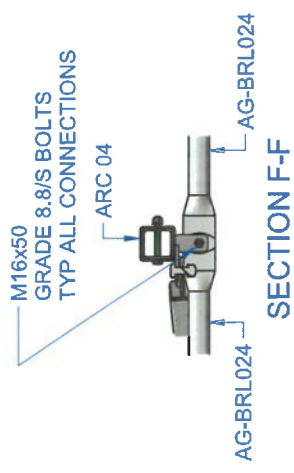
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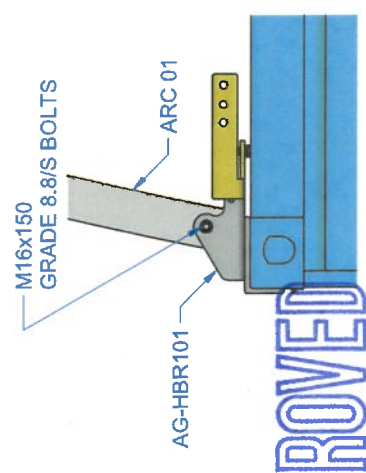
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DETAIL F



SECTION F-F



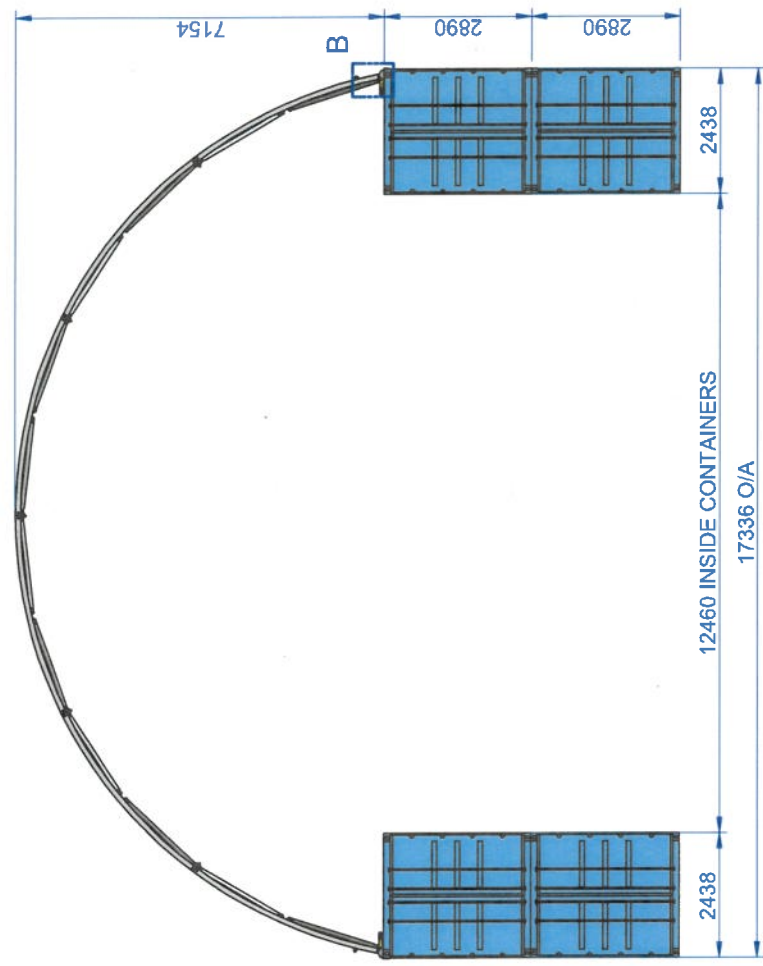
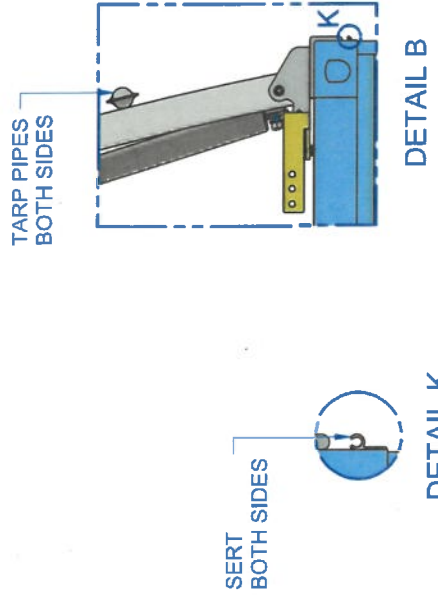
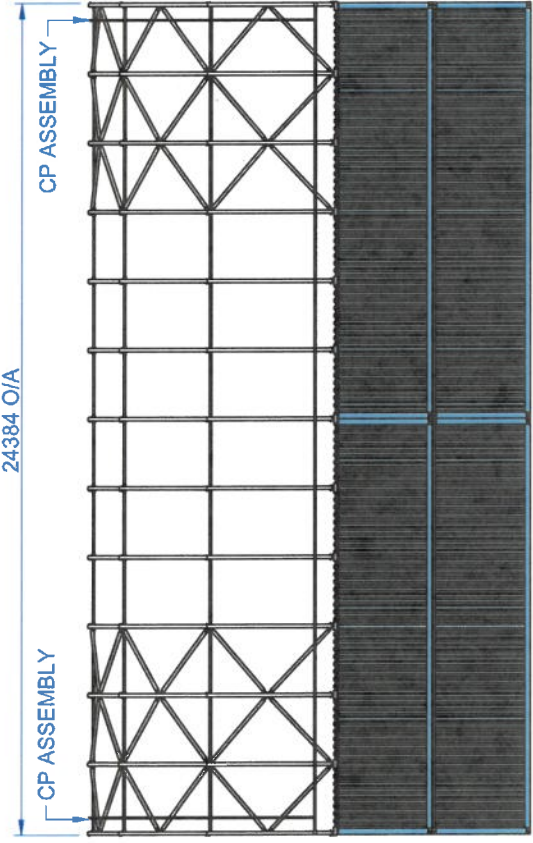
SECTION G-G

APPROVED
26/10/2020 [Signature]

ARC AND BRACE LAYOUT

		TITLE: CATA1724BDSOM SHELTER CODE: SHELTER ASSEMBLY	
		JOB NUMBER: 8180 DATE: 28/05/20 DRAWN: Shihab SCALE: NTS PAGE: 11 of 13	REV I DATE DETAILS 16/06/20 APPROVED FOR CONSTRUCTION C 12/08/20 FOOTING CONTAINER HEIGHT AMENDED B 05/06/20 KN LOADING ADDED A 28/05/20 RELEASE FOR APPROVAL

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26/10/2021 *[Signature]*

		TITLE: CATA1724BDSOM SHELTER CODE: SHELTER ASSEMBLY	
		JOB NUMBER: 8180 DATE: 29/05/20 SCALE: NTS PAGE: 13 of 13	REV DATE DETAILS 16/06/20 APPROVED FOR CONSTRUCTION C 12/06/20 FOOTING CONTAINER HEIGHT AMENDED B 05/06/20 KN LOADING ADDED A 29/05/20 RELEASE FOR APPROVAL
APPROVED		DRAWN: Shihab DATE: 29/05/20 SCALE: NTS PAGE: 13 of 13	BARCODE



QUALITY DOCUMENT

Name of Form: Environmental Management Plan 3 Rooksby Street Gladstone

Issue Date	Revision Date	Author	Reviewed By	Approved By
2016-02-23 13:16:00	2020-04-12		Jake Spooner	Robert Mitchell

DOCUMENT REVIEW

Section	Ammendmant Description	Date	Completed By
All Sections	Coverted to DataWeb	2016-02-23 0000-00-00 0000-00-00 0000-00-00	Jake Spooner

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INTRODUCTION

SEALINK operates a ferry service transporting workers and building materials to Curtis Island off the coast of Gladstone, in central Queensland for three significant liquefied natural gas sites on Curtis Island.

SEALINK has four types of vessels included in its state of the art fleet:

- 1 x 17 metre paramedic passenger transfer catamaran
- 4 x 24 metre Eco Jet Cruisers (150 passengers)
- 2 x 12 meter multi-purpose vessels
- 5 x Enviro Cats (400 passengers)
- 2 x ROPAX barges

APPROVED
26/04/2021 *J. Mitchell*

The Eco Jet Cruisers were specifically developed for the SEALINK Gladstone ferry service and are designed with a uniquely shaped, low draft hull that glides across the water instead of slicing it, while water jet propulsion and no external parts mean minimal risk of injury to marine fauna.

SEALINK operates from the Gladstone Port and provides approximately 350 trips per week from the Port to Curtis Island. There are approximately 120 employees across the business from administration, operations and maintenance and spread across three main sites.

The maintenance of all the vessels in the SEALINK fleet under 25 metres in length is undertaken at a boat yard and slipping facility located on the shores of the Auckland Inlet at 3 Rooksby Street, Gladstone.

Scope of the Environmental Management Plan

This Environmental Management Plan relates to the vessel maintenance tasks undertaken at the boat yard and slipping facility located at 3 Rooksby Street, Gladstone, to minimise the environmental impacts and potential impacts as a result of maintenance works occurring on the site. The following activities undertaken within the boat yard and slipping facility are covered by this Environmental Management Plan: