

24 January 2022

Gidarjil Development Corporation Limited  
 c/- Ascot Homes & Garages, Michael Howard  
 8 Princess Street  
 EAST BUNDABERG QLD 4670

Dear Mr Howard

## DECISION NOTICE – APPROVAL WITH CONDITIONS – DA2021/35/01

(GIVEN UNDER SECTION 63 PLANNING ACT 2016)

### 1. Application Details

This development application was **properly made** to the Gladstone Ports Corporation Limited on **23 December 2021**.

<b>Application Number:</b>	DA2021/35/01
<b>Applicant Name:</b>	Gidarjil Development Corporation Limited
<b>Applicant Contact Details:</b>	Michael Howard Ascot Homes & Garages PO Box 6003 8 Princess Street EAST BUNDABERG QLD 4670  Email: <a href="mailto:ascotsheds@ascothomes.com.au">ascotsheds@ascothomes.com.au</a>
<b>Approvals Sought (Land Use Plan):</b>	Material Change of Use for extension to Educational Establishment (Cultural Practice and making of Cultural Items and associated ancillary activities)
<b>Details of Proposed Development:</b>	Construction of building to facilitate the production of cultural items and carrying out cultural practices / ceremonies.
<b>Location Street Address:</b>	45 Wharf Drive ( <i>also known as 6 Marina Drive</i> ) BURNETT HEADS QLD 4670
<b>Location Real Property Description:</b>	Lease EM in Lot 501 on SP279707 on SP330509
<b>Land Owner:</b>	Gladstone Ports Corporation Limited
<b>Land Use Plan Precinct:</b>	Strategic Port Land – Light Industry & Innovation Precinct
<b>Local Government Area:</b>	Bundaberg

## 2. Details Of Proposed Development

---

Material Change of Use for extension to Educational establishment (Cultural Practice and making of Cultural Items and associated ancillary activities, including storage).

## 3. Details Of Decision

---

This development application was **decided** on **21 January 2022**.

This development application is **approved in full with conditions**. These conditions are set out in Attachment 1 and are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

This application **is not** taken to have been approved (a deemed approval) under section 64(5) of the *Planning Act 2016*.

## 4. Details Of Approval

---

This development approval is a **Development Permit** given for:

- (a) Material Change of Use for extension to Educational establishment (Cultural Practice and making of Cultural Items) on strategic port land (*Planning Regulation 2017* reference Schedule 10, part 13, division 5, subdivision 1).

## 5. Conditions

---

This development approval is subject to the conditions in Attachment 1 - Part 1 and Part 2.

## 6. Further Development Permits

---

Please be advised that the following development permits are required to be obtained before the development can be carried out:

- (a) Not applicable.

## 7. Approved Plans and Specifications

---

Copies of the following plans, specifications and/or drawings are approved and enclosed in Attachment 2:

Drawing/report title	Prepared by	Date	Reference no.	Version	Approval subject to the following changes
<b>Aspect of development: Material Change of Use (Land Use Plan)</b>					
Site Plan	Ascot Homes	20/10/2021	Draw. No. 5001-ST001	Rev A	
Site Set-Out Plan	Leddy Sergiacomi	12/01	Draw. No. 14207		

	& Assoc. Pty Ltd				
Site Plan	Ascot Homes	20/10/2021	Draw. No. 5001-ST001	Rev A	
Floor Plan & Elevation pg 1/2	Ascot Homes		Draw. No. Q-ASC-09-0610		
Floor Plan & Elevation pg 2/2	Ascot Homes		Draw. No. Q-ASC-09-0610		
Wind classification	Ascot Homes	20/08/2017	Draw. No. AH2013-00	C5	
Standard Details	Ascot Homes	13/06/2013	Draw. No. AH2013-01	C1	
Standard Details	Ascot Homes	18/11/2013	Draw. No. AH2013-02	C1	
Standard Fly Brace & Purlin Fixings Details	Ascot Homes	13/06/2013	Draw. No. AH2013-03	C1	
Standard Door & Window Framing Details	Ascot Homes	18/11/2013	Draw. No. AH2013-04	C1	
Standard Roller Door Details	Ascot Homes	18/11/2013	Draw. No. AH2013-05	C1	
Standard Bracing Details	Ascot Homes	18/11/2013	Draw. No. AH2013-06	C1	
Standard Slab & Foundation Details	Ascot Homes	20/08/2017	Draw. No. AH2013-07	C2	
Series 1 Roll-a-Door Elevation	Ascot Homes	10/2021	Draw. No. S01 <sub>L</sub>		
Series 1 Roll-a-Door Support Section	Ascot Homes	10/2021	Draw. No. S02 <sub>L</sub>		
Series 1 Roll-a-Door Support Section Detail	Ascot Homes	10/2021	Draw. No. S03 <sub>L</sub>		
Series 1 Roll-a-Door Support Section Detail	Ascot Homes	10/2021	Draw. No. S04 <sub>L</sub>		

## 12. Currency Period for the Approval

Pursuant to section 85 of the Planning Act, this development approval will lapse at the end of the periods set out below:

- (a) For Material Change of Use this approval lapses if the first change of use does not happen within 6 years after the approval has effect.

### 13. Rights of Appeal

---

The rights of applicants to appeal to a tribunal or the Planning and Environment Court against decisions about a development application are set out in chapter 6, part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).

**Attachment 3** is an extract from the *Planning Act 2016* that sets down the applicant's appeal rights and the appeal rights of a submitter.

For further information please contact Judy Horsfall, Planning Advisor, on 07 4976 1314 or the undersigned on 07 4976 1287 or via email [planning@gpcl.com.au](mailto:planning@gpcl.com.au) .

Yours sincerely,

**Erin Clark**  
**Principal Planner**

Cc: Bundaberg Regional Council

Enc. Attachment 1: Conditions of Approval  
Part 1 – Conditions imposed by the assessment manager  
Attachment 2: Approved plans and specifications  
Attachment 3: Extract of appeal provisions

## Attachment 1 Conditions of Approval

---

### PART 1: ASSESSMENT MANAGER CONDITIONS

In general the development proposal is in compliance with the requirements of Gladstone Ports Corporation Limited (GPC). This development approval is subject to each the following conditions which are stated by GPC, the Assessment Manager.

#### Part 1a: Approval sought under *Planning Act 2016* – Material Change of Use on Strategic Port Land

##### GENERAL

1. Development must be carried out generally in accordance with the Approved plans, except where modified by conditions of this permit.
2. Unless otherwise stated, all conditions must be complied with and completed prior to the commencement of the development.
3. Where additional “approval” is required under these conditions by the Assessment Manager (GPC) for drawings or documentation the proponent must submit for review, amend to the satisfaction of, and obtain written approval from the Assessment Manager.

Furthermore, the Assessment Manager will require no less than 10 business days, unless otherwise conditioned by the Assessment Manager, to initially assess the drawings or documentation provided prior to the commencement of the development. Should further information be required for assessment, the Assessment Manager will require a further 5 business days to complete the information request assessment and response.

4. The proponent must at its cost and expense, keep and maintain the development footprint, including existing services, in a state that is satisfactory to the Assessment Manager.

##### ENGINEERING

5. Upon completion of the works, the proponent must supply the Assessment Manager with RPEQ certified “As Constructed” plans in both hard copy (2 of) and electronic (CAD format) which illustrate all infrastructure and services installed on, under or over Port land associated with the activity.
6. Prior to the use commencing, the proponent must certify that the development is constructed as per design and that the development has been constructed generally in accordance with the Approved plans.
7. Any site lighting used during construction / works should not negatively impact on the visibility of Navigational Aids utilised for the primary shipping channels nor illuminate a landward glare beyond the site boundary. Lighting must be reviewed during construction with respect to navigation. Where an issue is identified or a validated complaint received, the proponent must immediately rectify to the satisfaction of GPC.

##### Infrastructure

8. Prior to works commencing, the applicant must supply the Assessment Manager for review and approval ‘for construction’ drawings and locality plans for any proposed new services to the building e.g. water, power etc.
9. The applicant must notify the Assessment Manager of damage caused to any port or port user infrastructure or services including, but not limited to, security related devices, buildings, fences, lighting etc., roads, walkways and underground services or infrastructure, as a result of the

approved use or during construction. The proponent must undertake necessary repairs at their expense and to the satisfaction of the Assessment Manager.

### **Building & Access**

10. Provide a designated main entrance to the building with pedestrian access via a footpath between the proposed building and the existing car park in accordance with approved plans.
11. Vehicle and pedestrian access to the premises is only permitted via the existing educational establishment car park (i.e. not from Marina Drive).
12. All vehicles associated with the premises must utilise the existing car park of the educational establishment accessed via 2 Marina Drive, unless otherwise approved by the Assessment Manager.
13. The premises must not be accessed by the public for the purpose of sales of good or services.

### **Signage**

14. Prior to the use commencing, the applicant must supply to the Assessment Manager for review and approval any signage proposed to be installed on the premises.

### **Screening**

15. Install and maintain suitable screening to all storage facilities including waste storage located outdoors on the premises. The screening structures must be constructed from materials that are consistent with materials used elsewhere on the building façade or as an architectural feature of and visually consistent with the profile or external finishes of the building. Alternatively, landscaping, plantings or trees (at minimum 50% density planting and a minimum of 1.2m height at maturity) may also be used for screening purposes.

### **Landscaping**

16. Install and maintain landscaping 2 metres wide along the street frontage. Landscaping must be inside the lease boundary but can be either side of the fence. Species selection must be in accordance with the GPC's approved plant species list (within the LUP 2020).
17. The proponent must maintain the property frontage to Marina Drive in a clean and tidy manner, including the maintenance of all landscaping and any grassed areas.

### **Fencing**

18. Install and maintain security fencing along external property boundaries, including the street frontage which allows for 2m wide landscaping in accordance with conditions of this approval. Fencing must be constructed of 1.8m high transparent black PVC plastic coated chain wire mesh with black posts, unless otherwise approved by the Assessment Manager.

### **Hours of Operation**

19. Hours of operation for the approved use are limited to 7.00am to 10.00pm Monday to Saturday and 7.00am to 12.30pm Saturday, unless otherwise approved in writing by the Assessment Manager.

## **ENVIRONMENT**

### **Construction Environmental Management Plans**

20. Prior to construction works commencing on site, a Construction Environmental Management Plan (CEMP) specific to these works, is to be developed that ensures:

- a. environmental risks, including but not limited to, asbestos, noise, odour, lighting, dust, are identified, managed and continually assessed in relation to the construction activity;
- b. spill management and prevention and emergency and cyclone management are documented and implemented;
- c. that staff are trained and aware of their obligations under the EMP, including a copy of the management plan and development approval available on site at all times;
- d. reviews of environmental performance are undertaken at least annually; and
- e. any amendments to the CEMP are to be submitted to GPC for review and approval.

All construction activity must be carried out in accordance with this CEMP which must be able to be produced for the Assessment Manager upon request.

*Note: GPC has a guideline for the development of environmental management plans that may be utilised in meeting the requirements of this condition.*

### **Operational Environmental Management Plans**

21. At least 10 days prior to the commencement of the use, an Environmental Management Plan (EMP) is to be submitted to the Assessment Manager (GPC) for approval, specific to the development that ensures:
  - a. environmental risks are identified, managed and continually assessed; and
  - b. sustainability strategies are investigated, identified and implemented including waste management/recycling;
  - c. staff are trained and aware of their obligations under the EMP, including a copy of the management plan and development approval available on site at all times;
  - d. reviews of environmental performance are undertaken at least annually;
  - e. any amendments to the EMP are to be submitted to GPC for review and approval; and
  - f. any rehabilitation and decommissioning works where required.

Once approved by GPC, the approved development must be carried out in accordance with this EMP.

*Note: This management plan may be for the site wide operation i.e. combined with any existing educational establishment environmental management plan.*

*Note: GPC has a guideline for the development of environmental management plans that may be utilised in meeting the requirements of this condition.*

### **Incident notification**

22. Gladstone Ports Corporation's Environmental Hotline (07) 4976 1617 must be notified of the occurrence of any;
  - a. release/spill of contaminants (e.g. fuels/chemicals/sewage) greater than 250L to land;
  - b. release/spill of contaminants (e.g. fuels/chemicals/sewage) to water;
  - c. environmental complaints received by the holder of this approval; or
  - d. non-compliance with conditions of this approval or any other environmental approval obtained in relation to the approved activity.

Environmental incident notification requirements must be included in any Environmental Management Plan for the development.

## **PART 1b: ASSESSMENT MANAGER ADVICE NOTES**

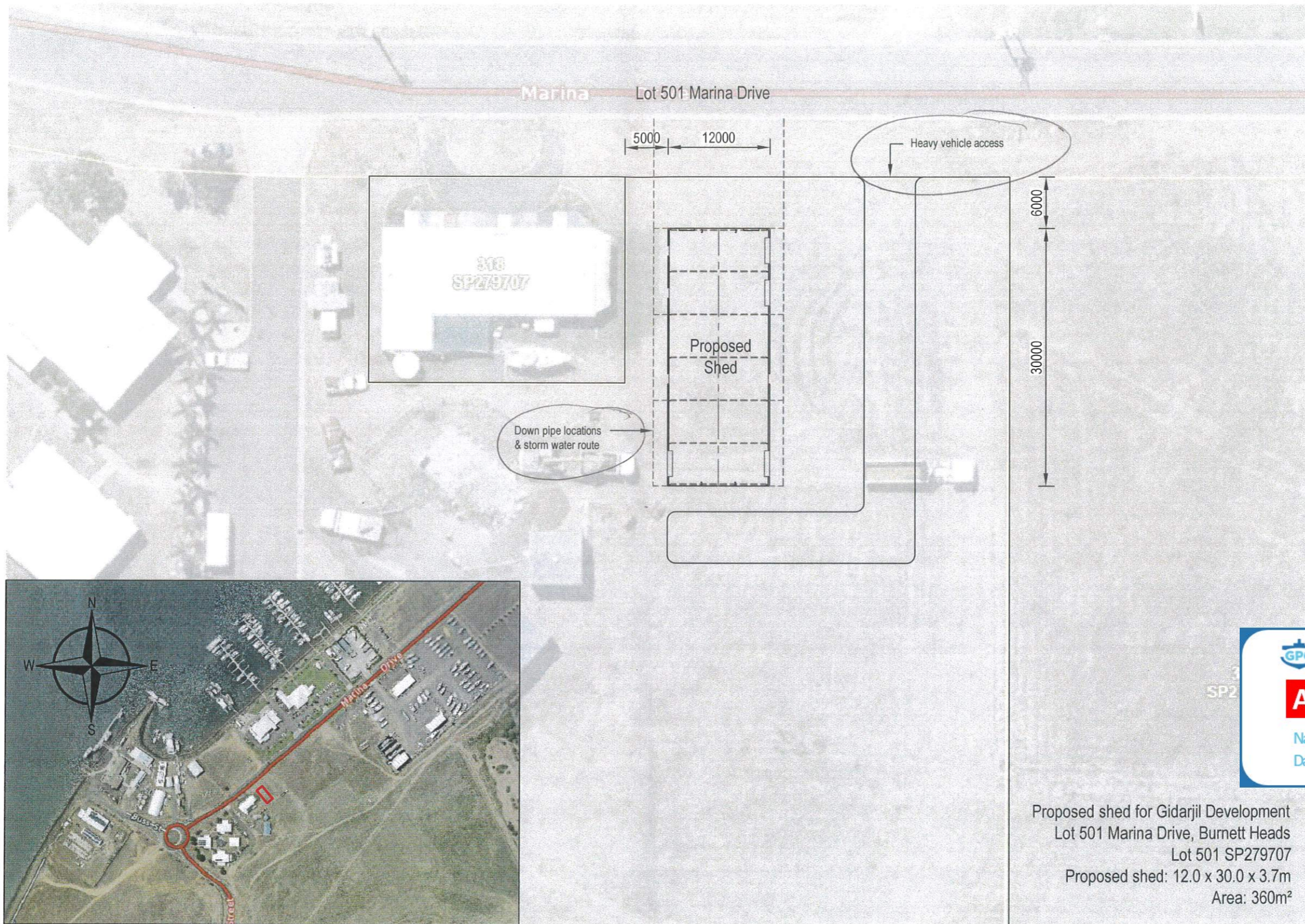
1. All other relevant approvals must be obtained before commencement of the development or operation of the development, including any Building works or Plumbing and drainage works.

2. The premises is located on part of Lot 501 on SP279707 which is registered on the Queensland Environmental Management Register. Therefore, disposal of any excavated material off site must be in accordance with relevant legislation, or alternately retained on site in accordance with all relevant legislative requirements.
3. Any future extensions or improvements to the proposed activity or establishment, including any future signage are likely subject to assessment under the Port of Gladstone Land use plan 2020 and the applicant is encouraged to ensure all necessary enquiries are made and approvals obtained.
4. Where a Permit to Dig/Excavate prior to commencing excavation or digging for the development, the proponent or their contractor is required to apply for and obtain the permit by contacting the Port Infrastructure Asset Manager on 4976 1332 or [bartono@gpcl.com.au](mailto:bartono@gpcl.com.au).
5. Where a construction compound or laydown area is required, the proponent or their contractor is required to apply for and obtain a Consent to Enter from GPC's Property Advisor via 07 4976 1334 or [property@gpcl.com.au](mailto:property@gpcl.com.au) prior to works commencing.
6. The *Environmental Protection Act* 1994 states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks, construction, and operational phases of this development, are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm.
7. This decision notice does not represent an approval to commence Building work.
8. Connections to water and sewerage infrastructure will require Plumbing and Drainage works approvals from a suitably qualified person.
9. Where the Applicant is required to submit further documentation to the Assessment Manager, this is to be directed to the Planning section at [planning@gpcl.com.au](mailto:planning@gpcl.com.au), including reference to the allocated development application number.
10. One OEMP could be provided to achieve compliance with DA2020/06/02 and this development approval.



## Attachment 2 Approved Plans and Specifications

---



**GPC Gladstone Ports Corporation**

**APPROVED**

Name: Judy Horsfall  
Date: 1:41pm 24/01/2022

Proposed shed for Gidarjil Development  
 Lot 501 Marina Drive, Burnett Heads  
 Lot 501 SP279707  
 Proposed shed: 12.0 x 30.0 x 3.7m  
 Area: 360m<sup>2</sup>

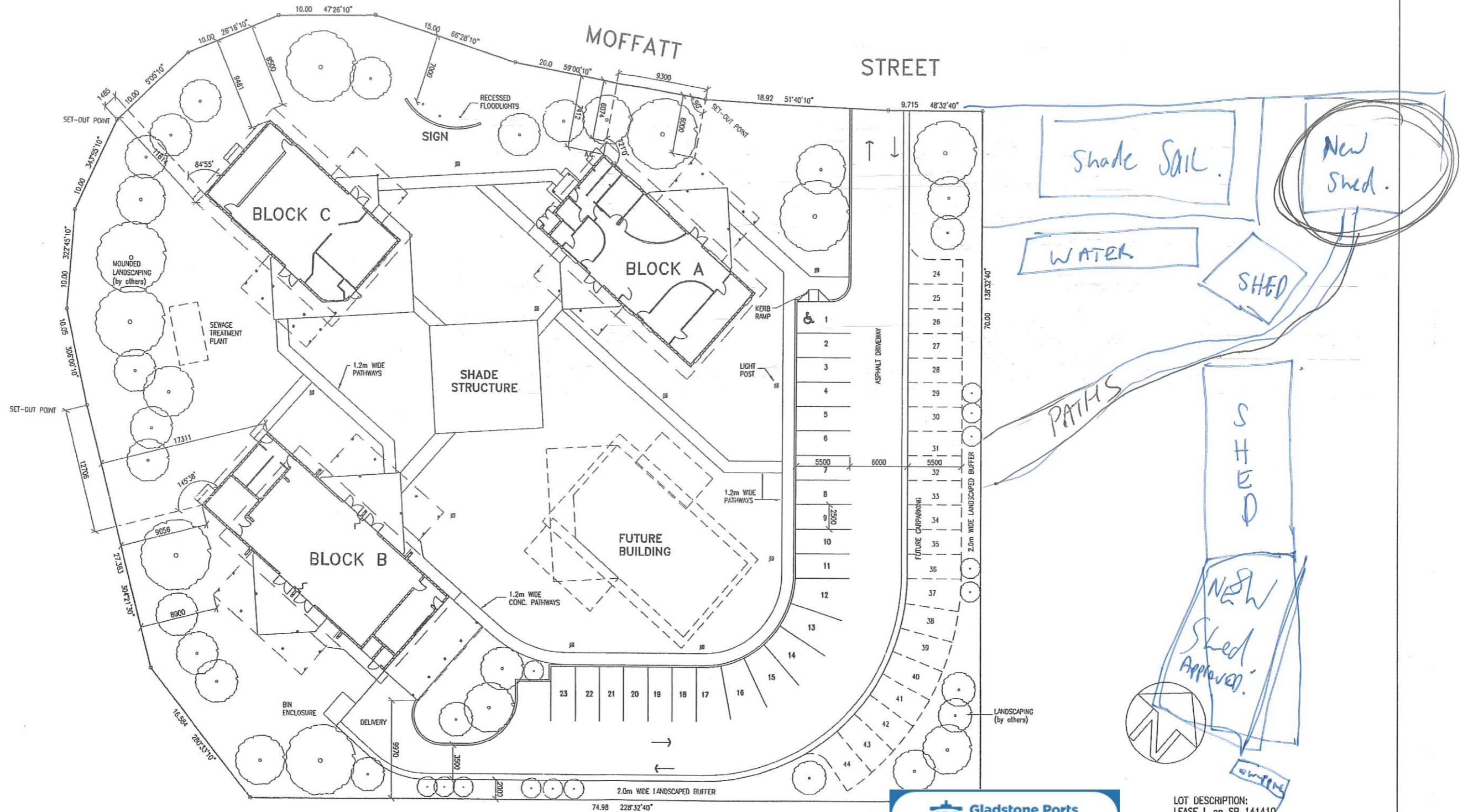
20.10.21



ALPHA STEEL BUILDING SYSTEMS PTY LTD  
 Trading as ACN 102417863 QBSA NO: 1228427 A.B.N  
 NUMBER: 21102417863  
 8 Princess Street, East Bundaberg, Qld, 4670.  
 Telephone: 07 4152 9222 Fax: 07 4152 0909

SCALE 1:500  
**ASCOT HOMES®**  
 Conditions of Use  
 This document may only be used by  
 ASCOT HOMES's client (and any other  
 person who ASCOT has agreed can use  
 this document) for the purpose for which it  
 was prepared and must not be used by any  
 other person or for any other purpose.

Client	GIDARJIL DEVELOPMENT
Project	NEW PORTAL FRAME SHED
Title	SITE PLAN
Original Size	A3
Drawing No:	<b>5001 - ST001</b>
Rev:	A



**Gladstone Ports Corporation**

**APPROVED**

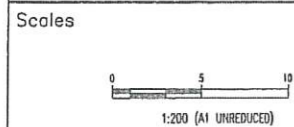
Name: Judy Horsfall  
Date: 1:42pm 24/01/2022

LOT DESCRIPTION:  
LEASE L on SP 141410  
PARISH OF BAROLIN  
COUNTY OF COOK

SITE AREA: 6544m2

EXTERNAL LIGHTING  
EXTERNAL LIGHT POSTS TO PATHWAYS:  
THORN JOHANNA 125 MERCURY VAPOUR POST  
TOP FITTINGS - 4.0m

SIGNAGE LIGHTING:  
THORN MICA B GROUND RECESSED FLOODLIGHT  
WITH DIRECTION GRILL



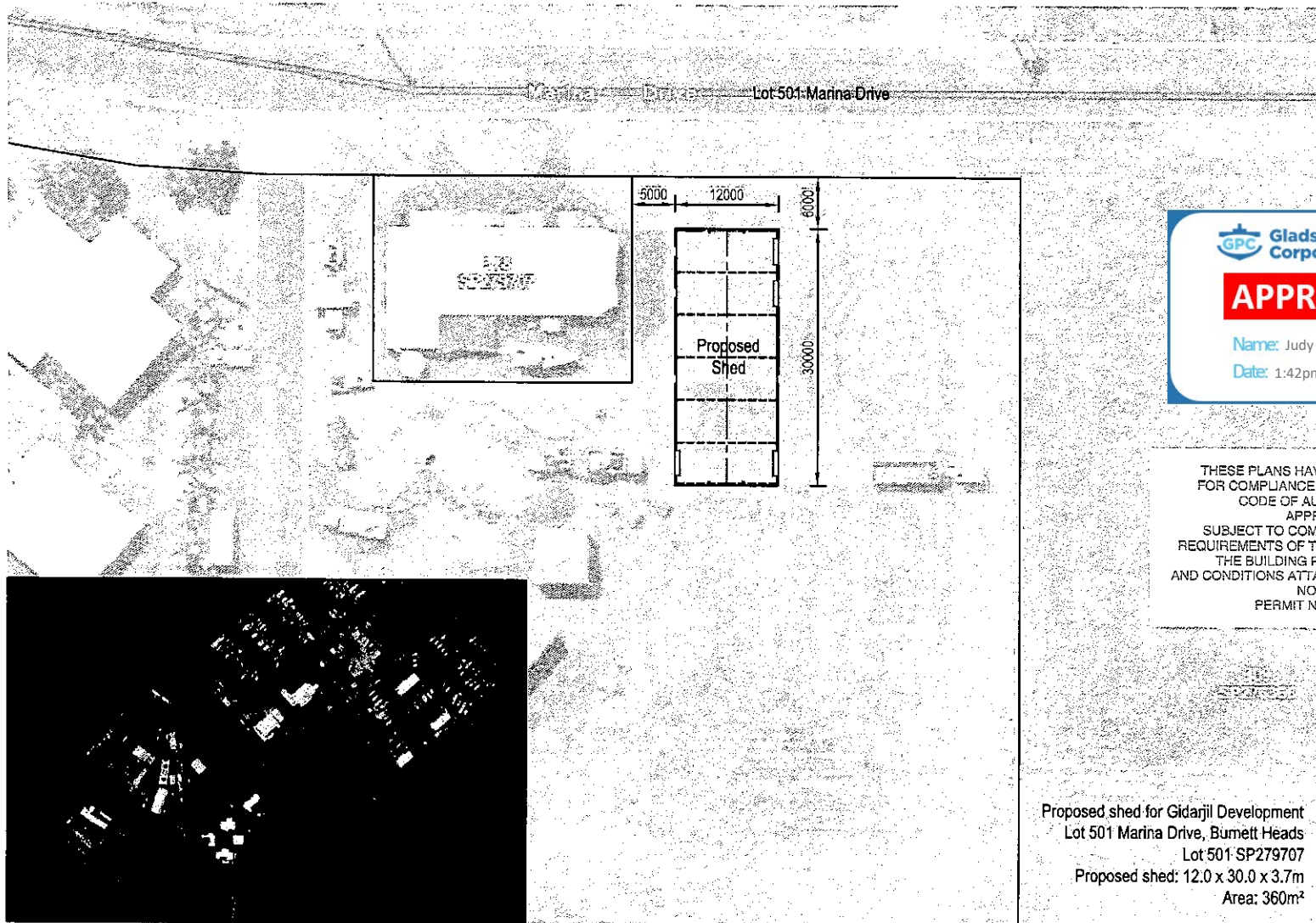
no	date	description	drawn	date
			JMG	9.11.01
			checked	6 11-01
			designed	8 12-01
			checked	11 12-01

**leddy sergiacomini & associates pty. ltd.**  
ENGINEERING & ENVIRONMENTAL CONSULTANTS  
PROJECT MANAGERS & PLANNERS


29 WONGARRA STREET  
BUNDABERG QLD 4670  
Telephone (07) 4152 0822

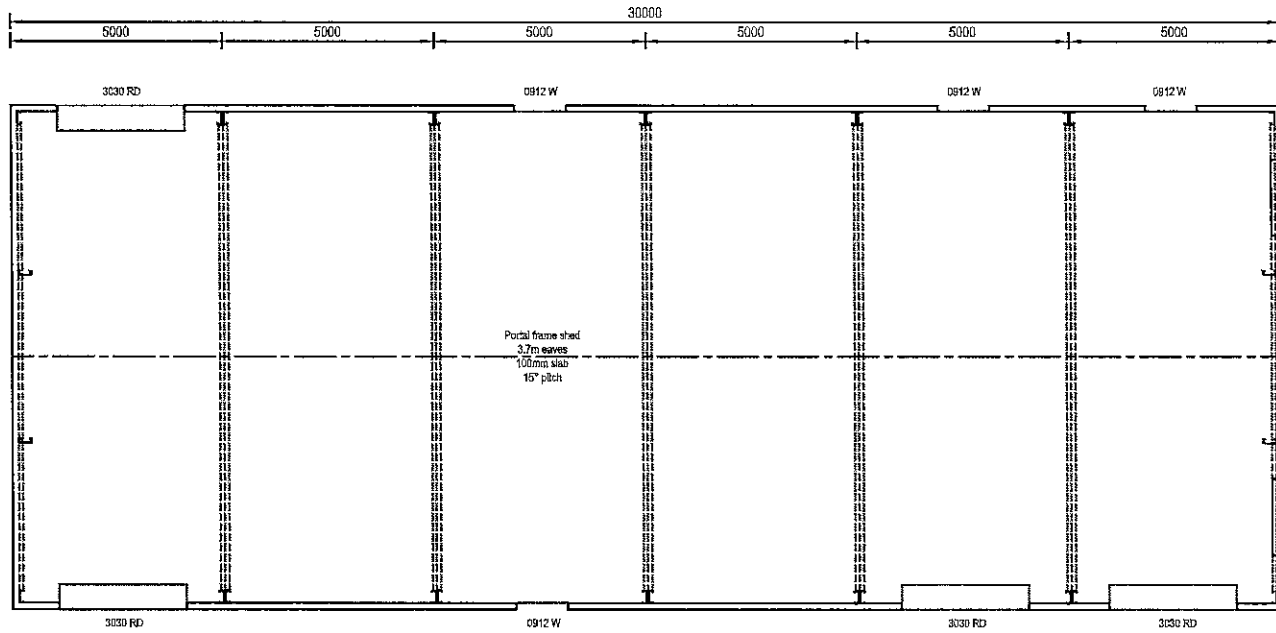
**BUNDABERG PORT AUTHORITY**  
TAFE MARINE COLLEGE  
MOFFATT STREET, PORT BUNDABERG  
SITE SET-OUT PLAN

Job No. 00-117  
Drawing No. 14207



THESE PLANS HAVE BEEN ASSESSED FOR COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA AND APPROVED SUBJECT TO COMPLIANCE WITH THE REQUIREMENTS OF THE BUILDING ACT 1975, THE BUILDING REGULATION 2021 AND CONDITIONS ATTACHED TO THE DECISION NOTICE.  
 PERMIT NO. 20214228

 20.10.21	ALPHA STEEL BUILDING SYSTEMS PTY LTD Trading as ACN 102417863 ORBA NO: 1226407 A/R/N NUMBER: 21102417863 9 Fitzroy Street, East Brisbane, QLD 4170. Telephone: 07 4552 9222 Fax: 07 4152 9929	SCALE 1:500 ASCOT HOMES® <small>Conditions of Use:          This document may only be used by ASCOT HOMES® client and any other person who ASCOT has agreed can use this document for the purposes for which it was prepared and must not be used by any other person or for any other purpose.</small>	Client: GIDARJIL DEVELOPMENT Project: NEW PORTAL FRAME SHED Title: SITE PLAN Drawing No: <b>5001 - ST001</b> Rev: A
	Original size		

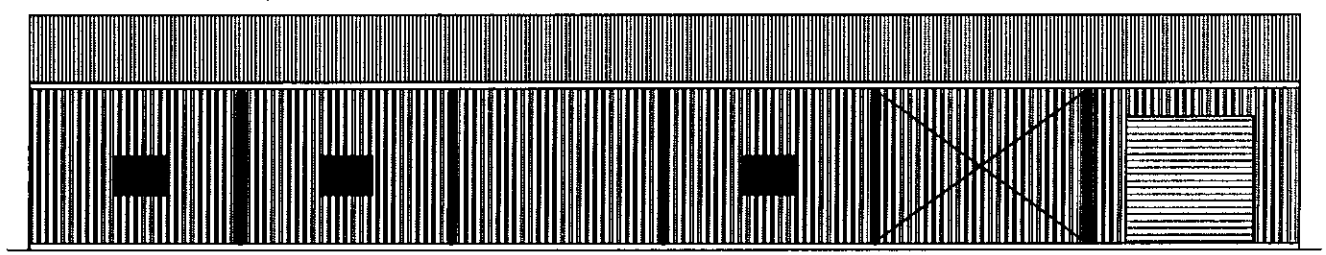
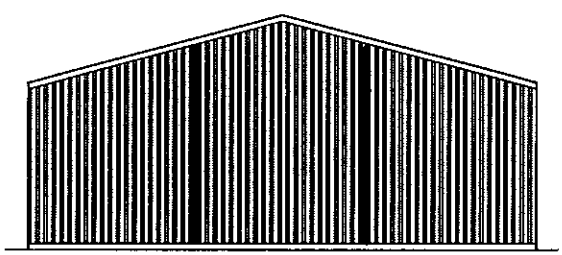
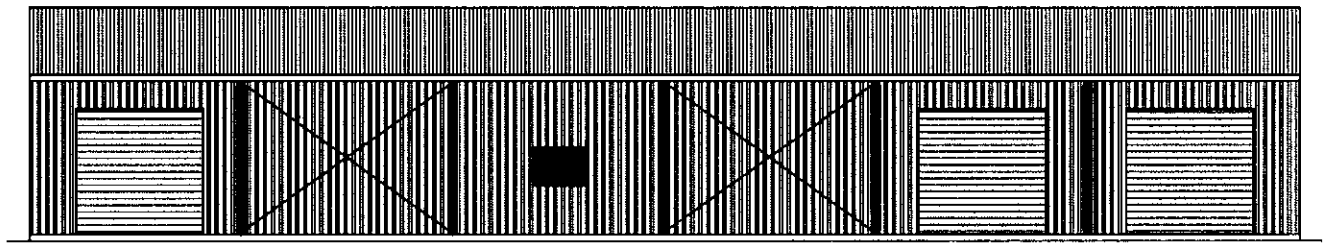
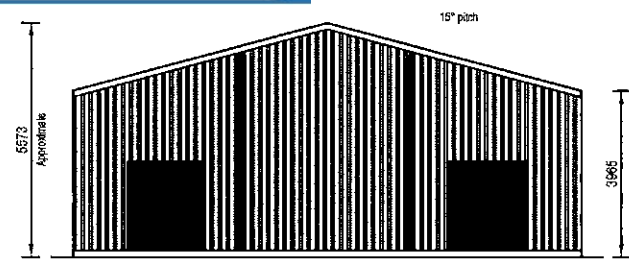


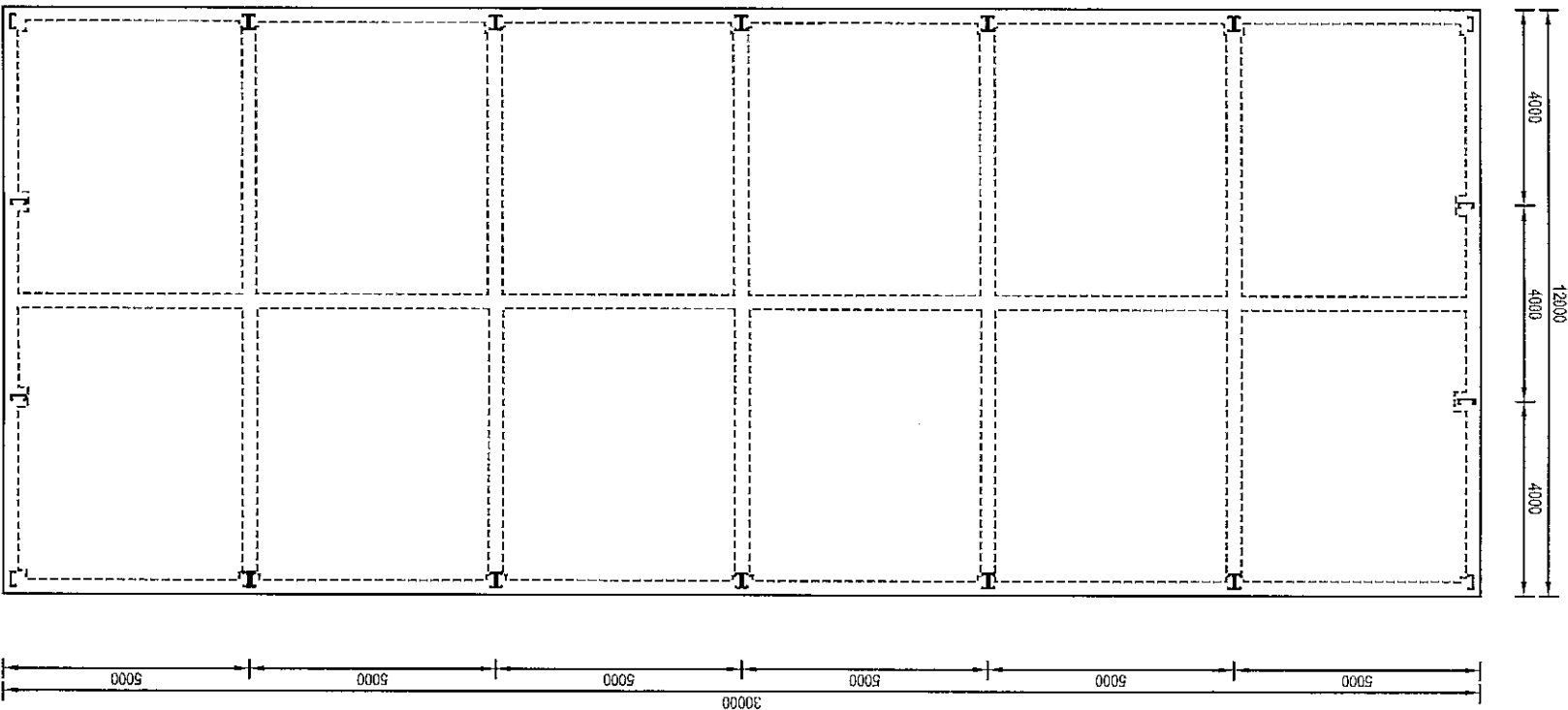
CLIENT Gladstone Development	SITE Lot 501 Medina Drive Burnett Heads Lot 501 SP279707 4670	TITLE <b>FLOOR PLAN &amp; ELEVATION</b>	PAGE 1 / 2
		DRAWING NUMBER <b>Q-ASC-09-0610</b>	

THESE PLANS HAVE BEEN ASSESSED FOR COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA AND APPROVED SUBJECT TO COMPLIANCE WITH THE REQUIREMENTS OF THE BUILDING ACT 1975, THE BUILDING REGULATION 2021 AND CONDITIONS ATTACHED TO THE DECISION NOTICE.  
PERMIT NO. 20214228

**APPROVED**

Name: Judy Horsfall  
Date: 1:42pm 24/01/2022





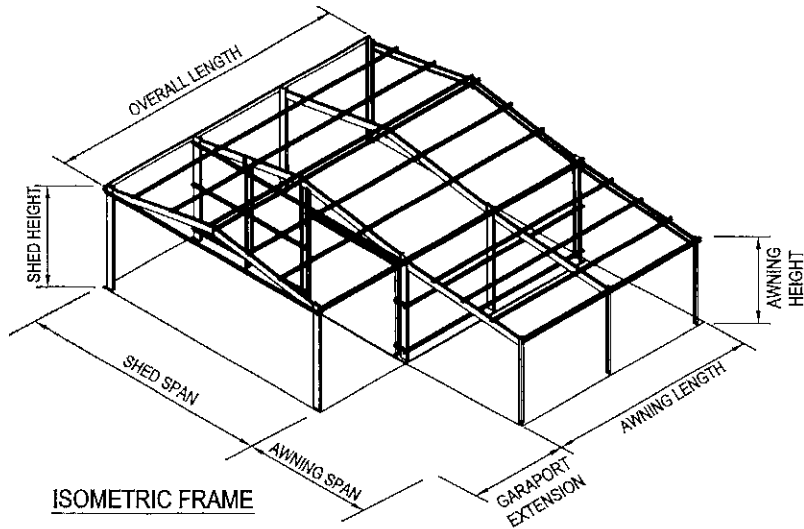
**SLAB LAYOUT**  
N.T.S

THIS DOCUMENT FORMS PART OF  
DEVELOPMENT PERMIT NO. 20214228

CLIENT Gidarth Development	
SITE Lot 501 Marina Drive Burnett Heads Lot 501 SP279707 4870	
TITLE SLAB LAYOUT	
DRAWING NUMBER Q-ASC-09-0610	PAGE 2 / 2

**APPROVED**

Name: Judy Horsfall  
Date: 1:42pm 24/01/2022



**DESIGN LIMITATIONS AND ASSUMPTIONS**

- DESIGNS ARE NOT SUITABLE TO BE SUPPORTED OR PROVIDE SUPPORT TO OTHER STRUCTURES UNLESS SPECIFICALLY NOTED AS ACCEPTABLE WITHIN THESE DRAWINGS.
- SHEDS ARE DESIGNED FOR ENCLOSED WORKING CONDITIONS UNLESS SPECIFICALLY NOTED OTHERWISE. OPEN SIDED SHEDS ARE ALLOWED WITH RESTRICTIONS AND SPECIFIC STRENGTHENING.
- MARINE AND CORROSIVE ENVIRONMENTS - SHEDS MAY NOT BE PLACED WITHIN 300M OF BREAKING SURF WITHOUT HIGHER ZINC PROTECTION. SHEDS WITH EXPOSED MEMBERS MAY NOT BE SITED WITHIN 100M.
- SHED DESIGNS ARE NOT SUITABLE FOR LATERAL LOADS SUCH AS STORAGE SILOS.
- SHEDS ARE NOT DESIGNS FOR CRANE LOADS. NO LIFTING LOADS ARE PERMITTED UNLESS SPECIFICALLY NOTED OTHERWISE.
- SHEDS DO NOT HAVE SUFFICIENT STIFFNESS FOR BRITTLE LININGS TO THE WALLS AND ROOF.
- PORTAL MEMBERS ASSUME A 3D DESIGN APPROACH WHERE ALL ROOF PANELS NOT NORMALLY BRACED REQUIRE STRAP BRACING INSTALLED. REFER AH2013-06

**INSTRUCTIONS:**

- SELECT THE WIND CATEGORY (QU- SITE WIND SPEED PRESSURE) FOR THE BUILDING FROM TABLE PROVIDED REFER AH2013-00.
- SELECT THE PORTAL FRAME, PURLINS & GIRTS, & BRACING REQUIREMENTS FROM THE APPROPRIATE SPAN DWG, AH2013-20 TO AH2013-51
- SELECT THE APPROPRIATE DOOR, WINDOW & ROLLER DOOR FRAMING FROM AH2013-03 & AH2013-04
- SELECT THE BRACING PROVISIONS FROM AH2013-05
- SELECT THE FOUNDATION REQUIREMENTS FROM AH2013-07 & AH2013-08
- OPTIONAL: SELECT AWNING, MEZZANINE FLOOR OR ROOF ONLY ADDITIONS FROM RELEVANT DRAWINGS - REFER DRAWING REGISTER AH2013-00

**PURPOSE:**

TO PROVIDE SHEDS, AWNINGS AND CARPORTS WITH THE FOLLOWING SPECIFICATIONS

- SPANS - MEASURED INSIDE CLADDING FACE TO INSIDE CLADDING FACE
- ROOF PITCH - 10°-25° FOR MAIN SHED. OTHER PITCH VARIABLES ARE POSSIBLE. REFER ENGINEER
- BAY LENGTH - 3.0m, 3.5m, 4.0m, 4.5m, 5.0m & 6.0m MEASURED FROM PORTAL CENTRE LINE TO PORTAL CENTRE LINE
- SKILLIONS - WHERE ALLOWED OPEN SIDED ROOF ONLY AWNING STRUCTURES UP TO 6.0m SPAN ARE PERMITTED TO BE ATTACHED TO THE ABOVE SHED DESIGNS
- GABLE EXTENSIONS - ROOF ONLY BAYS ATTACHED TO ENCLOSED BUILDING. REFER TO ROOF ONLY DRAWING AH2013-78
- 3 SIDED BUILDINGS - OR OPEN SIDED MACHINERY SHEDS TO THE ABOVE DESIGNS WITH SLIGHT MODIFICATIONS. REFER TO THE 3 SIDED SPECIFICATION SHEET AH2013-36
- CARPORTS SKILLION AND GABLE ROOFED, 6.0M TO 9.0M
- MEZZANINE FLOORS FOR LIGHT STORAGE WITHIN THESE STRUCTURES REFER AH2013-74

THE DESIGN WITHIN THESE STANDARD PLANS COMPLY WITH BCA REQUIREMENTS FOR L.H.L. (LOW HIGH LOW) TESTING, PROVIDED THE SUPPLIERS FOR THESE ROOF SHEETING & PURLIN HAVE COMPLETED L.H.L. TESTING.

THE FOLLOWING SUPPLIERS COMPLY WITH THIS REQUIREMENT:

- BLUESCOPE PRODUCTS
- STRAMIT PRODUCTS
- METROLL PRODUCTS

**SHEETING NOTES**

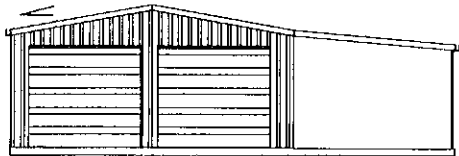
SHEETING FIXING IN CYCLONIC AREAS SHALL HAVE CYCLONE CAPS WHEN THE SPACING IS MORE THAN  
50ms - 900 CTRS  
61ms - 700 CTRS

**SITE CLASSIFICATIONS**

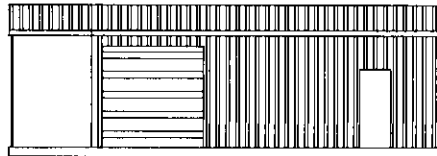
QU VALUES (Pa)	WIND CAT
0.71	33N
1.00	40N
1.50	50N
2.25	61N
1.50	50C
2.25	61C
3.30	74C

VALUES FOR QU MAY BE SUBSTITUTED WITH MORE ACCURATE SITE SPECIFIC CALCULATIONS

10° TO 25° PITCH



END WALL



SIDE WALL

**SNOW LOADING NOTE (REFER AS 1170.3)**  
THE SHEDS DESIGNED WITHIN THESE STANDARD DRAWINGS ARE SUITABLE FOR THE FOLLOWING DESIGN GROUND SNOW LOADS

LOAD CASE	ROOF PITCH			
	10°	15°	20°	25°*
33N	1.0 KPa	1.5 KPa	2.0 KPa	3.0 KPa
41N	1.3 KPa	1.8 KPa	2.4 KPa	3.5 KPa
50N/50C	1.5 KPa	2.2 KPa	3.2 KPa	4.0 KPa
61C	1.8 KPa	2.6 KPa	4.0 KPa	5.0 KPa

**IMPORTANCE CATEGORY 2 - DOMESTIC AND COMMERCIAL STRUCTURES - UP TO 3.0M HIGH**

REGION	TOPOGRAPHY	TERRAIN CATEGORY 2			TERRAIN CATEGORY 2.5			TERRAIN CATEGORY 3		
		NS	PS	FS	NS	PS	FS	NS	PS	FS
A	FLAT	40N	36N	32N	38N	34N	30N	36N	32N	28N
	HILL SIDE	42N	38N	34N	40N	36N	32N	38N	34N	30N
	HILL TOP	44N	40N	36N	42N	38N	34N	40N	36N	32N
B	FLAT	51N	48N	41N	48N	42N	36N	46N	41N	35N
	HILL SIDE	53N	48N	43N	50N	45N	40N	47N	43N	38N
	HILL TOP	56N	50N	45N	52N	47N	42N	49N	45N	40N
C	FLAT	60C	56C	50C	58C	53C	47C	56C	50C	44C
	HILL SIDE	62C	58C	52C	60C	56C	50C	58C	52C	47C
	HILL TOP	64C	60C	55C	62C	58C	52C	60C	55C	49C

**IMPORTANCE CATEGORY 2 - DOMESTIC AND COMMERCIAL STRUCTURES - UP TO 6.0M HIGH**

REGION	TOPOGRAPHY	TERRAIN CATEGORY 2			TERRAIN CATEGORY 2.5			TERRAIN CATEGORY 3		
		NS	PS	FS	NS	PS	FS	NS	PS	FS
A	FLAT	43N	39N	34N	41N	37N	33N	39N	35N	31N
	HILL SIDE	45N	41N	36N	43N	39N	35N	41N	37N	33N
	HILL TOP	47N	43N	38N	45N	41N	37N	43N	39N	34N
B	FLAT	54N	49N	44N	51N	46N	41N	48N	44N	39N
	HILL SIDE	56N	51N	46N	53N	48N	43N	50N	46N	41N
	HILL TOP	59N	53N	48N	56N	50N	45N	53N	48N	43N
C	FLAT	67C	62C	57C	64C	59C	54C	61C	56C	51C
	HILL SIDE	70C	64C	59C	66C	60C	55C	64C	58C	53C
	HILL TOP	74C	68C	63C	70C	64C	59C	68C	62C	57C

N - NON-CYCLONIC AREAS +0.2 -0.3 INTERNAL PRESSURE

C - CYCLONIC AREAS +0.7 -0.65 INTERNAL PRESSURE

THE FIRST TWO NUMBERS REPRESENT THE ULTIMATE STRESS WIND SPEED m/s (METRES PER SECOND) FOR THE SITE - "SITE WIND SPEED"

**STANDARD DRAWING REGISTER**

NUMBER	DESCRIPTION	REV
AH2013-00	DRAWING REGISTER	C5
AH2013-01	STANDARD DETAILS	C1
AH2013-02	MULLION & STANDARD DETAILS	C1
AH2013-03	FLY BRACE STANDARD DETAILS	C1
AH2013-04	STANDARD DOOR & WINDOW DETAILS	C1
AH2013-05	STANDARD ROLLER DOOR DETAILS	C1
AH2013-06	STANDARD BRACING DETAILS	C1
AH2013-07	STANDARD SLAB & FOUNDATION DETAILS	C2
AH2013-08	STANDARD PIER ONLY DETAILS	C1
AH2013-09	MACHINERY SHED OPTION	C1
AH2013-10	GABLE CARPORT	C2
AH2013-11	GABLE CARPORT DETAILS	C1
AH2013-12	SKILLION CARPORT	C1
AH2013-13	SKILLION CARPORT DETAILS	C1
AH2013-14	SKILLION CARPORT CRANK POST OPTION	C1
AH2013-15	6m x 6m TIMBER POST CARPORT ENG.	C1
AH2013-16	OPEN AWNINGS 3.0m & 3.5m BAYS	C1
AH2013-17	OPEN AWNINGS 4.5m & 6.0m BAYS	C1
AH2013-18	AWNING ATTACHMENT OPTIONS	C1
AH2013-19	SKILLION CARPORTS ATTACHED TO GARAGES	C1
AH2013-20	COLUMN REMOVAL DETAILS	C1
AH2013-21	TRUSS CARPORT - 6m SPAN, 3m BAYS	C1
AH2013-22	TRUSS CARPORT - 6m TO 12m SPAN, 4.5m BAYS	C1
AH2013-23	TRUSS CARPORT - 6m TO 12m SPAN, 3m BAYS	C1
AH2013-24	TRUSS CARPORT - HIP ROOF DESIGN	C1
AH2013-25	CARPORT POST OPTIONS	C1
AH2013-26	CARPORT POST OPTIONS	C1

THIS DOCUMENT FORMS PART OF DEVELOPMENT PERMIT NO. 20214228

NOTE: Copying or reproduction without written permission of Bare Engineering is prohibited. Drawings in electronic form are the property of Bare Engineering and shall not be used for any other purpose without the written consent of Bare Engineering.

**GPC Gladstone Ports Corporation**

**APPROVED**

Name: Judy Horsfall  
Date: 1:41pm 24/01/2022

NO.	DESCRIPTION	DATE	INITIALS	JME	JLT	JLT
C5	DRAWING REGISTER UPDATED	20.08.2017	JME	JLT	JLT	
C4	DRAWING REGISTER UPDATED	05.08.2014	JME	JLT	JLT	
C3	DRAWING REGISTER UPDATED	18.11.2013	JME	JLT	JLT	
C2	DRAWING REGISTER AMENDED	27.06.2013	JME	JLT	JLT	
C1	CONSTRUCTION ISSUE	13.06.2013	JME	JLT	JLT	

**RE Bare Engineering**  
Structural and Civil Consulting Engineers  
Phone: (07) 5462 1146

**ASCOT HOMES**

OLINDASHORE PTY LTD  
ACN 011047644 QBSA  
NO: 024350  
8 Princes Street,  
East Bundaberg, Qld, 4670.  
Telephone: 07 4152 9222  
Fax: 07 4152 0909

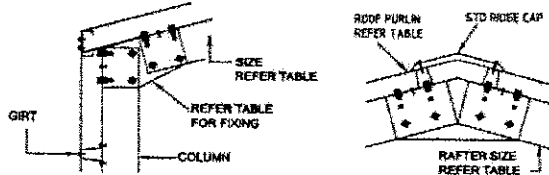
DRAWING TITLE

**WIND CLASSIFICATION DRAWING & DRAWINGS REGISTER**

SCALE	PROJECT No.	DRAWING No.	ISSUE
NOT TO SCALE	13-J79	Page 7 of 7	2013-00 C5

SECTION	PLATE TYPE	SINGLE SECTION		B TO B SECTION	
		COLUMN FIXING	RAFTER FIXING	COLUMN FIXING	RAFTER FIXING
C100	1.5mm G450	2 x M12 BOLTS 4 x 12g TEKS	2 x M12 BOLTS 4 x 12g TEKS	4 x M12 BOLTS 8 x 12g TEKS	4 x M12 BOLTS 8 x 12g TEKS
C150	1.3mm G450	4 x M12 BOLTS 3 x 12g TEKS	4 x M12 BOLTS 3 x 12g TEKS	4 x M12 BOLTS 5 x 12g TEKS	4 x M12 BOLTS 5 x 12g TEKS
C200	2.4mm G450	4 x M16 BOLTS 3 x 14g TEKS	4 x M16 BOLTS 3 x 14g TEKS	6 x M16 BOLTS 5 x 14g TEKS	6 x M16 BOLTS 5 x 14g TEKS
C250	2.4mm G450	6 x M16 BOLTS 5 x 14g TEKS	6 x M16 BOLTS 5 x 14g TEKS	9 x M16 BOLTS 10 x 14g TEKS	9 x M16 BOLTS 10 x 14g TEKS
C300	3.0mm G450	6 x M16 BOLTS 5 x 14g TEKS	6 x M16 BOLTS 5 x 14g TEKS	9 x M16 BOLTS 10 x 14g TEKS	9 x M16 BOLTS 10 x 14g TEKS
C350	3.0mm G450	6 x M16 BOLTS 5 x 14g TEKS	6 x M16 BOLTS 5 x 14g TEKS	9 x M16 BOLTS 10 x 14g TEKS	9 x M16 BOLTS 10 x 14g TEKS

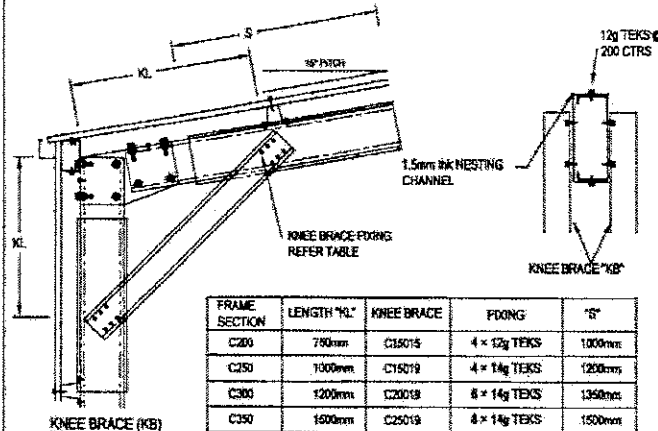
ALL FIXING BOLTS GR 4.8 UNLESS SPECIFIED OTHERWISE



KNEE JOINT DETAIL

APEX DETAIL

1  
01



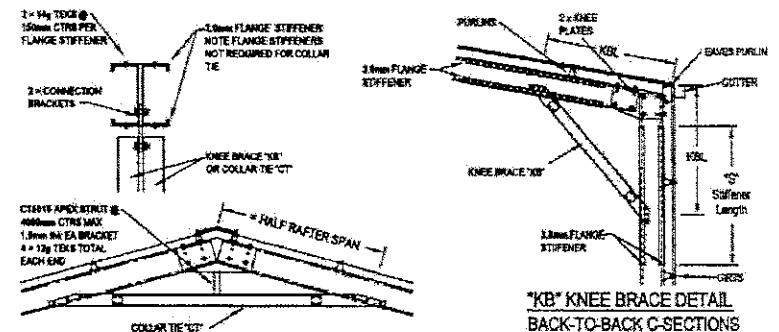
KNEE BRACE (KB)  
SINGLE SECTION

"KB" KNEE BRACE DETAIL  
SINGLE C-SECTIONS

1  
01

FRAME SECTION	LENGTH "KL"	KNEE BRACE	FIXING	"S"
C200	750mm	C15015	4 x 12g TEKS	1000mm
C250	1000mm	C15019	4 x 14g TEKS	1200mm
C300	1200mm	C20019	6 x 14g TEKS	1350mm
C350	1500mm	C25019	8 x 14g TEKS	1500mm

REQUIRED ON ALL SHEDS WHERE SPECIFIED

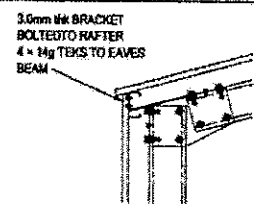


"CT" COLLAR TIE DETAIL  
BACK-TO-BACK C-SECTIONS

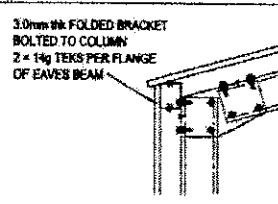
"KB" KNEE BRACE DETAIL  
BACK-TO-BACK C-SECTIONS

FRAME SECTION	LENGTH "KL"	KNEE BRACE/ COLLAR TIE	FIXING	"S"
C200	1200mm	C2015019	2 x M16	1200mm
C250	1500mm	C202019	4 x M16	1350mm
C300	1800mm	C202519	4 x M20	1500mm

3  
01

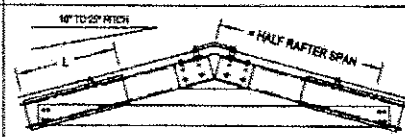


EAVES BEAM  
FIXING OPTION 1



EAVES BEAM  
FIXING OPTION 2

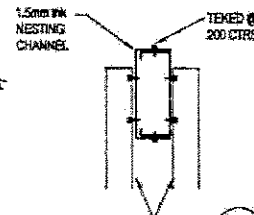
5  
01



COLLAR TIE DETAIL

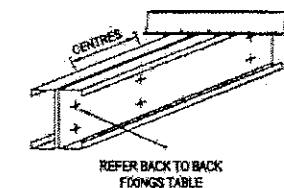
SECTION	SIZE "AB"	RAFTER FIXING	"L"
C200	C15015	4 x 12g TEKS	800mm
C250	C15019	4 x 14g TEKS	800mm
C300	C20019	6 x 14g TEKS	1000mm
C350	C20024	8 x 14g TEKS	1000mm

REQUIRED ON ALL SHEDS WHERE SPECIFIED



COLLAR TIE

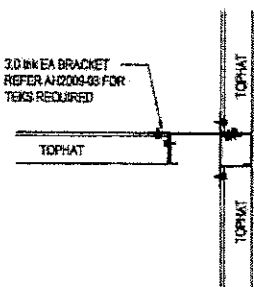
6  
01



COLUMN SELECTION	MAX DIST BETWEEN BOLTS
C250	2 x M16 @ 1200 CTS
C300	2 x M16 @ 1200 CTS
C350	2 x M16 @ 1000 CTS

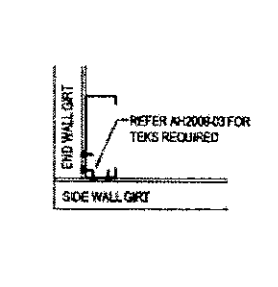
RAFTERS & COLUMNS  
FOR BACK TO BACK SECTIONS

7  
01



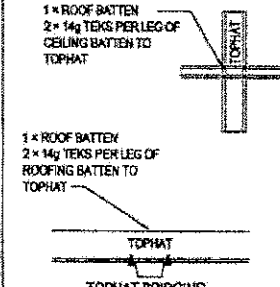
INLINE TOPHAT  
FIXING

8  
01



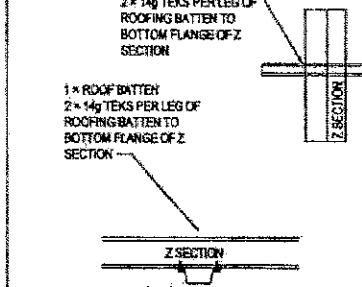
OUTLINE TOPHAT  
FIXING

10  
01



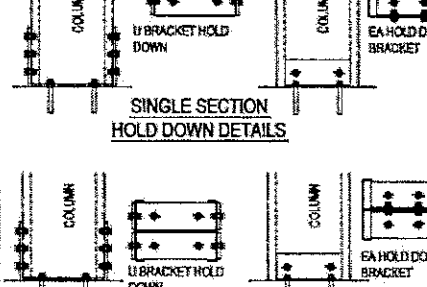
TOPHAT BRIDGING  
DETAIL

11  
01



Z SECTION BRIDGING  
DETAIL

12  
01



SINGLE SECTION  
HOLD DOWN DETAILS

BACK TO BACK  
HOLD DOWN DETAILS

SECTION	HOLD DOWN BRACKET	HOLD DOWN FIXING	COLUMN FIXING
C100	2.4mm EA	2 x M12	4 x M12 TEKS
C150	2.4mm EA	2 x M12	8 x 12g TEKS
C200	3mm EA	2 x M16	2 x M16
C250	4mm U BRACKET	2 x M16	6 x M16
C300	6mm U BRACKET	2 x M20	6 x M16
C350	8mm U BRACKET	2 x M20	6 x M16
C20250	2 x 4mm U BRACKET	4 x M16	12 x M16
C20300	2 x 6mm U BRACKET	4 x M20	12 x M16
C20350	2 x 8mm U BRACKET	4 x M20	12 x M16

NOTE: BOLTS MAY BE CASTIN 150mm OR CHEMSET 150mm  
NOTE: WASHER REQUIRED FOR ALL BOLTS  
NOTE: 1 x M16 U BOLT MAY BE USED INSTEAD OF 2 x M16 BOLTS FOR SLAB HOLD DOWN

THIS DOCUMENT FORMS PART OF  
DEVELOPMENT PERMIT NO. 20214228

13  
01

NOTE:  
Copying or  
written per  
Bare Engin  
resulting fr  
Drawings i  
hard copy.  
Architects,  
to be scale  
specifically

GPC Gladstone Ports  
Corporation

APPROVED

Name: Judy Horsfall

Date: 1:43pm 24/01/2022

that the  
/right,  
sequence  
onic form,  
equivalent  
it is not  
unless  
there's

NO.	DESCRIPTION	DATE	INITIALS
C1	CONSTRUCTION ISSUE	13.06.2013	JME
	ISSUE AMENDMENT		

JME	JLT	JLT
DRAWN	DESIGNED	CHECKED
	JLT	
PROJECT ENGINEER	DESIGN VERIFICATION	
JLT	13.06.2013	
PROJECT DIRECTOR	DATE	
JOHN L. TOWLER	P.E. No 4562	

**BE**  
Bare  
Engineering  
Structural and Civil  
Consulting Engineers  
Phone: (07) 5442 1546  
Fax: (07) 5442 3954

**ASCOT**  
HOMES

OLINDASHORE PTY LTD  
ACN 011047644  
QBSA NO: 024350  
8 Princes Street,  
East Bundaberg, Qld, 4670.  
Telephone: 07 4352 9222  
Fax: 07 4352 0969

DRAWING TITLE			
STANDARD DETAILS			
SCALES	PROJECT No.	DRAWING No.	ISSUE
NOT TO SCALE	13-17913	AH2013-01	C1

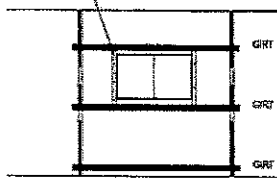






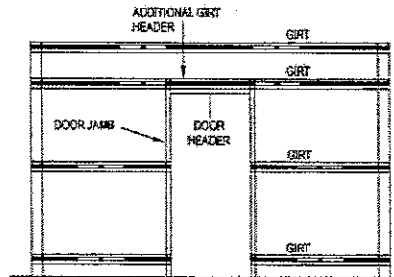
OPTION 1  
POZ RIVETS @ 100 CTRS TO SHEETING

OPTION 2  
SCREW TO ANGLE 40x40x1.5



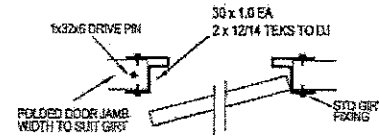
STANDARD WINDOW FIXING

1/04

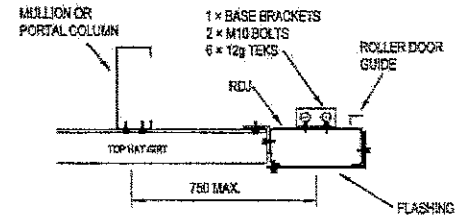


STANDARD P/A DOOR FIXING

2/04

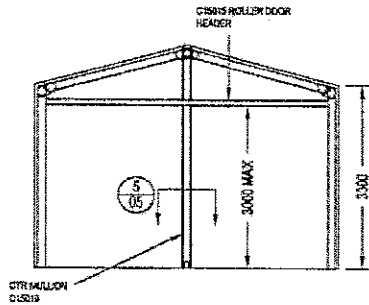


PA DOOR DETAIL



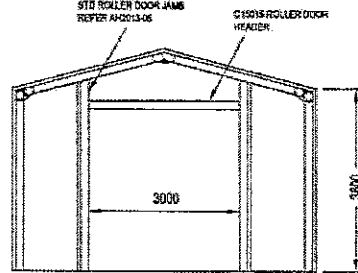
STANDARD ROLLER DOOR SECTION

3/04



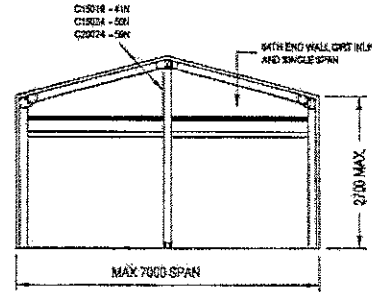
8.0m SPAN PORTAL  
2 x ROLLER END WALL

4/04



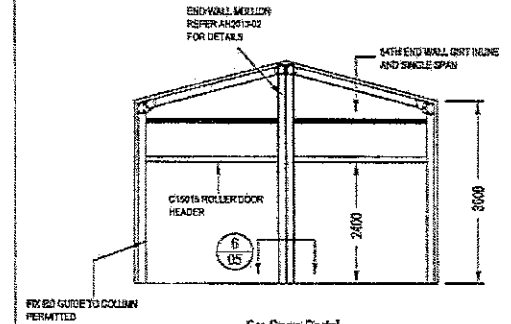
7m MAX SPAN PORTAL

5/04



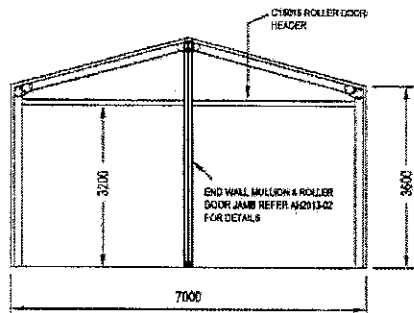
END WALL ROLLERS DOOR  
FOR SMALL SHED ONLY  
NOT SUITABLE FOR WIND LOCKED ROLLER DOORS

6/04



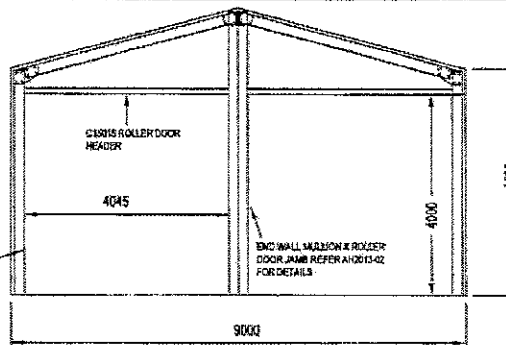
6m Span Portal  
2 x Roller End Wall  
SUITABLE FOR WIND LOCKED ROLLER DOORS

7/04



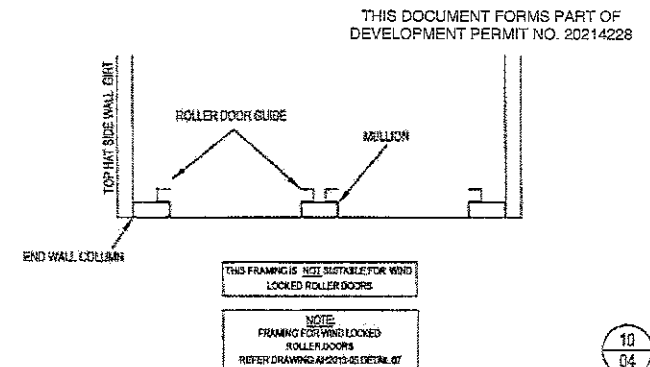
7.0m SPAN PORTAL  
2 x ROLLER END WALL

8/04



9.0m SPAN PORTAL  
2 x ROLLER END WALL

9/04



10/04

NOTE:

Copy with Bare Restr Draw Arch to be spec draw

**GPC Gladstone Ports Corporation**

**APPROVED**

Name: Judy Horsfall  
Date: 1:43pm 24/01/2022

in any form without the fringement of copyright, say or for any consequence ther data in electronic form, acy against the equivalent imensions against wings. Dimensions are not out dimensions, unless 's or other Consultant's

			JME	JLT	JLT
			DRAWN	DESIGNED	CHECKED
				JLT	
			PROJECT ENGINEER	DESIGN VERIFICATION	
			JLT	18.11.2013	
			PROJECT DIRECTOR	DATE	
C1	CONSTRUCTION ISSUE	18.11.2013	JME	JOHN L. TOWLER	P.E.C. No 4562
ISSUE AMENDMENT		DATE	INITIALS		

**BE Bare Engineering**

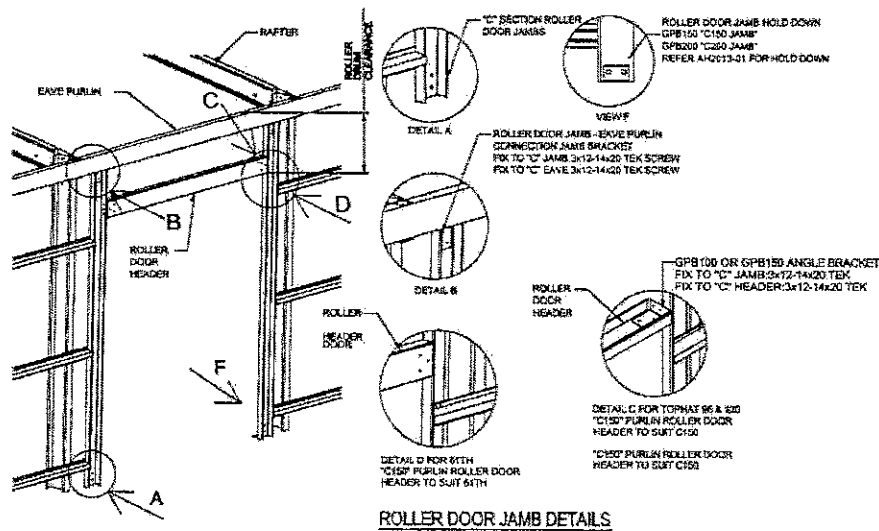
Structural and Civil Consulting Engineers  
Phone: (07) 5422 1148  
Fax: (07) 5422 3864

**ASCOT HOMES**

OLINDASHORE PTY LTD  
ACN 011047644  
OBSA NO: 024350

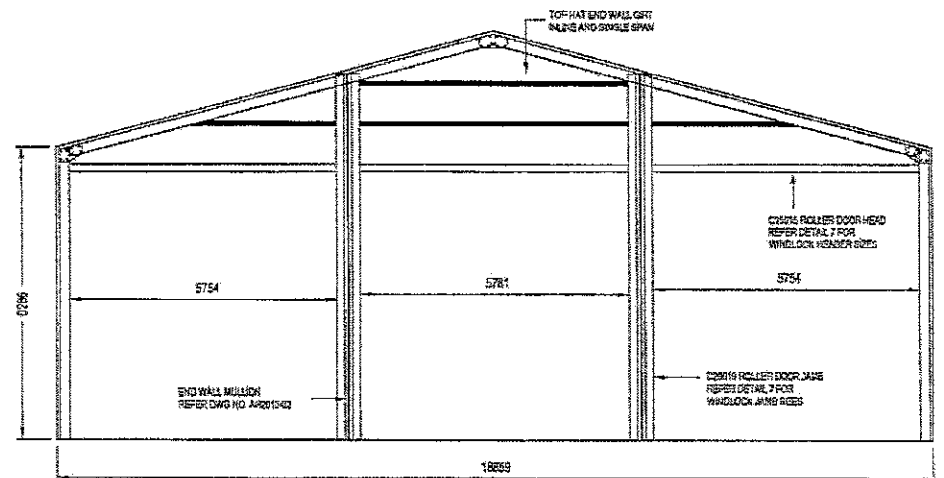
8 Princes Street,  
East Bundaberg, Qld, 4670.  
Telephone: 07 4152 9222  
Fax: 07 4152 8909

DRAWING TITLE			
STANDARD DOOR & WINDOW FRAMING DETAILS			
SCALES	PROJECT No.	DRAWING No.	ISSUE
NOT TO SCALE	13-17913	AH2013-04	C1



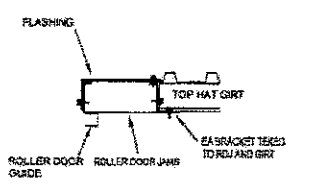
ROLLER DOOR JAMB DETAILS

1  
05



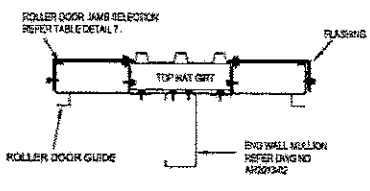
18m Span Portal  
3 x roller end wall

2  
05



GIRT TO ROLLER DOOR JAMBS DETAIL  
LARGER DOORS ONLY

3  
05

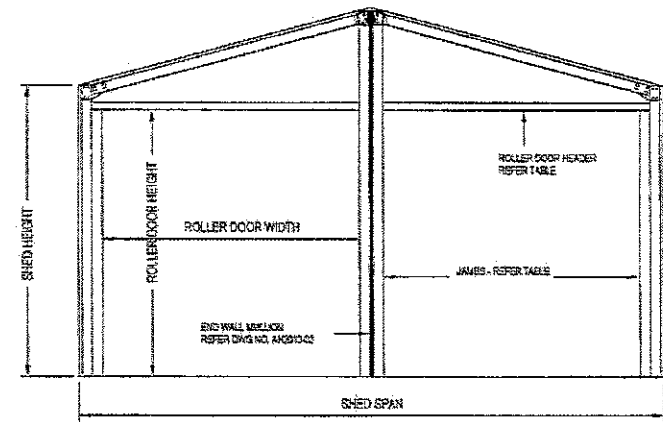


ROLLER DOOR SECTION  
FOR WIND LOCKED ROLLER DOORS

4  
05

ROLLER DOOR FRAMING		
DOOR SIZE	JAMBS	HEADER
3.5m x 3.5m	C20024	C20019
4.5m x 4.5m	C25024	C20024
5.5m x 5.5m	C30024	C20024
LARGER	REFER TO ENGINEER	REFER TO ENGINEER

THIS FRAMING SUITABLE FOR WIND LOCKED ROLLER DOORS IN CYCLONIC AREAS UP TO 63km/s SITE WIND SPEED.  
COMPLIANCE TO AS4505 (2012)



JAMBS AND HEADERS  
FOR WIND LOCKED AND  
ROLLER SHUTTER DOORS

7  
05

THIS DOCUMENT FORMS PART OF  
DEVELOPMENT PERMIT NO. 20214228

NOT  
Copy  
write  
Bare  
result  
Drawn  
hard  
Annot  
to be  
speci  
drawn

**APPROVED**

Name: Judy Horsfall  
Date: 1:44pm 24/01/2022

without the  
of copyright,  
any consequence  
electronic form,  
the equivalent  
against  
versions are not  
ions, unless  
Consultant's

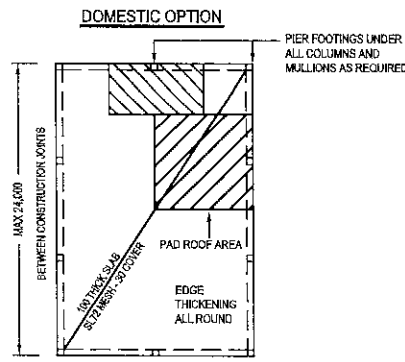
	JME	JLT	JLT
DRAWN		DESIGNED	CHECKED
		JLT	
PROJECT ENGINEER		DESIGN VERIFICATION	
		JLT	18.11.2013
PROJECT DIRECTOR		DATE	
CI CONSTRUCTION ISSUE	18.11.2013	JME	JOHN C. TOMLER
ISSUE AMENDMENT		DATE	INITIALS

Structural and Civil  
Consulting Engineers  
Phone: (07) 5482 1146  
Fax: (07) 5482 3854

OLINDASHORE PTY LTD  
ACN 011047644  
QBSA NO: 024350  
8 Princes Street,  
East Sundeberg, Qld, 4670  
Telephone: 07 4152 9222  
Fax: 07 4152 0909

DRAWING TITLE			
STANDARD ROLLER DOOR DETAILS			
SCALE:	PROJECT No:	DRAWING No:	ISSUE
NOT TO SCALE	13-J7913	AH2013-05	C1

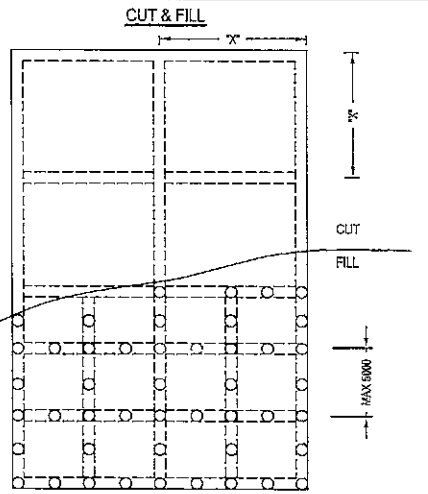
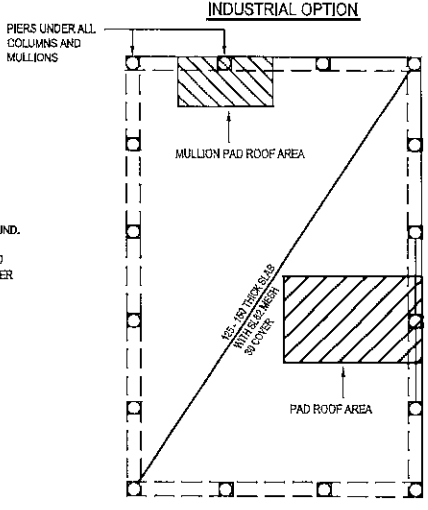




**TIE DOWN REQUIRED DOMESTIC & INDUSTRIAL SHED SLABS**

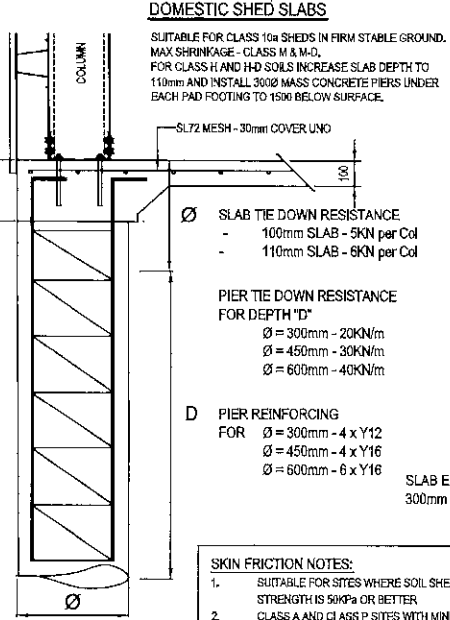
NOTE: PAD ROOF AREA IS THE ROOFED AREA THAT THE PAD IS HOLDING FOR TIE DOWN. REFER INDICATIVE SKETCHES.  
 PAD ROOF AREA = 1/2 SPAN x BAY WIDTH (AS SHOWN)  
 MULLION ROOF AREA = 1/2 BAY x MULLION SPACING (AS SHOWN)

TIE DOWN REQ (KN) = ROOF AREA (m<sup>2</sup>) \* Qu (KPa) \* Cpe  
 Cpe - ASSUMED = 0.9 Qu - REFER TABLE



SITE WIND SPEED (m/s)	Qu (KPa)
30	0.50
33	0.60
37	0.78
41	0.95
45	1.15
50	1.45
56	1.78
61	2.20
66	2.55

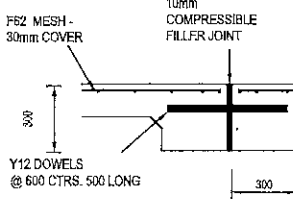
SLAB EDGE BEAM  
200mm D x 300mm W



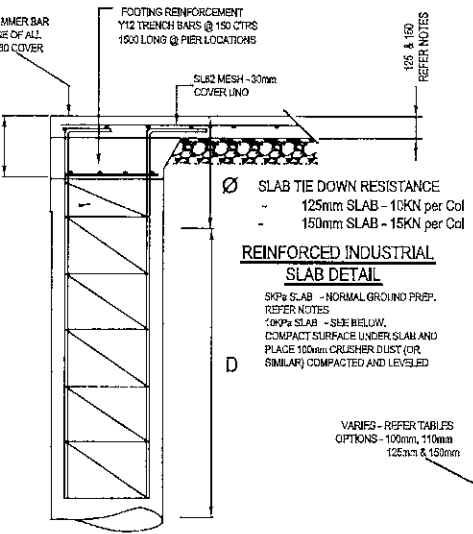
- SLAB NOTES:**
- USERS SHALL CALCULATE THE REQUIRED TIE DOWN STRENGTH FOR EACH COLUMN LOCATION AND HENCE THE REQUIRED PIER DEPTH 'D' TO BE INSTALLED IF NECESSARY
  - ONLY THE PIER DEPTH 'D' SHALL CONTRIBUTE TO SKIN FRICTION TIE DOWN.
  - SLAB TIE DOWN RESISTANCE FROM DEAD WEIGHT IS NOTED ON CROSS SECTIONS
  - MINIMUM 28 DAYS CONCRETE STRENGTH TO BE 25 MPa. MAXIMUM AGGREGATE STONE SIZE - 20mm. DESIGN SLUMP TO BE 100mm ± 10mm.
  - EDGE BEAM TO BE FOUNDED ON NATURAL SOIL OR CONTROL COMPACTED FILL. CONCRETE ON CUT/FILL SITES AND APPLICABLE PROBLEM SOILS MAY USE MASS CONCRETE PIERS PLACED THROUGH FILL 200mm INTO NATURAL SOIL.
  - SOIL CONDITIONS ARE ASSUMED TO BE CLASS M OR BETTER FOR STANDARD SLAB UNO. TABLE OPTIONS FOR CLASS H, HD & F ARE ALSO PROVIDED. SLAB AND EDGE BEAMS SHALL BE POURED IN ONE CONTINUOUS OPERATION UNO. CONCRETE IS TO BE COMPACTED BY VIBRATION OR OTHER MECHANICAL MEANS. SAW CUTTING OF CRACK CONTROL JOINTS SHALL BE CARRIED OUT WITHIN 24hrs OF THE PLACING OPERATION.
  - A SINGLE LAYER OF 200 MICRON PVC SHEETING SHALL BE PLACED UNDER THE SLAB. 50mm OF CRUSHER DUST IS RECOMMENDED FOR A LEVEL EVEN COMPACTED SURFACE.
  - CURING OF SLAB SURFACE AGAINST EXCESSIVE MOISTURE LOSS SHALL BE CARRIED OUT FOR 7 DAYS AFTER PLACING. ENGINEER APPROVED METHODS ONLY.
  - SLABS PLACED WIDER THAN 15m SPAN SHALL HAVE SL92 SLAB MESH AND 150 THK SLAB AS STANDARD.
  - ALL SLABS PLACED LONGER THAN 24m (ONE POUR) SHALL HAVE SL92 SLAB MESH AS STANDARD
  - MAXIMUM LENGTH BETWEEN CONNECTION JOINTS OF SLAB.  
100mm Thk - 18m  
150mm Thk - 30m
  - INDUSTRIAL SLAB DESIGNS ARE A GUIDE ONLY WITH MINIMUM DESIGN FOR WHEEL AND POST LOADS. ALL INDUSTRIAL SLAB DESIGNS SHOULD BE REFERRED TO AN RPEQ ENGINEER FOR A SITE SPECIFIC DESIGN

- SKIN FRICTION NOTES:**
- SUITABLE FOR SITES WHERE SOIL SHEAR STRENGTH IS 50KPa OR BETTER
  - CLASS A AND CLASS P SITES WITH MINIMAL SHEAR STRENGTH SHALL REFER TO ENGINEER
  - SKIN FRICTION FROM TOP Ø OF PIER SHALL BE IGNORED
  - TOTAL TIE DOWN - SLAB TIE DOWN + PIER SKIN FRICTION FROM DEPTH 'D'

5 KPa LIVE LOAD - 125mm SLAB SL82 MESH  
 10 KPa LIVE LOAD - 150mm SLAB SL92 MESH



CONSTRUCTION JOINT DETAIL



EDGE BEAM AND SLAB SCHEDULE

SITE CLASS	DEPTH	SLAB MESH	TRENCH MESH	MAX INTERNAL BEAM SPACING 'X'	PIERS
A	300	SL82	3-8TM	-	-
S	300	SL82	3-8TM	-	-
M	300	SL82	3-11TM	-	-
M-D	300	SL82	3-11TM	8.0m	-
H	400	SL82	3-11TM	7.0m	2.5m Ctrs
H-D	400	SL82	3-11TM	6.0m	2.5m Ctrs
E	500	SL82	3x Y12TM	5.0m	2.5m Ctrs
P	500	SL82	3x Y12TM	5.0m	2.5m Ctrs

CLASS E & P SITES SHOULD BE REFERRED TO AN ENGINEER FOR CONFIRMATION CLASS P DESIGN CAN BE USED FOR CUT/FILL SITES.

MINIMUM REINFORCEMENT LAPS-

Member	Lap	Member	Lap
Y12	300	F8TM MESH	500
			425 END 225 SIDE

ENSURE OUTER BAR OF MESH IS WITHIN 20-30mm OF SLAB EDGE. FOR BOLT SET CLOSE TO SLAB EDGE, A 12mm TRIMMER BAR IS RECOMMENDED.

VARIES - REFER TABLES  
 OPTIONS - 100mm, 110mm, 125mm & 150mm

REINFORCED EDGE BEAM SLAB DESIGN

SUITABLE FOR ALL SHEDS IN FIRM STABLE GROUND AND CUT TO HILL SITES.  
 FOR INDUSTRIAL SITES INCREASE SLAB DEPTH TO 150mm AND MESH SIZE TO SL82.  
 THIS DESIGN ALSO MAY BE SUITABLE FOR CLASS P 'PROBLEM SITES'. REFER TO ENGINEER.

THIS DOCUMENT FORMS PART OF DEVELOPMENT PERMIT NO. 20214228

**GPC Gladstone Ports Corporation**

**APPROVED**

Name: Judy Horsfall  
 Date: 1:44pm 24/01/2022

In any form without the consent of copyright owner or for any consequence of data in electronic form against the equivalent versions against us. Dimensions are not dimensions, unless other Consultants

ISSUE/AMENDMENT	DATE	INITIALS
C2 CONSTRUCTION ISSUE	20.08.2017	JME
C1 CONSTRUCTION ISSUE	13.06.2013	JME

PROJECT DIRECTOR	DATE
JOHN L. TOWLER	20.08.2017

**RE Bare Engineering**

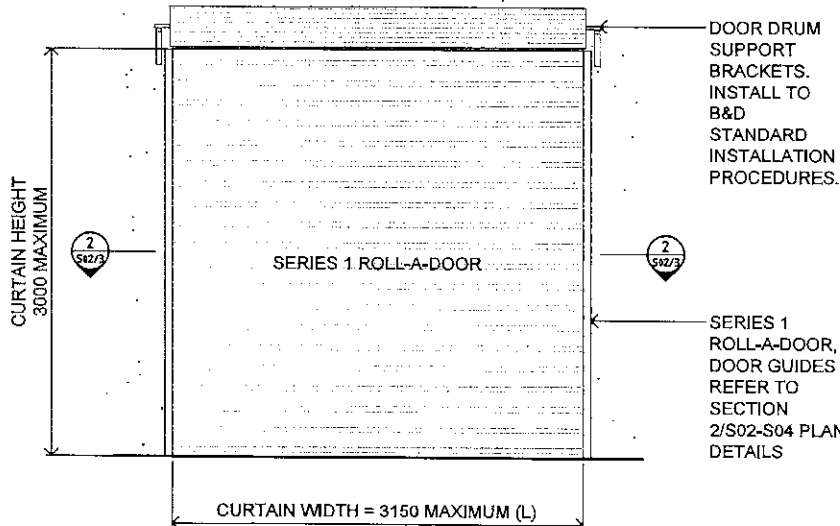
Structural and Civil Consulting Engineers  
 Phone: (07) 5482 1148

**ASCOT HOMES**

OLINDASHORE PTY LTD  
 ACN 011047644 QBSA  
 NO: 024350

8 Princes Street,  
 East Bundaberg, Qld, 4670.  
 Telephone: 07 4152 9222  
 Fax: 07 4152 0909

DRAWING TITLE			
<b>STANDARD SLAB &amp; FOUNDATION DETAILS</b>			
SCALE	PROJECT No.	DRAWING No.	ISSUE
NOT TO SCALE	13-JF-16	148-22-13-07	C2

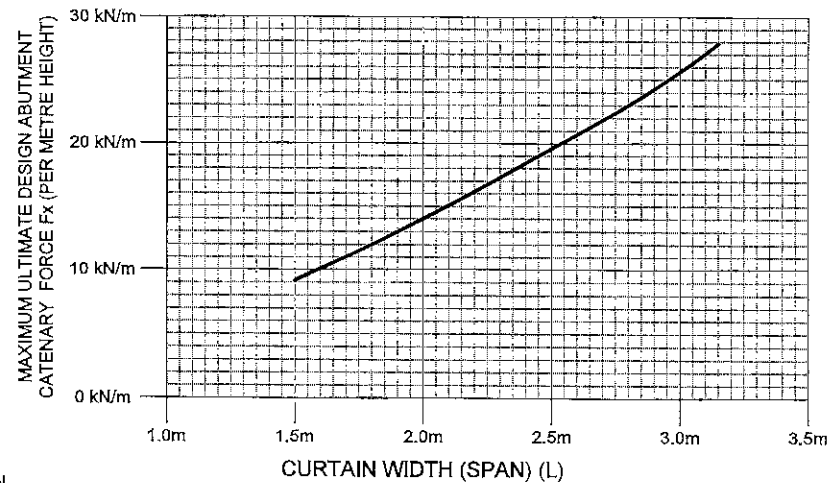


**SERIES 1 ROLL-A-DOOR ELEVATION - TYPICAL**

SCALE 1:50

NOTE:

- CURTAIN HEIGHT = OPENING HEIGHT
- OPENING WIDTH = CURTAIN WIDTH - CURTAIN OVERLAP (REFER SECTION 2 ON DRAWINGS S02, S03 & S04)

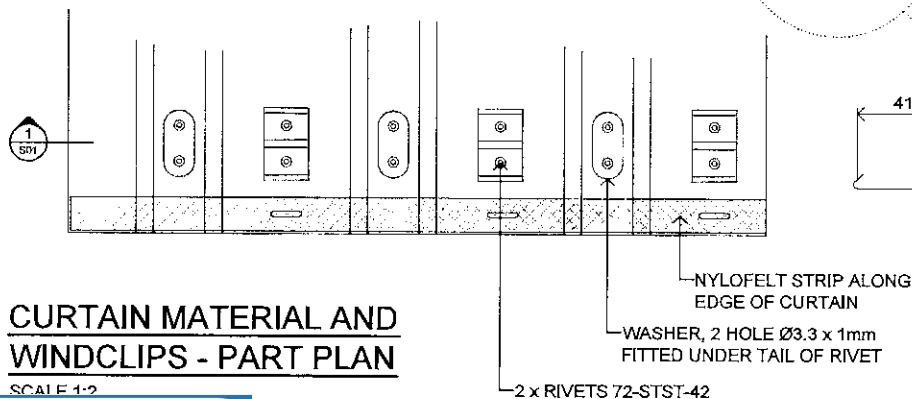


NOTE: CURTAIN WIDTH = OPENING WIDTH + CURTAIN OVERLAP

**MAXIMUM ULTIMATE DESIGN ABUTMENT CATENARY FORCE Fx (PER METRE HEIGHT) FOR VARIOUS SPANS IN REGION C, TC2 AND UP TO A MAXIMUM ULTIMATE DESIGN WIND PRESSURE OF 3.26 kPa**

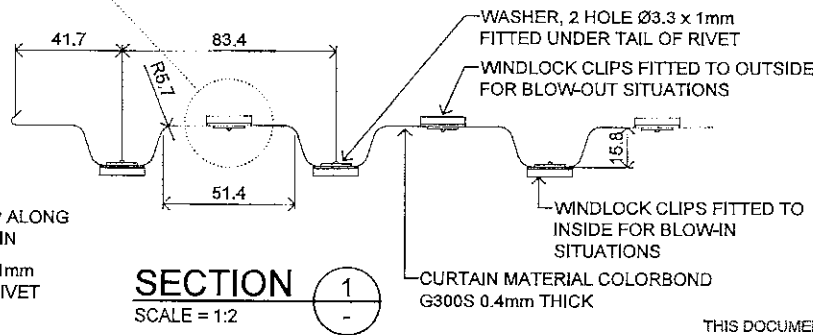
NOTE 1:  $F_x = \frac{W}{2}$   
WHERE

$F_x$  = MAXIMUM OUT OF PLANE ULTIMATE DESIGN ABUTMENT FORCE (PER METRE HEIGHT)  
 $W$  = ULTIMATE DESIGN WIND PRESSURE (kPa)  
 $L$  = CURTAIN WIDTH (SPAN) (m)



**CURTAIN MATERIAL AND WINDCLIPS - PART PLAN**

SCALE 1:2



**SECTION 1**  
SCALE = 1:2

NOTES:

DESIGN CRITERIA

- (REFER ALSO TO NOTES COVERING BASIS OF DRAWINGS & LIMITATIONS)
- REGION C
- TERRAIN CATEGORY 2
- DOOR HEIGHT 3.0M MAX.
- BUILDING IMPORTANCE = LEVEL 2
- REGION WINDSPEED VR = 66m/s
- DOORS ARE RATED UP TO AN ULTIMATE DESIGN WIND PRESSURE = 3.26 kPa FOR A MAXIMUM ALLOWABLE CURTAIN WIDTH (L) OF 3150mm.

LIMITATIONS

- (REFER ALSO TO NOTES COVERING BASIS OF DRAWINGS AND DESIGN CRITERIA).
- STEEL ABUTMENT POSTS TO BE 24mm (MIN.) IN THICKNESS WITH A MINIMUM STRESS GRADE OF G250 U.N.C.
- CHARACTERISTIC UNCONFINED COMPRESSIVE STRENGTH OF BLOCK WALL UNIT ( $f_{cu}$ ) = 15 MPa (MIN.).
- CORE FILLING OF BLOCKWALL ( $f_{cf}$ ) = 15 MPa (MIN.).
- THE STRUCTURE TO WHICH THE DOOR GUIDES ARE ATTACHED SHALL BE ASSESSED AND CERTIFIED INDEPENDENTLY AS REQUIRED BY A SUITABLY QUALIFIED ENGINEER.
- ALTERNATIVE DESIGN PARAMETERS TO WHAT ARE SPECIFIED ON THESE DRAWINGS ALONG WITH ALTERNATIVE SITE SPECIFIC LOCAL PRESSURE FACTORS MAY BE ADOPTED PROVIDED THE CALCULATED ULTIMATE DESIGN WIND PRESSURES DO NOT EXCEED 3.26 kPa.
- THE BUILDING DESIGN STRUCTURAL ENGINEER IS TO ENSURE THAT THE SITE SPECIFIC DESIGN WIND LOADINGS DO NOT EXCEED THE MAXIMUM ULTIMATE DESIGN WIND PRESSURE RATING OF 3.26 kPa.
- DOORS MAY BE POSITIONED AT ANY LOCATION ALONG THE BUILDING ENVELOPE INCLUDING ALL LOCAL PRESSURE ZONES (i.e. CORNERS OF BUILDINGS), PROVIDED THE CALCULATED MAXIMUM ULTIMATE DESIGN WIND PRESSURES DO NOT EXCEED 3.26 kPa.

NOTES COVERING BASIS OF DRAWINGS

- TEST REPORT NO. T8894 REVISION A (CYCLONE TESTING STATION, SCHOOL OF ENGINEERING AND PHYSICAL SCIENCES, JAMES COOK UNIVERSITY).
- PRINCIPLES OF MECHANICS.
- AS/NZS 1170.2:2011 STRUCTURAL DESIGN ACTIONS-PART 2: WIND ACTIONS.
- AS/NZS 1170.0:2002 STRUCTURAL DESIGN ACTIONS-PART 0: GENERAL PRINCIPLES.
- AS/NZS 4505:2012 GARAGE DOORS AND OTHER LARGE ACCESS DOORS.
- AS 4100:1998 STEEL STRUCTURES.
- AS 3700:2018 MASONRY STRUCTURES.
- AS/NZS 1170.1:2002 STRUCTURAL DESIGN ACTIONS-PART 1: PERMANENT, IMPOSED AND OTHER ACTIONS.
- AS/NZS 4800:2018 COLD FORMED STRUCTURES.
- AS/NZS 1684.1:1987 ALUMINIUM STRUCTURES PART 1: LIMIT STATE DESIGN.
- AS 1720.1-2010 TIMBER STRUCTURES PART 1: DESIGN METHODS.
- AS 4065:2012 WIND LOADS FOR HOUSING.
- THE SERIES 1 ROLL-A-DOORS INCLUDE THE FOLLOWING B&D PRODUCT/MODEL NAMES:
  - a) SQUARELINE™ DELUXE ROLL-A-DOOR® (MODEL R1D)
  - b) FIRMADOOR (MODEL R1F)
  - c) ROLLMASTA (MODEL R1R)
  - d) ROLL-A-DOOR™ MINI WAREHOUSE MODEL (MODEL R1M)
  - e) ROLL-A-DOOR™ MINI WAREHOUSE (R1ME)
- ALL DOOR COMPONENTS TO BE IN ACCORDANCE WITH STANDARD B&D SERIES 1 ROLL-A-DOOR MANUFACTURING.
- DOOR INSTALLATION TO BE IN ACCORDANCE WITH STANDARD B&D SERIES 1 ROLL-A-DOOR INSTALLATION GUIDELINES.

THIS DOCUMENT FORMS PART OF DEVELOPMENT PERMIT NO. 20214228

Gladstone Ports Corporation

**APPROVED**

Name: Judy Horsfall  
Date: 1:44pm 24/01/2022

CLIENT: B&D AUSTRALIA PTY LTD  
PROJECT: B&D SERIES 1 ROLL-A-DOOR (WINDLOCKED) FOR USE IN WIND REGION C, TC2

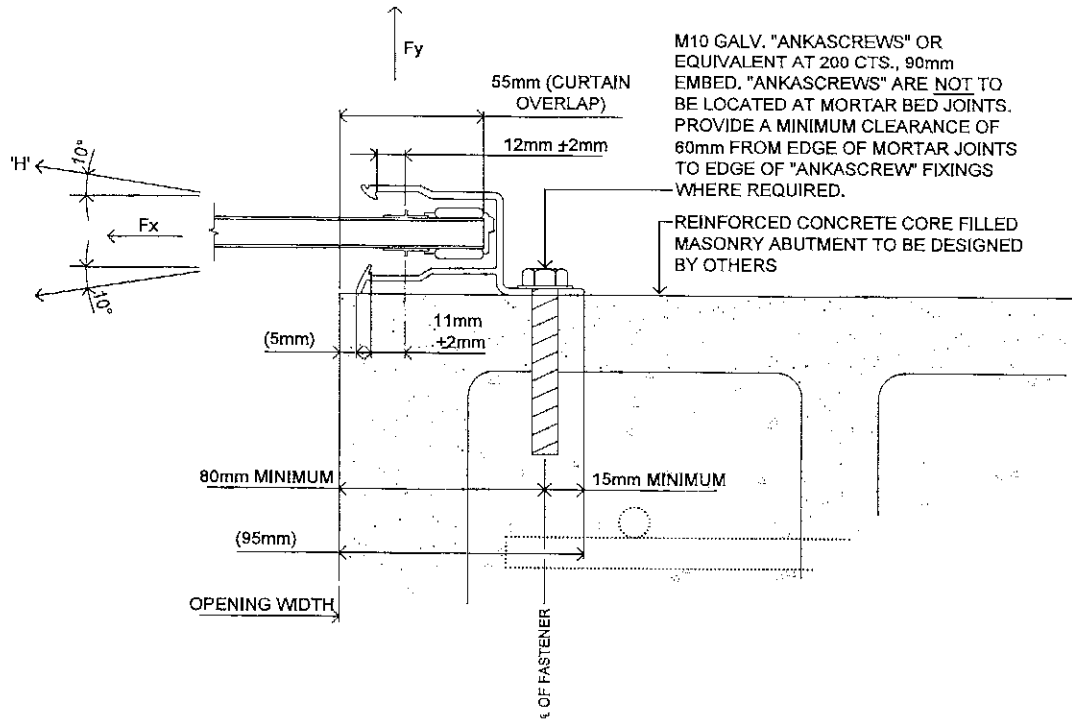
DRAWING: SERIES 1 ROLL-A-DOOR ELEVATION, PART PLAN, SECTION DETAIL, GRAPH

**JAMES ELLIS & ASSOCIATES**  
Consulting Structural Engineers

www.jameselliengineers.com.au  
PO Box 251, Padstow NSW 2211  
Ph: 8764 1035

SCALE	DESIGNED	DRAWN	CHECKED & APPROVED	DATE
	J.E.	AAB	[Signature]	Oct 2021

DRAWING No.	<b>S01 L</b>
PROJECT No.	<b>2212</b>



**SECTION 2 PLAN**

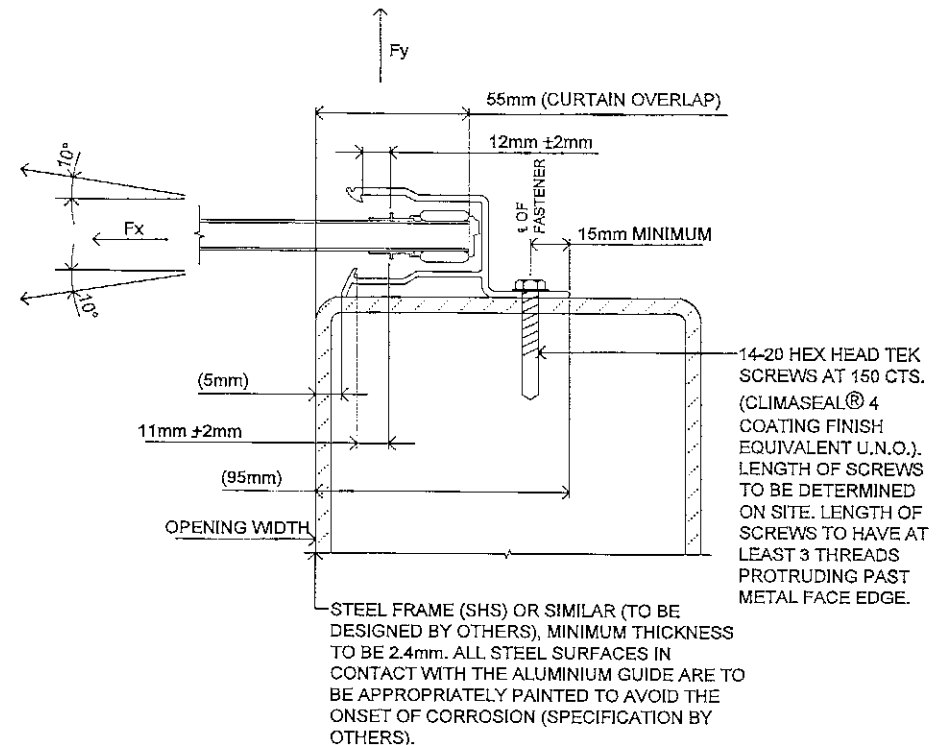
SCALE = 1:2

2  
S01

GUIDE SUPPORTED BY REINFORCED CONCRETE CORE FILLED MASONRY UNITS FOR A MAXIMUM DOOR SPAN (L) OF 3150mm IN REGION C TC2 AND UP TO A MAXIMUM ULTIMATE DESIGN WIND PRESSURE OF 3.26 kPa.

**NOTE:**

- THE ABOVE FIXING DETAIL HAS BEEN BASED ON A MAXIMUM DESIGN SPAN (L) OF 3150mm.
- FIXINGS INTO REINFORCED CONCRETE CORE FILLED BLOCK WALL ABUTMENTS HAVE BEEN DESIGNED USING THE RAMSET-SPECIFIERS RESOURCE BOOK.
- THE FOLLOWING CODES OF PRACTICE WERE ALSO CONSIDERED IN THE DESIGN OF THE ABOVE FIXING DETAIL:  
AS/NZS 1664.1:1997 ALUMINIUM STRUCTURES PART 1: LIMIT STATE DESIGN.  
AS 3700-2018 MASONRY STRUCTURES



**SECTION 2 PLAN**

SCALE = 1:2

2  
S01

GUIDE SUPPORTED BY MILD STEEL FRAME FOR A MAXIMUM DOOR SPAN (L) OF 3150mm IN REGION C TC2 AND UP TO A MAXIMUM ULTIMATE DESIGN WIND PRESSURE OF 3.26 kPa.

**NOTE:**

- THE ABOVE FIXING DETAIL HAS BEEN BASED ON A MAXIMUM DESIGN SPAN (L) OF 3150mm.
- FIXINGS INTO STRUCTURAL STEEL ABUTMENTS HAVE BEEN DESIGNED USING TECHNICAL DATA PROVIDED BY BUILDDEX FASTENERS.
- STAINLESS STEEL TEK SCREWS IN LIEU OF CLIMASEAL® 4 COATED TEK SCREWS ARE TO BE USED IN HIGHLY CORROSIVE ENVIRONMENTS.
- THE FOLLOWING CODES OF PRACTICE WERE ALSO CONSIDERED IN THE DESIGN OF THE ABOVE FIXING DETAIL:  
AS 4100:1998 STEEL STRUCTURES.  
AS/NZS 4600:2018 COLD FORMED STEEL STRUCTURES  
AS/NZS 1664.1:1997 ALUMINIUM STRUCTURES PART 1: LIMIT STATE DESIGN.

THIS DOCUMENT FORMS PART OF DEVELOPMENT PERMIT NO. 20214228



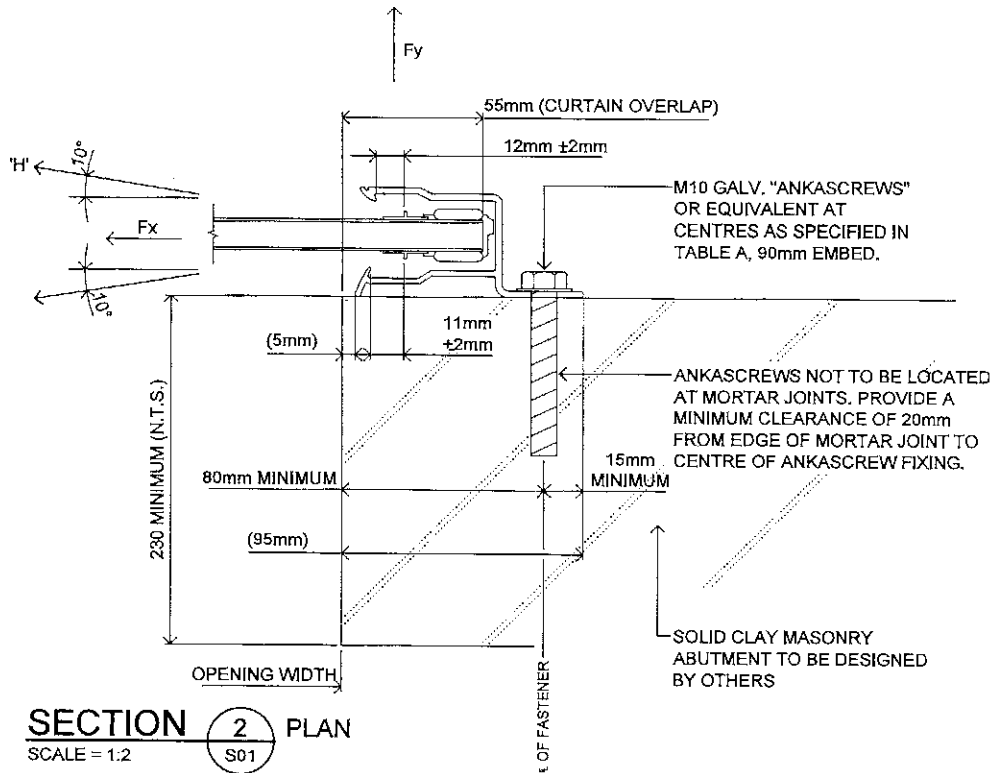
ISSUE	DATE	AMENDMENTS
G	09.07.13	GENERAL REVISION
H	01.11.13	GENERAL REVISION
J	02.06.14	GENERAL REVISION
K	24.12.14	GENERAL REVISION
L	14.10.21	GENERAL REVISION

CLIENT	<b>B&amp;D AUSTRALIA PTY LTD</b>
PROJECT	<b>B&amp;D SERIES 1 ROLL-A-DOOR (WINDLOCKED) FOR USE IN WIND REGION C, TC2</b>

DRAWING	<b>SERIES 1 ROLL-A-DOOR SUPPORT SECTION</b>	SCALE	
		DESIGNED	J.E.
		DRAWN	AAB
		CHECKED & APPROVED	[Signature]
		DATE	Oct 2021

DRAWING No.	<b>S02 L</b>
PROJECT No.	<b>2212</b>





**SECTION 2 PLAN**  
SCALE = 1:2  
S01

GUIDE SUPPORTED BY SOLID CLAY MASONRY WALLS FOR A MAXIMUM DOOR SPAN (L) OF 3150mm.  
FOR USE IN WIND REGIONS A AND B, TC2 AND UP TO A MAXIMUM ULTIMATE DESIGN WIND PRESSURE AS NOMINATED IN TABLE A.

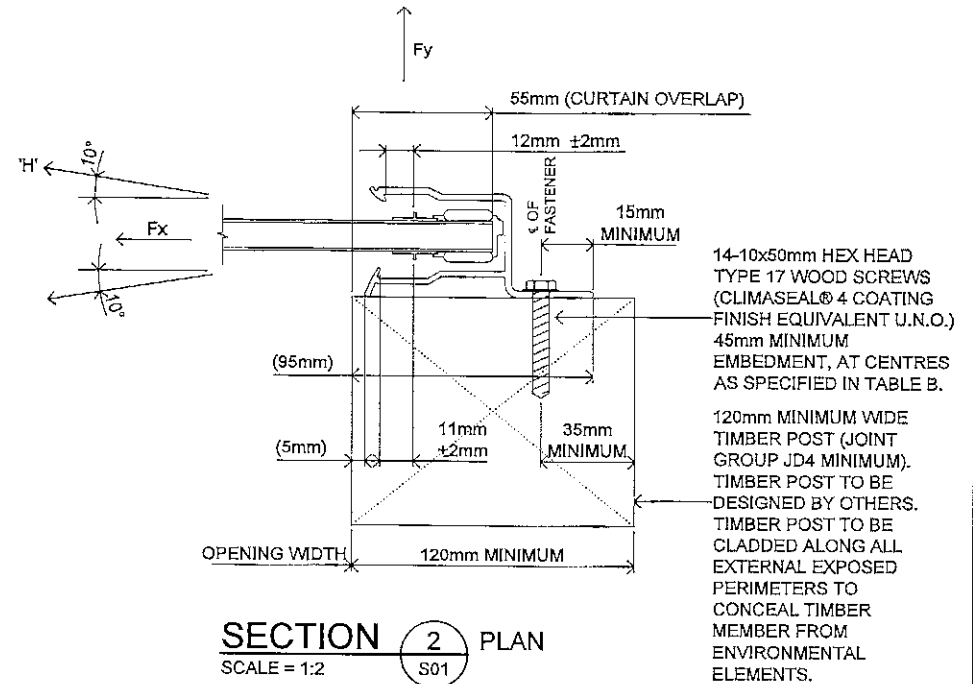
**TABLE A**

FASTENING SPECIFICATIONS INTO SOLID CLAY MASONRY ABUTMENTS

WIND REGION	TERRAIN CATEGORY	MAXIMUM DESIGN WIND PRESSURE (kPa)	SPACING (mm)
A	TC2	1.10 kPa	255mm (ie. AT EVERY 3rd BRICK COURSE)
B	TC2	1.77 kPa	170mm (ie. AT EVERY 2nd BRICK COURSE)

**NOTE:**

- THE ABOVE FIXING DETAIL HAS BEEN BASED ON A MAXIMUM DESIGN SPAN (L) OF 3150mm.
- THE ABOVE FIXING DETAIL APPLIES TO THE USE OF SOLID CLAY MASONRY UNITS FOR THE CONSTRUCTION OF THE ABUTMENTS.
- FIXINGS INTO SOLID CLAY MASONRY ABUTMENTS HAVE BEEN DESIGNED USING THE RAMSET-SPECIFIERS RESOURCE BOOK.
- THE FOLLOWING CODES OF PRACTICE WERE ALSO CONSIDERED IN THE DESIGN OF THE ABOVE FIXING DETAIL:  
AS/NZS 1664.1:1997 ALUMINIUM STRUCTURES PART 1: LIMIT STATE DESIGN.  
AS 3700-2018 MASONRY STRUCTURES



**SECTION 2 PLAN**  
SCALE = 1:2  
S01

GUIDE SUPPORTED BY TIMBER FRAMED WALLS FOR A MAXIMUM DOOR SPAN (L) OF 3150mm IN REGIONS A, B AND C, TC2 AND UP TO A MAXIMUM ULTIMATE DESIGN WIND PRESSURE AS NOMINATED IN TABLE B.

**TABLE B**

FASTENING SPECIFICATIONS INTO TIMBER FRAMED ABUTMENTS

WIND REGION	TERRAIN CATEGORY	MAXIMUM DESIGN WIND PRESSURE (kPa)	SPACING (mm)
A	TC2	1.10 kPa	250mm
B	TC2	1.77 kPa	160mm
C	TC2	3.26 kPa	90mm

**NOTE:**

- THE ABOVE FIXING DETAIL HAS BEEN BASED ON A MAXIMUM DESIGN SPAN (L) OF 3150mm.
- FIXINGS INTO TIMBER FRAMED ABUTMENTS HAVE BEEN DESIGNED USING TECHNICAL DATA PROVIDED BY BUILDEX FASTENERS.
- STAINLESS STEEL TEK SCREWS IN LIEU OF CLIMASEAL® 4 COATED TEK SCREWS ARE TO BE USED IN HIGHLY CORROSIVE ENVIRONMENTS.
- THE FOLLOWING CODES OF PRACTICE WERE ALSO CONSIDERED IN THE DESIGN OF THE ABOVE FIXING DETAIL:  
AS 1720.1-2010 TIMBER STRUCTURES PART 1: DESIGN METHODS.  
AS/NZS 1664.1:1997 ALUMINIUM STRUCTURES PART 1: LIMIT STATE DESIGN.



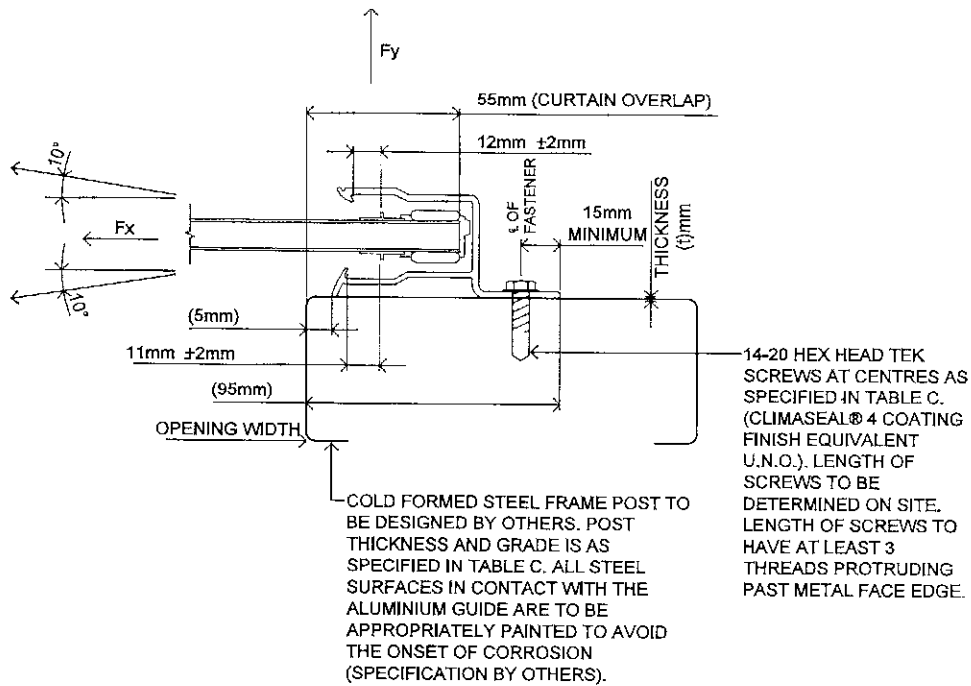
THIS DOCUMENT FORMS PART OF  
DEVELOPMENT PERMIT NO. 20214228

ISSUE	DATE	AMENDMENTS
G	09.07.13	GENERAL REVISION
H	01.11.13	GENERAL REVISION
J	02.06.14	GENERAL REVISION
K	24.12.14	GENERAL REVISION
L	14.10.21	GENERAL REVISION

CLIENT	B&D AUSTRALIA PTY LTD
PROJECT	B&D SERIES 1 ROLL-A-DOOR (WINDLOCKED) FOR USE IN WIND REGION C, TC2

DRAWING	SERIES 1 ROLL-A-DOOR SUPPORT SECTION DETAIL	SCALE	
		DESIGNED	J.E.
		DRAWN	AAB
		CHECKED/ APPROVED	[Signature]
		DATE	04/2021

DRAWING No.	S03 L
PROJECT No.	2212



**TABLE C**

FASTENING SPECIFICATIONS INTO COLD FORMED STEEL ABUTMENT SUPPORTS COMPLYING WITH AS 1397-2011

THICKNESS (t)mm	GRADE	YIELD STRENGTH	TENSILE STRENGTH	SPACING (mm)
1mm	G550	550 MPa	550 MPa	100mm
1.2mm	G500	500 MPa	520 MPa	125mm
1.5mm	G450	450 MPa	480 MPa	150mm
1.9mm	G450	450 MPa	480 MPa	150mm

**SECTION 2 PLAN**  
SCALE = 1:2

GUIDE SUPPORTED BY COLD FORMED STEEL FRAME FOR A MAXIMUM DOOR SPAN (L) OF 3150mm IN REGION C TC2 AND UP TO A MAXIMUM ULTIMATE DESIGN WIND PRESSURE OF 3.26 KPa.

**NOTE:**

- THE ABOVE FIXING DETAIL HAS BEEN BASED ON A MAXIMUM DESIGN SPAN OF 3150mm.
- FIXINGS INTO COLD FORMED STEEL ABUTMENTS HAVE BEEN DESIGNED USING TECHNICAL DATA PROVIDED BY BUILDEX FASTENERS.
- STAINLESS STEEL TEK SCREWS IN LIEU OF CLIMASEAL® 4 COATED TEK SCREWS ARE TO BE USED IN HIGHLY CORROSIVE ENVIRONMENTS.
- THE FOLLOWING CODES OF PRACTICE WERE ALSO CONSIDERED IN THE DESIGN OF THE ABOVE FIXING DETAIL:  
AS/NZS 4600:2018 COLD FORMED STEEL STRUCTURES  
AS/NZS 1664.1:1997 ALUMINIUM STRUCTURES PART 1:LIMIT STATE DESIGN.



THIS DOCUMENT FORMS PART OF DEVELOPMENT PERMIT NO. 20214228

ISSUE	DATE	AMENDMENTS
A	14.10.13	ISSUED FOR CONSTRUCTION
H	01.11.13	GENERAL REVISION
J	02.06.14	GENERAL REVISION
K	24.12.14	GENERAL REVISION
L	14.10.21	GENERAL REVISION

CLIENT	<b>B&amp;D AUSTRALIA PTY LTD</b>
PROJECT	<b>B&amp;D SERIES 1 ROLL-A-DOOR (WINDLOCKED) FOR USE IN WIND REGION C, TC2</b>

DRAWING	<b>SERIES 1 ROLL-A-DOOR SUPPORT SECTION DETAIL</b>
DESIGNED	J.E.
DRAWN	AAB
CHECKED & APPROVED	
DATE	Oct 2021

DRAWING No.	<b>S04 L</b>
PROJECT No.	<b>2212</b>

## Attachment 3 Extract of Appeal Provisions

---

## **Schedule 1 Appeals**

section 229

### **1 Appeal rights and parties to appeals**

- (1) Table 1 states the matters that may be appealed to—
  - (a) the P&E court; or
  - (b) a tribunal.
- (2) However, table 1 applies to a tribunal only if the matter involves—
  - (a) the refusal, or deemed refusal of a development application, for—
    - (i) a material change of use for a classified building; or
    - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
  - (b) a provision of a development approval for—
    - (i) a material change of use for a classified building; or
    - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
  - (c) if a development permit was applied for—the decision to give a preliminary approval for—
    - (i) a material change of use for a classified building; or
    - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
  - (d) a development condition if—
    - (i) the development approval is only for a material change of use that involves the use of a building classified under the Building Code as a class 2 building; and

- 
- (ii) the building is, or is proposed to be, not more than 3 storeys; and
    - (iii) the proposed development is for not more than 60 sole-occupancy units; or
  - (e) a decision for, or a deemed refusal of, an extension application for a development approval that is only for a material change of use of a classified building; or
  - (f) a decision for, or a deemed refusal of, a change application for a development approval that is only for a material change of use of a classified building; or
  - (g) a matter under this Act, to the extent the matter relates to the Building Act, other than a matter under that Act that may or must be decided by the Queensland Building and Construction Commission; or
  - (h) a decision to give an enforcement notice—
    - (i) in relation to a matter under paragraphs (a) to (g); or
    - (ii) under the *Plumbing and Drainage Act 2018*; or
  - (i) an infrastructure charges notice; or
  - (j) the refusal, or deemed refusal, of a conversion application; or
  - (l) a matter prescribed by regulation.
- (3) Also, table 1 does not apply to a tribunal if the matter involves—
- (a) for a matter in subsection (2)(a) to (d)—
    - (i) a development approval for which the development application required impact assessment; and
    - (ii) a development approval in relation to which the assessment manager received a properly made submission for the development application; or
  - (b) a provision of a development approval about the identification or inclusion, under a variation approval, of a matter for the development.

- (4) Table 2 states the matters that may be appealed only to the P&E Court.
- (5) Table 3 states the matters that may be appealed only to the tribunal.
- (6) In each table—
  - (a) column 1 states the appellant in the appeal; and
  - (b) column 2 states the respondent in the appeal; and
  - (c) column 3 states the co-respondent (if any) in the appeal; and
  - (d) column 4 states the co-respondents by election (if any) in the appeal.
- (7) If the chief executive receives a notice of appeal under section 230(3)(f), the chief executive may elect to be a co-respondent in the appeal.
- (8) In this section—  
*storey* see the Building Code, part A1.1.

<b>Table 1</b>
<b>Appeals to the P&amp;E Court and, for certain matters, to a tribunal</b>
<p>1. Development applications</p> <p>For a development application other than an excluded application, an appeal may be made against—</p> <ol style="list-style-type: none"> <li>(a) the refusal of all or part of the development application; or</li> <li>(b) the deemed refusal of the development application; or</li> <li>(c) a provision of the development approval; or</li> <li>(d) if a development permit was applied for—the decision to give a preliminary approval.</li> </ol>

<b>Table 1 Appeals to the P&amp;E Court and, for certain matters, to a tribunal</b>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant	The assessment manager	If the appeal is about a concurrence agency's referral response—the concurrence agency	<p>1 A concurrence agency that is not a co-respondent</p> <p>2 If a chosen assessment manager is the respondent—the prescribed assessment manager</p> <p>3 Any eligible advice agency for the application</p> <p>4 Any eligible submitter for the application</p>
<p><b>2. Change applications</b></p> <p>For a change application other than an excluded application, an appeal may be made against—</p> <p>(a) the responsible entity's decision on the change application; or</p> <p>(b) a deemed refusal of the change application.</p>			

<b>Table 1 Appeals to the P&amp;E Court and, for certain matters, to a tribunal</b>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 The applicant 2 If the responsible entity is the assessment manager—an affected entity that gave a pre-request notice or response notice</p>	<p>The responsible entity</p>	<p>If an affected entity starts the appeal—the applicant</p>	<p>1 A concurrence agency for the development application 2 If a chosen assessment manager is the respondent—the prescribed assessment manager 3 A private certifier for the development application 4 Any eligible advice agency for the change application 5 Any eligible submitter for the change application</p>
<p><b>3. Extension applications</b> For an extension application other than an extension application called in by the Minister, an appeal may be made against—</p> <p>(a) the assessment manager’s decision on the extension application; or (b) a deemed refusal of the extension application.</p>			



<b>Table 1 Appeals to the P&amp;E Court and, for certain matters, to a tribunal</b>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 The applicant</p> <p>2 For a matter other than a deemed refusal of an extension application—a concurrence agency, other than the chief executive, for the application</p>	<p>The assessment manager</p>	<p>If a concurrence agency starts the appeal—the applicant</p>	<p>If a chosen assessment manager is the respondent—the prescribed assessment manager</p>
<p><b>4. Infrastructure charges notices</b></p> <p>An appeal may be made against an infrastructure charges notice on 1 or more of the following grounds—</p> <p>(a) the notice involved an error relating to—</p> <p style="padding-left: 20px;">(i) the application of the relevant adopted charge; or</p> <p><i>Examples of errors in applying an adopted charge—</i></p> <ul style="list-style-type: none"> <li>• the incorrect application of gross floor area for a non-residential development</li> <li>• applying an incorrect ‘use category’, under a regulation, to the development</li> </ul> <p style="padding-left: 20px;">(ii) the working out of extra demand, for section 120; or</p> <p style="padding-left: 20px;">(iii) an offset or refund; or</p> <p>(b) there was no decision about an offset or refund; or</p> <p>(c) if the infrastructure charges notice states a refund will be given—the timing for giving the refund; or</p> <p>(d) for an appeal to the P&amp;E Court—the amount of the charge is so unreasonable that no reasonable relevant local government could have imposed the amount.</p>			

<b>Table 1 Appeals to the P&amp;E Court and, for certain matters, to a tribunal</b>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the infrastructure charges notice	The local government that gave the infrastructure charges notice	—	—
<p><b>5. Conversion applications</b>                      An appeal may be made against—                      (a) the refusal of a conversion application; or                      (b) a deemed refusal of a conversion application.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant	The local government to which the conversion application was made	—	—
<p><b>6. Enforcement notices</b>                      An appeal may be made against the decision to give an enforcement notice.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the enforcement notice	The enforcement authority	—	If the enforcement authority is not the local government for the premises in relation to which the offence is alleged to have happened—the local government

<b>Table 2 Appeals to the P&amp;E Court only</b>			
<p><b>1. Appeals from tribunal</b></p> <p>An appeal may be made against a decision of a tribunal, other than a decision under section 252, on the ground of—</p> <p>(a) an error or mistake in law on the part of the tribunal; or</p> <p>(b) jurisdictional error.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A party to the proceedings for the decision	The other party to the proceedings for the decision	—	—
<p><b>2. Eligible submitter appeals</b></p> <p>For a development application or change application other than an excluded application, an appeal may be made against the decision to approve the application, to the extent the decision relates to—</p> <p>(a) any part of the development application or change application that required impact assessment; or</p> <p>(b) a variation request.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 For a development application—an eligible submitter for the development application</p> <p>2 For a change application—an eligible submitter for the change application</p>	<p>1 For a development application—the assessment manager</p> <p>2 For a change application—the responsible entity</p>	<p>1 The applicant</p> <p>2 If the appeal is about a concurrence agency’s referral response—the concurrence agency</p>	<p>Another eligible submitter for the application</p>

<b>Table 2 Appeals to the P&amp;E Court only</b>			
<p><b>3. Eligible submitter and eligible advice agency appeals</b></p> <p>For a development application or change application other than an excluded application, an appeal may be made against a provision of the development approval, or a failure to include a provision in the development approval, to the extent the matter relates to—</p> <p>(a) any part of the development application or change application that required impact assessment; or</p> <p>(b) a variation request.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 For a development application—an eligible submitter for the development application</p> <p>2 For a change application—an eligible submitter for the change application</p> <p>3 An eligible advice agency for the development application or change application</p>	<p>1 For a development application—the assessment manager</p> <p>2 For a change application—the responsible entity</p>	<p>1 The applicant</p> <p>2 If the appeal is about a concurrence agency’s referral response—the concurrence agency</p>	<p>Another eligible submitter for the application</p>
<p><b>4. Compensation claims</b></p> <p>An appeal may be made against—</p> <p>(a) a decision under section 32 about a compensation claim; or</p> <p>(b) a decision under section 265 about a claim for compensation; or</p> <p>(c) a deemed refusal of a claim under paragraph (a) or (b).</p>			

<b>Table 2 Appeals to the P&amp;E Court only</b>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person dissatisfied with the decision	The local government to which the claim was made	—	—
<p><b>5. Registered premises</b> An appeal may be made against a decision of the Minister under chapter 7, part 4.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 A person given a decision notice about the decision</p> <p>2 If the decision is to register premises or renew the registration of premises—an owner or occupier of premises in the affected area for the registered premises who is dissatisfied with the decision</p>	The Minister	—	If an owner or occupier starts the appeal—the owner of the registered premises
<p><b>6. Local laws</b> An appeal may be made against a decision of a local government, or conditions applied, under a local law about—</p> <p>(a) the use of premises, other than a use that is the natural and ordinary consequence of prohibited development; or</p> <p>(b) the erection of a building or other structure.</p>			

<b>Table 2 Appeals to the P&amp;E Court only</b>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who— (a) applied for the decision; and (b) is dissatisfied with the decision or conditions.	The local government	—	—

<b>Table 3 Appeals to a tribunal only</b>			
<p><b>1. Building advisory agency appeals</b></p> <p>An appeal may be made against giving a development approval for building work to the extent the building work required code assessment against the building assessment provisions.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A building advisory agency for the development application related to the approval	The assessment manager	The applicant	<p>1 A concurrence agency for the development application related to the approval</p> <p>2 A private certifier for the development application related to the approval</p>

<b>Table 3 Appeals to a tribunal only</b>			
<p><b>2. Inspection of building work</b></p> <p>An appeal may be made against a decision of a building certifier or referral agency about the inspection of building work that is the subject of a building development approval under the Building Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant for the development approval	The person who made the decision	—	—
<p><b>3. Certain decisions under the Building Act and the <i>Plumbing and Drainage Act 2018</i></b></p> <p>An appeal may be made against—</p> <p>(a) a decision under the Building Act, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under that Act; or</p> <p>(b) a decision under the <i>Plumbing and Drainage Act 2018</i>, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under that Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who received, or was entitled to receive, an information notice about the decision	The entity that made the decision	—	—
<p><b>4. Local government failure to decide application under the Building Act</b></p> <p>An appeal may be made against a local government's failure to decide an application under the Building Act within the period required under that Act.</p>			

<b>Table 3 Appeals to a tribunal only</b>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who was entitled to receive notice of the decision	The local government to which the application was made	—	—
<p>5. Failure to make a decision about an application or other matter under the <i>Plumbing and Drainage Act 2018</i></p> <p>An appeal may be made against a failure to make a decision under the <i>Plumbing and Drainage Act 2018</i>, other than a failure by the Queensland Building and Construction Commission to make a decision, within the period required under that Act, if an information notice about the decision was required to be given under that Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who was entitled to receive an information notice about the decision	The entity that failed to make the decision	—	—