

30 September 2020

Gladstone Ports Corporation Limited
Owen Barton
PO Box 259
GLADSTONE QLD 4680

Dear Mr Barton,

DECISION NOTICE – APPROVAL WITH CONDITIONS – DA2020/14/01

(given under the provisions of GPC Land use plan 2012v2)

1 Application Details

This development application was **properly made** to the Gladstone Ports Corporation Limited on **3 September 2020**.

Application Number:	DA2020/14/01
Applicant Name:	Gladstone Ports Corporation Limited
Applicant Contact Details:	Owen Barton Gladstone Ports Corporation Limited PO Box 259 40 Goondoon Street GLADSTONE QLD 4680 Email: bartono@gpcl.com.au
Approvals Sought:	Port Application for car/trailer park
Details of Proposed Development:	Formalisation of car/trailer park ancillary to the Calliope River Boat Ramp
Location Street Address:	Hanson Road CALLEMONTDAH QLD 4680
Location Real Property Description:	Part of Lot 209 on CP818826
Land Owner:	Gladstone Ports Corporation Limited
Present Zoning & Precinct	Strategic Port Land – Marine Industry Precinct

2 Details Of Proposed Development

Port Application for formalising car/trailer park ancillary to the Calliope River Boat Ramp. The car/trailer park will accommodate 33 sealed vehicle & trailer bays.

3 Details Of Decision

This development application was **decided** on **30 September 2020**.

This development application is **approved in full with conditions**. These conditions are set out in Attachment 1 and are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

This application is **not** taken to have been approved (a deemed approval) under section 64(5) of the *Planning Act 2016*.

4 Details Of Approval

This development approval is a **Development Permit** given for:

- (a) Port Application for undertaking work in, on, over or under premises that materially affects the premises or their use including excavating or filling (*GPC Land Use Plan 2012v2*).

5 Conditions

This development approval is subject to the conditions in Attachment 1 - Part 1 and Part 2.

6 Further Development Permits

Not Applicable.

7 Approved Plans and Specifications

Copies of the following plans, specifications or drawings are approved and enclosed in Attachment 2:

Drawing/report title	Prepared by	Date	Reference no.	Version	Approval subject to the following changes
Aspect of development: insert e.g. Port Application					
Plan and Cross Sections Stage 1	GPC	26/08/2020	802-00103		
Site Plan Stage 1	GPC	26/08/2020	802-00102		
Pavement and Seal Stage 1	GPC	26/08/2020	802-00104		

Gladstone Ports Corporation Limited

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ACN 131 965 896 ABN 96 263 788 242

8 Currency Period for the Approval

This development approval will lapse at the end of the periods set out below:

- For Port Application this approval lapses 6 years after this approval decision date.

9 Rights of Appeal

No legislated appeal rights are afforded with this decision notice as the application was not made under the provisions of the *Planning Act 2016*.

For further information please contact Judy Horsfall, Planning Officer, on 07 4976 1314 or the undersigned on 07 4976 1287 or via email planning@gpcl.com.au.

Yours sincerely,



Erin Clark
Principal Planner

- Enc. Attachment 1: Conditions of Approval
Part 1 – Conditions imposed by the assessment manager
- Attachment 2: Approved plans and specifications

Attachment 1 Conditions of Approval

PART 1: ASSESSMENT MANAGER CONDITIONS

In general the development proposal is in compliance with the requirements of Gladstone Ports Corporation Limited (GPC). This development approval is subject to each the following conditions which are stated by GPC, the assessment manager.

Part 1a: Approval sought under Planning Act 2016 – Port Application

GENERAL

1. Development must be carried out generally in accordance with the Approved plans, except where modified by conditions of this permit.
2. Unless otherwise stated, all conditions must be complied with and completed prior to the commencement of the development.
3. Where additional “approval” is required under these conditions by the Assessment Manager (GPC) for drawings or documentation the proponent must submit for review, amend to the satisfaction of, and obtain written approval from the Assessment Manager.
4. All other relevant approvals must be obtained before commencement of the development or operation of the development, including any Building works or Plumbing and drainage works.
5. The proponent must at its cost and expense, keep and maintain the development footprint, including existing services, in a state that is satisfactory to the Port.

ENGINEERING

6. Upon completion of the works, the proponent must supply GPC with RPEQ certified “As Constructed” plans in both hard copy (2 of) and electronic (CAD format) which illustrate all infrastructure and services installed on, under or over Port land associated with the activity. The proponent must also certify that the development is constructed as per design and generally in accordance with the approved plans prior to the use commencing.

Lighting

7. Prior to construction works commencing on site, details/drawings of proposed lighting that demonstrates direct illumination of the river and skyglow is minimised, must be submitted to the Assessment Manager (GPC) for approval.
8. Any site lighting used during construction should not negatively impact on the visibility of Navigational Aids utilised for the primary shipping channels nor illuminate a landward glare beyond the site boundary. Lighting must be reviewed during construction with respect to navigation. Where an issue is identified or a validated complaint received, the proponent must immediately rectify to the satisfaction of GPC.
9. Prior to the commencement of the use, design and install all external lighting in accordance with AS4282 – *Control of the obtrusive effects of outdoor lighting* so as not to cause nuisance to residents, the airport, navigational aids or obstruct or distract pedestrian or vehicular traffic.
10. Lighting must be designed to facilitate a safe and secure parking area, lit to a standard appropriate for safe night time operations.

Construction Management

11. Prior to construction works commencing on site, a Construction Traffic Management Plan (CTMP) specific to the construction works being undertaken must be submitted to the Assessment Manager (GPC) for approval. The CTMP must be amended as necessary for any proposed construction works and any amendments to the CEMP are to be submitted to GPC

for approval. All activities associated with construction must be carried out in accordance with the approved CTMP.

12. No mud, dirt or other debris is to be tracked onto public roads during construction and operation of development.
13. In the event acid sulphate soils are disturbed/excavated and require treatment on site, a site specific Acid sulphate management plan must be submitted to GPC for approval prior to such works commencing. Once the management plan is approved, the works must be carried out in accordance with this plan.

ENVIRONMENT

Construction Environmental Management Plans

14. Prior to construction works commencing on site, a Construction Environmental Management Plan (CEMP) specific to these works, is to be submitted to the Assessment Manager (GPC) for approval.

The construction must be undertaken in accordance with the approved CEMP that ensures:

- a) environmental risks, including but not limited to, noise, odour, stormwater, erosion and sedimentation, lighting, dust, acid sulfate soils are identified, managed and continually assessed in relation to the construction activity;
- b) that staff are trained and aware of their obligations under the EMP, including a copy of the management plan and development approval available on site at all times;
- c) that reviews of environmental performance are undertaken at least annually; and
- d) any amendments to the EMP are to be submitted to GPC for review and approval.

Once approved by the Assessment Manager, the construction activity must be carried out in accordance with this CEMP.

Note: GPC has a guideline for the development of environmental management plans that may be utilised in meeting the requirements of this condition.

Incident notification

15. At all times, Gladstone Ports Corporation Environment Hotline (07) 4976 1617 is to be notified of the occurrence of any:
 - a) release / spill of contaminants (e.g. fuels / chemicals / sewerage) greater than 250L to land;
 - b) release / spill of contaminants (e.g. fuels / chemicals / sewerage) of any amount to water;
 - c) any environmental complaints received by the holder of this approval; and
 - d) non-compliance with environment related conditions of this approval, or any other environmental approval obtained in relation to the approved activity.

ADVICE NOTES

1. The *Environmental Protection Act 1994* states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks, construction, and operational phases of this development, are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm.
2. This decision notice does not represent an approval to commence Building work.

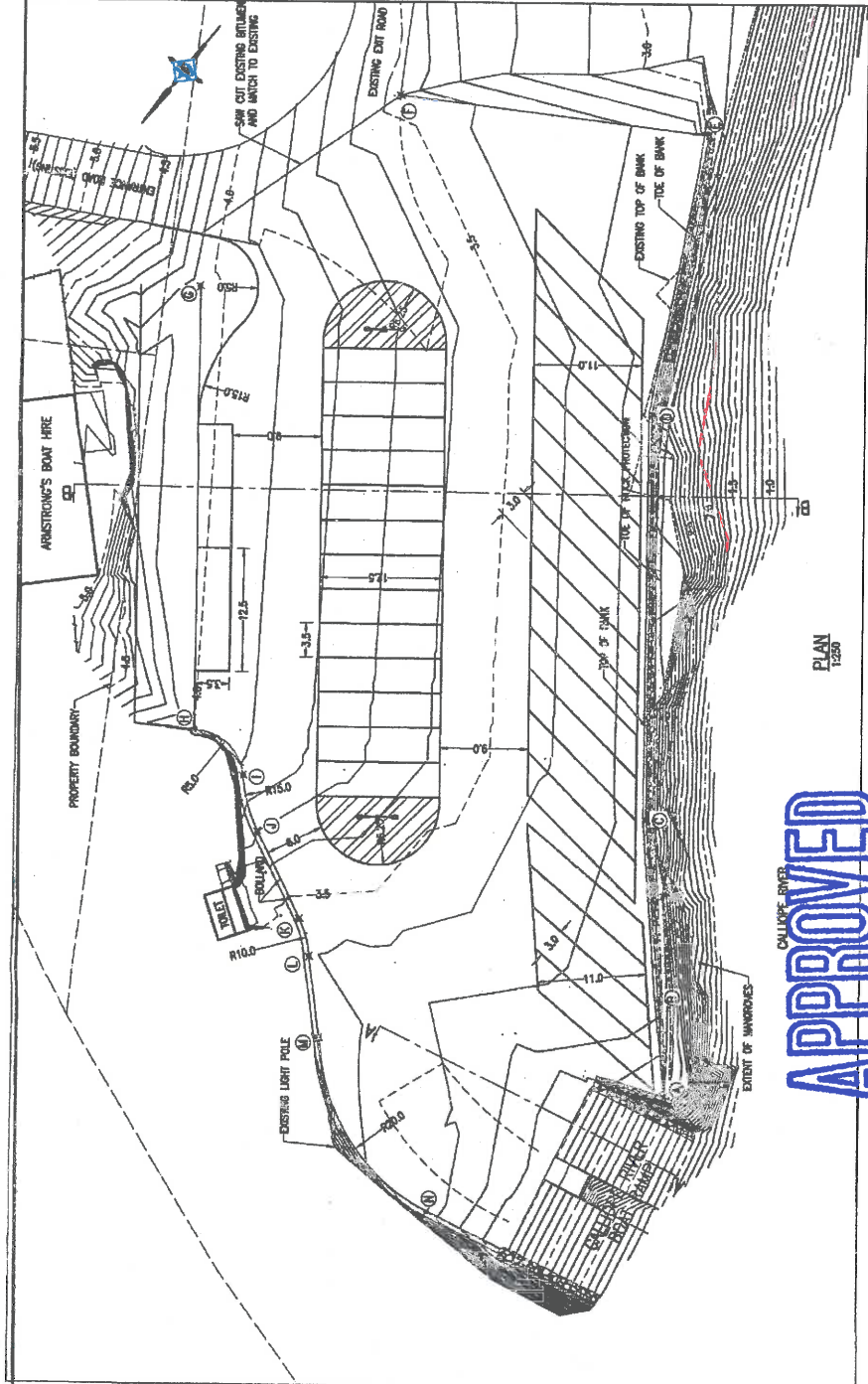
3. Where the Applicant is required to submit further documentation to the Assessment Manager, this is to be directed to the Planning section at planning@gpcl.com.au, including reference to the allocated development application number.

Attachment 2 Approved Plans and Specifications

POINT	EASTING	NORTHING	LEVEL
A	317975.504	7961599.398	2.983
B	317982.186	7961591.958	3.250
C	317994.353	7961578.412	3.250
D	318019.945	7961545.681	3.250
E	318082.224	7961519.785	3.250
F	318059.470	7961535.878	3.448
G	318063.473	7961563.686	4.042
H	318056.073	7961599.571	4.000
I	318029.267	7961600.167	3.880
J	318024.744	7961603.599	3.700
K	318015.909	7961607.952	3.490
L	318013.259	7961608.873	3.409
M	318005.564	7961617.625	3.477
N	317987.505	7961623.159	3.350
SPK	318059.417	7961433.219	2.809
SPK	318106.952	7961473.498	3.430

- NOTES:
- ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
 - ALL R.C.'S ARE IN METRES TO AUSTRALIAN HEIGHT DATUM UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO PROVIDE AND BRET ALL CONSTRUCTION FENCING AND SIGNAGE.
 - ANY DISCREPANCY OR CONFLICT BETWEEN THE DIMENSIONS AND SPECIFICATION SHALL IMMEDIATELY BE REFERRED TO THE SUPERINTENDANT FOR RESOLUTION.
 - ALL DIMENSIONS SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORKS.
 - THE CONTRACTOR SHALL NOT BE SOLELY RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS.
 - THE CONTRACTOR SHALL LOCATE ALL LEVELS TO THE COMMENCEMENT OF WORK.
 - THE CONTRACTOR SHALL LOCATE ALL LEVELS FROM ESTABLISHED BENCHMARKS.
 - PROVIDENT DETAILS:
 - CONCRETE CURBING 4000 PRIME + TWO COAT SEAL OF CLASS 170 BITUMEN WITH 14MM AGGREGATE
 - BASE: 100mm TYPE 2.1 ROAD BASE, COMPACTED TO 85% MODIFIED COMPACTION.
 - SUB-BASE: 150mm TYPE 2.1 ROAD BASE, COMPACTED TO 85% MODIFIED COMPACTION.
 - CONTRACTOR TO PROVIDE AND BRET ALL CONSTRUCTION FENCING AND SIGNAGE.
 - PLACEMENT IN SMALL AREAS.
 - SPK PART INFRASTRUCTURE & ASSETS TO PROVIDE A T1M/00 FILE FOR THE FINISHED SURFACE.
 - SOAR LIGHTING TO MEET RELATANT LIGHTING GUIDELINES AND RPED DESIGN.

ENGINEER: O. BARTON
 RPEQ. [Signature]
 SIGNATURE. [Signature]



APPROVED
 GH 30/19/20

SECTION 'A' THROUGH BOAT RAMP
 1:250

MARKS	HAT	VERTICAL	HORIZONTAL
DESIGN	1.220	1.220	1.220
DESIGN	1.450	1.450	1.450
DESIGN	1.720	1.720	1.720
DESIGN	1.980	1.980	1.980
DESIGN	2.250	2.250	2.250
DESIGN	2.520	2.520	2.520
DESIGN	2.790	2.790	2.790
DESIGN	3.060	3.060	3.060
DESIGN	3.330	3.330	3.330
DESIGN	3.600	3.600	3.600
DESIGN	3.870	3.870	3.870
DESIGN	4.140	4.140	4.140
DESIGN	4.410	4.410	4.410
DESIGN	4.680	4.680	4.680
DESIGN	4.950	4.950	4.950
DESIGN	5.220	5.220	5.220
DESIGN	5.490	5.490	5.490
DESIGN	5.760	5.760	5.760
DESIGN	6.030	6.030	6.030
DESIGN	6.300	6.300	6.300
DESIGN	6.570	6.570	6.570
DESIGN	6.840	6.840	6.840
DESIGN	7.110	7.110	7.110
DESIGN	7.380	7.380	7.380
DESIGN	7.650	7.650	7.650
DESIGN	7.920	7.920	7.920
DESIGN	8.190	8.190	8.190
DESIGN	8.460	8.460	8.460
DESIGN	8.730	8.730	8.730
DESIGN	9.000	9.000	9.000
DESIGN	9.270	9.270	9.270
DESIGN	9.540	9.540	9.540
DESIGN	9.810	9.810	9.810
DESIGN	10.080	10.080	10.080
DESIGN	10.350	10.350	10.350
DESIGN	10.620	10.620	10.620
DESIGN	10.890	10.890	10.890
DESIGN	11.160	11.160	11.160
DESIGN	11.430	11.430	11.430
DESIGN	11.700	11.700	11.700
DESIGN	11.970	11.970	11.970
DESIGN	12.240	12.240	12.240
DESIGN	12.510	12.510	12.510
DESIGN	12.780	12.780	12.780
DESIGN	13.050	13.050	13.050
DESIGN	13.320	13.320	13.320
DESIGN	13.590	13.590	13.590
DESIGN	13.860	13.860	13.860
DESIGN	14.130	14.130	14.130
DESIGN	14.400	14.400	14.400
DESIGN	14.670	14.670	14.670
DESIGN	14.940	14.940	14.940
DESIGN	15.210	15.210	15.210
DESIGN	15.480	15.480	15.480
DESIGN	15.750	15.750	15.750
DESIGN	16.020	16.020	16.020
DESIGN	16.290	16.290	16.290
DESIGN	16.560	16.560	16.560
DESIGN	16.830	16.830	16.830
DESIGN	17.100	17.100	17.100
DESIGN	17.370	17.370	17.370
DESIGN	17.640	17.640	17.640
DESIGN	17.910	17.910	17.910
DESIGN	18.180	18.180	18.180
DESIGN	18.450	18.450	18.450
DESIGN	18.720	18.720	18.720
DESIGN	18.990	18.990	18.990
DESIGN	19.260	19.260	19.260
DESIGN	19.530	19.530	19.530
DESIGN	19.800	19.800	19.800
DESIGN	20.070	20.070	20.070
DESIGN	20.340	20.340	20.340
DESIGN	20.610	20.610	20.610
DESIGN	20.880	20.880	20.880
DESIGN	21.150	21.150	21.150
DESIGN	21.420	21.420	21.420
DESIGN	21.690	21.690	21.690
DESIGN	21.960	21.960	21.960
DESIGN	22.230	22.230	22.230
DESIGN	22.500	22.500	22.500
DESIGN	22.770	22.770	22.770
DESIGN	23.040	23.040	23.040
DESIGN	23.310	23.310	23.310
DESIGN	23.580	23.580	23.580
DESIGN	23.850	23.850	23.850
DESIGN	24.120	24.120	24.120
DESIGN	24.390	24.390	24.390
DESIGN	24.660	24.660	24.660
DESIGN	24.930	24.930	24.930
DESIGN	25.200	25.200	25.200
DESIGN	25.470	25.470	25.470
DESIGN	25.740	25.740	25.740
DESIGN	26.010	26.010	26.010
DESIGN	26.280	26.280	26.280
DESIGN	26.550	26.550	26.550
DESIGN	26.820	26.820	26.820
DESIGN	27.090	27.090	27.090
DESIGN	27.360	27.360	27.360
DESIGN	27.630	27.630	27.630
DESIGN	27.900	27.900	27.900
DESIGN	28.170	28.170	28.170
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DESIGN	33.570	33.570	33.570
DESIGN	33.840	33.840	33.840
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DESIGN	64.620	64.620	64.620
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DESIGN	65.160	65.160	65.160
DESIGN	65.430	65.430	65.430
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