



4 November 2020

Mr Gaven Gilmour
Bauhinia Architect Pty Ltd
On behalf of Department of Transport and Main Roads
1 Alma Street
ROCKHAMPTON QLD 4700

Email: gaven@bauhinia-architects.com

Dear Mr Gilmour

DECISION NOTICE – APPROVAL WITH CONDITIONS – DA2020/17/01

(given under the provisions of GPC Land use plan 2012v2)

1 Application Details

This development application was **properly made** to the Gladstone Ports Corporation Limited on **14 October 2020**.

Application Number:	DA2020/17/01
Applicant Name:	Bauhinia Architect Pty Ltd on behalf of Department of Transport and Main Roads
Applicant Contact Details:	Gaven Gilmour Bauhinia Architect Pty Ltd 1 Alma Street ROCKHAMPTON QLD 4700 Email: gaven@bauhinia-architects.com
Approvals Sought:	Port application for building extension and fuel storage shed
Details of Proposed Development:	Extension of existing building, internal alterations and new fuel store
Location Street Address:	4 Leo Zussino Drive CALLEMONTDAH (GLADSTONE) QLD 4680
Location Real Property Description:	Lease MAAF on SP253024 on Lot 210 on SP120888
Land Owner:	Gladstone Ports Corporation Limited
Present Zoning & Precinct	Strategic Port Land – Marine Industry Precinct

2 Details Of Proposed Development

Port application for building extension for ablutions, internal office alternations and new fuel storage shed.

3 Details Of Decision

This development application was **decided** on **4 November 2020**.

This development application is **approved in full with conditions**. These conditions are set out in Attachment 1 and are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

4 Details Of Approval

This development approval is a **Development Permit** given for:

- (a) Port Application for undertaking work in, on, over or under premises that materially affects the premises or their use including excavating or filling (*GPC Land Use Plan 2012v2*).

5 Conditions

This development approval is subject to the conditions in Attachment 1 - Part 1 and Part 2.

6 Further Development Permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

1. Any approvals for building works; and
2. Any approvals for plumbing and drainage works.

7 Approved Plans and Specifications

Copies of the following plans, specifications or drawings are approved and enclosed in Attachment 2:

Drawing/report title	Prepared by	Date	Reference no.	Version
Aspect of development: Port application				
Proposed floor plan	Bauhinia Architects	31/08/2020	Draw. No. 1245 WD05	P1
Proposed elevations	Bauhinia Architects	31/08/2020	Draw. No. 1245 WD07	P1
Proposed sections	Bauhinia Architects	31/08/2020	Draw. No. 1245 WD08	P1
Proposed amenities plan	Bauhinia Architects	31/08/2020	Draw. No. 1245 WD10	P1
Proposed amenities elevations	Bauhinia Architects	31/08/2020	Draw. No. 1245 WD11	P1

Proposed fuel store plan and elevations	Bauhinia Architects	31/08/2020	Draw. No. 1245 WD13	P1
General notes and drawing schedule	Lait Consulting	08/10/2020	Draw. No. LC200047	1
General notes and drawing schedule	Lait Consulting	08/10/2020	Draw. No. LC200047- No 1 of 7	1
Footing and slab on ground layout	Lait Consulting	08/10/2020	Draw. No. LC200047 No 2 of 7	1
Footing details – sheet 1 of 2	Lait Consulting	08/10/2020	Draw. No. LC200047 No 3 of 7	1
Footing details – sheet 2 of 2	Lait Consulting	08/10/2020	Draw. No. LC200047 No 4 of 7	1
Hydraulic services – cover sheet notes	HTD Pty Ltd	08/09/2020	Sheet H.00.01	P1
Hydraulic services – demolition plan	HTD Pty Ltd	08/09/2020	Sheet H.01.01	P1
Hydraulic services – part site & ground floor – sanitary drainage & stormwater	HTD Pty Ltd	08/09/2020	Sheet H.02.01	P1
Hydraulic services – part site & ground floor water supply	HTD Pty Ltd	08/09/2020	Sheet H.03.01	P1

8 Currency Period for the Approval

Pursuant to section 85 of the Planning Act, this development approval will lapse at the end of the periods set out below:

- For Port Application this approval lapses 6 years after this approval decision date.

9 Rights of Appeal

No legislated appeal rights are afforded with this decision notice as the application was not made under the provisions of the *Planning Act 2016*.

For further information please contact Judy Horsfall, Planning Officer, on 07 4976 1314 or the undersigned on 07 4976 1287 or via email planning@gpcl.com.au.

Yours sincerely,



Erin Clark
Principal Planner
4 November 2020

Enc. Attachment 1: Conditions of Approval
Part 1 – Conditions imposed by the assessment manager
Attachment 2: Approved plans and specifications

Gladstone Ports Corporation Limited

T: +61 7 4976 1333 • Fax: +61 7 4972 3045 • 40 Goondoon St/PO Box 259, Gladstone QLD, 4680, AUSTRALIA • www.gpcl.com.au
ACN 131 965 896 ABN 96 263 788 242

Attachment 1 Conditions of Approval

PART 1: ASSESSMENT MANAGER CONDITIONS

In general the development proposal is in compliance with the requirements of Gladstone Ports Corporation Limited (GPC). This development approval is subject to each the following conditions which are stated by GPC, the Assessment Manager.

Part 1a: Approval sought under GPC Land Use Plan 2012v2 – Port Application

GENERAL

1. Development must be carried out generally in accordance with the Approved plans, except where modified by conditions of this permit.
2. Unless otherwise stated, all conditions must be complied with and completed prior to the commencement of the development.
3. Where additional “approval” is required under these conditions by GPC for drawings or documentation the proponent must submit for review, amend to the satisfaction of, and obtain written approval from the Assessment Manager.

Furthermore, GPC will require no less than 10 business days, unless otherwise conditioned by GPC, to initially assess the drawings or documentation provided prior to the commencement of the development. Should further information be required for assessment, GPC will require a further 5 business days to complete the information request assessment and response.

4. All other relevant approvals must be obtained before commencement of the development or operation of the development, including any Building works or Plumbing and drainage works.
5. The proponent must at its cost and expense, keep and maintain the development footprint, including existing services, in a state that is satisfactory to the Port.

ENGINEERING

6. The proponent is required to apply for and obtain from GPC a Permit to Dig/Excavate prior to commencing works by contacting, Port Infrastructure Asset Manager on (07) 4976 1333. All reasonable measures must be taken to identify and protect existing services onsite, recorded or otherwise, and where necessary the proponent will submit a plan to GPC for approval to adjust any existing services found during this excavation that was not originally shown on the proposed plans.
7. Prior to works commencing, the proponent must submit to the Assessment Manager (GPC) for approval ‘for construction’ drawings including proposed stormwater infrastructure.
8. Upon completion of the works, the proponent must supply GPC with certified “As Constructed” plans in both hard copy (2 of) and electronic (CAD format) which illustrate all infrastructure and services installed on, under or over Port land associated with the activity e.g. sewerage, stormwater etc. The proponent must also certify that the development is constructed as per design and generally in accordance with the approved plans prior to the use commencing. Plans shall be certified by an appropriately qualified and competent person, including RPEQ Engineer or Licenced Building Certifier.

Infrastructure

9. The applicant must notify the Assessment Manager (GPC) of damage caused to any port or port user infrastructure or services including, but not limited to, security related devices, buildings, fences, lighting etc., roads, walkways and underground services or infrastructure, as a result of the approved use or during construction. The proponent must undertake necessary repairs at their expense and to the satisfaction of the Assessment Manager (GPC).

Lighting

10. Any site lighting used during construction should not negatively impact on the visibility of Navigational Aids utilised for the primary shipping channels nor illuminate a landward glare beyond the site boundary. Lighting must be reviewed during construction with respect to navigation. Where an issue is identified or a validated complaint received, the proponent must immediately rectify to the satisfaction of GPC.
11. Prior to the commencement of the use, design and install all external lighting in accordance with AS4282 – *Control of the obtrusive effects of outdoor lighting* so as not to cause nuisance to residents, the airport, navigational aids or obstruct or distract pedestrian or vehicular traffic.
12. Proposed outdoor lighting must be designed and installed to minimise direct illumination of the adjacent waterways and minimise skyglow.

Building Design

13. Design and colour of building extensions and additions must be consistent with existing buildings on site.

Construction Management

14. The hours for the construction of the facility (i.e. operation of any machinery and/or other equipment) shall be restricted to between 6.30am and 6:30pm Monday to Friday and 7.30am to 12.30pm Saturday. No works shall be undertaken on Sunday or on public holidays. Any variations to these times will be subject to the written approval of GPC.
15. No mud, dirt or other debris is to be tracked onto public roads during construction and operation of development.
16. In the event acid sulphate soils are disturbed/excavated and require treatment on site, a site specific Acid sulphate management plan must be submitted to GPC for approval prior to such works commencing. Once the management plan is approved, the works must be carried out in accordance with this plan.

ENVIRONMENT

Construction Environmental Management Plans

17. Prior to construction works commencing on site, a Construction Environmental Management Plan (CEMP) specific to these works, is to be submitted to the Assessment Manager (GPC) for approval.

The construction must be undertaken in accordance with the approved CEMP that ensures:

- a) environmental risks, including but not limited to, noise, odour, lighting, dust, are identified, managed and continually assessed in relation to the construction activity ;
- b) that staff are trained and aware of their obligations under the EMP, including a copy of the management plan and development approval available on site at all times;
- c) that reviews of environmental performance are undertaken at least annually; and
- d) any amendments to the EMP are to be submitted to GPC for review and approval.

Once approved by the Assessment Manager, the construction activity must be carried out in accordance with this CEMP.

Note: GPC has a guideline for the development of environmental management plans that may be utilised in meeting the requirements of this condition.

Operational Environmental Management Plan

18. At least 10 days prior to the commencement of the use, an Environmental Management Plan (EMP) is to be submitted to the Assessment Manager (GPC) for approval, specific to the development that ensures:

- a) environmental risks are identified, managed and continually assessed; and
- b) that staff are trained and aware of their obligations under the EMP, including a copy of the management plan and development approval available on site at all times; and
- c) that reviews of environmental performance are undertaken at least annually; and
- d) any amendments to the EMP are to be submitted to GPC for review and approval; and
- e) any rehabilitation and decommissioning works where required.

Once approved by the Assessment Manager, the approved development must be carried out in accordance with this EMP.

Note: GPC has a guideline for the development of environmental management plans that may be utilised in meeting the requirements of this condition.

Incident notification

19. At all times, Gladstone Ports Corporation Environment Hotline (07) 4976 1617 is to be notified of the occurrence of any:

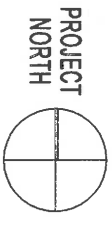
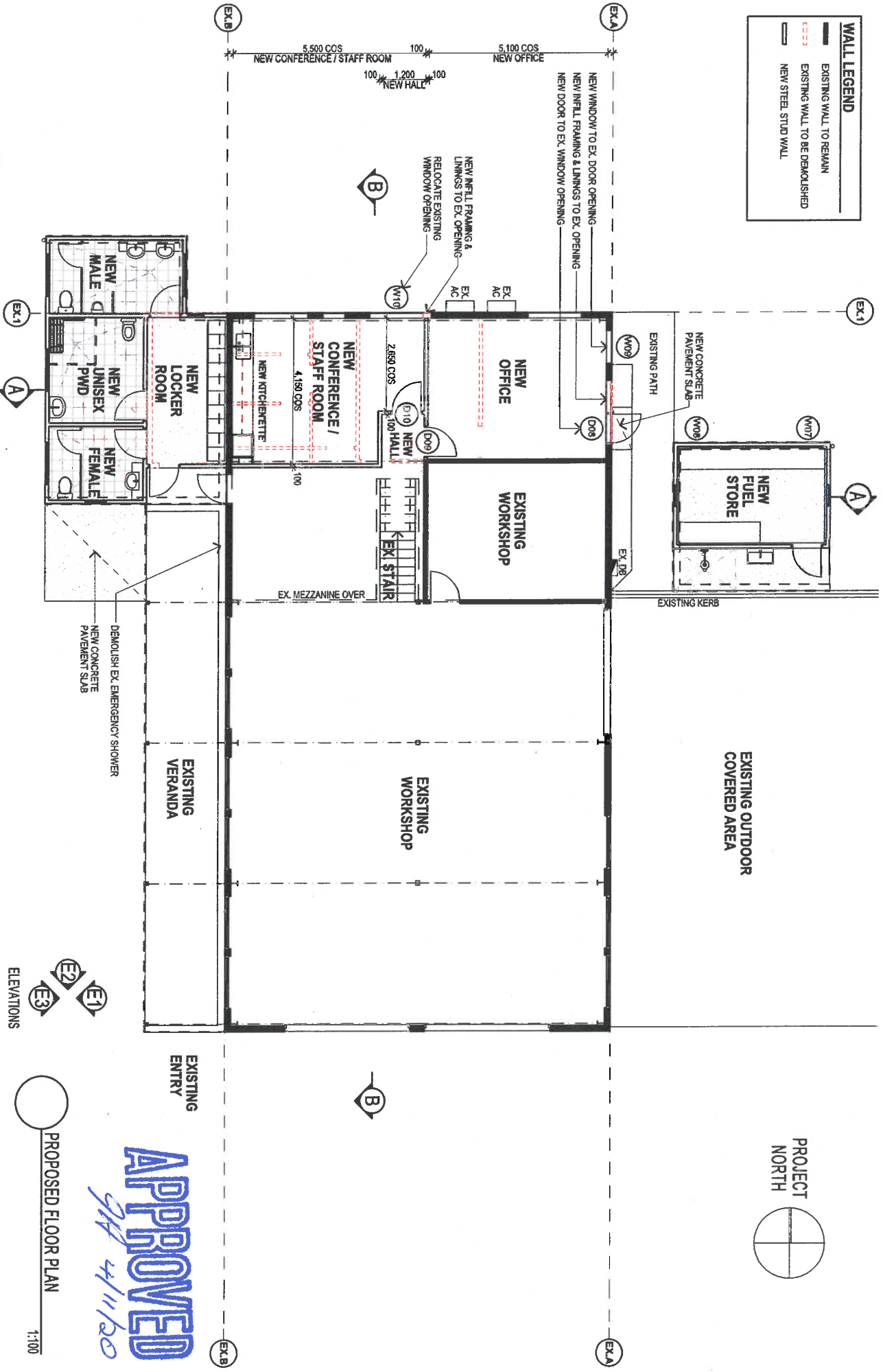
- a) release / spill of contaminants (e.g. fuels / chemicals / sewerage) greater than 250L to land;
- b) release / spill of contaminants (e.g. fuels / chemicals / sewerage) of any amount to water;
- c) any environmental complaints received by the holder of this approval; and
- d) non-compliance with environment related conditions of this approval, or any other environmental approval obtained in relation to the approved activity.

ADVICE NOTES

1. Where, the proponent or their contractor is required to apply for and obtain from GPC a Permit to Dig/Excavate for each stage of development prior to commencing excavation or digging for each stage. This can be obtained by contacting the Port Infrastructure Asset Manager on 4976 1332 or bartono@gpcl.com.au.
2. The *Environmental Protection Act 1994* states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks, construction, and operational phases of this development, are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm.
3. This decision notice does not represent an approval to commence Building work.
4. Connections to water and sewerage infrastructure will require Plumbing and Drainage works approvals from a suitably qualified person.
5. Where the Applicant is required to submit further documentation to the Assessment Manager, this is to be directed to the Planning section at planning@gpcl.com.au, including reference to the allocated development application number.

Attachment 2 Approved Plans and Specifications

WALL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	NEW STEEL STUD WALL



APPROVED
9A 4/11/20



PROPOSED FLOOR PLAN
 1:100

GENERAL NOTES:

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF BAUHNIC ARCHITECTS PTY LTD AND MUST NOT BE REPRODUCED, COPIED, OR OTHERWISE USED WITHOUT THE WRITTEN AUTHORITY OF BAUHNIC ARCHITECTS PTY LTD.
 drawing production information
 designed GS NS
 start date MAY 2020
 plot date 31/08/2020

NOTE: CONFIRM ALL DIMENSIONS & ALL INSTALLATION PARTICULARS ON SITE PRIOR TO COMMENCEMENT.

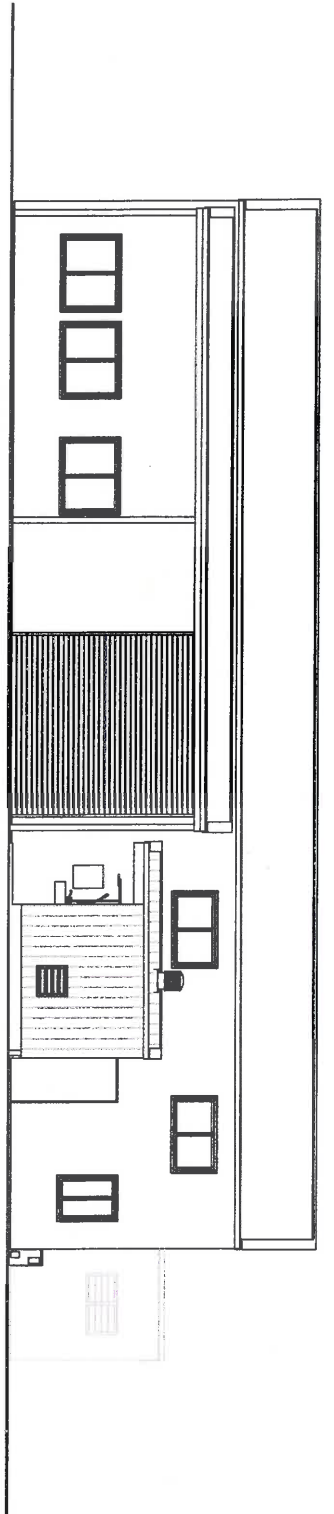
no.	amendment	date	initial	issue stamp
P1	PRELIMINARY ISSUE 1	31/08/2020	NS	

PRELIMINARY

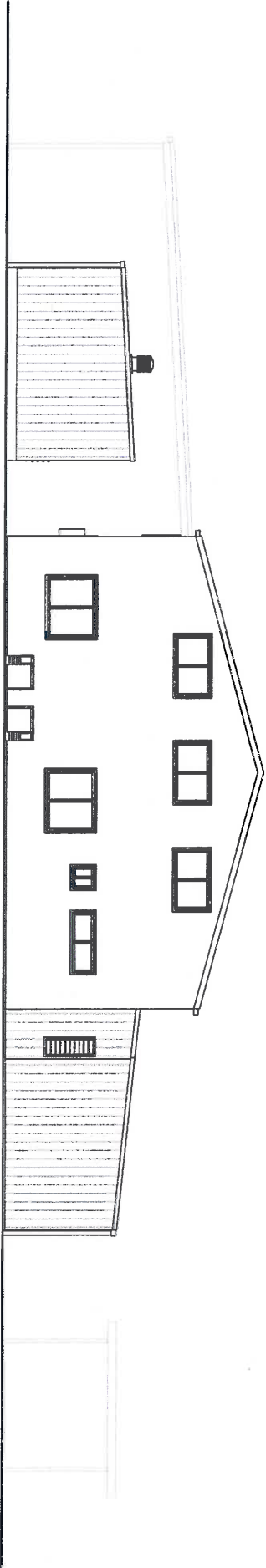
client: **TMR**
 project: **ALTERATIONS & ADDITIONS
 TMR Gladstone.
 Marine Operations Base**

scale: 1:100
 size: A3
 drawing no: 1245 WD05
 rev: P1

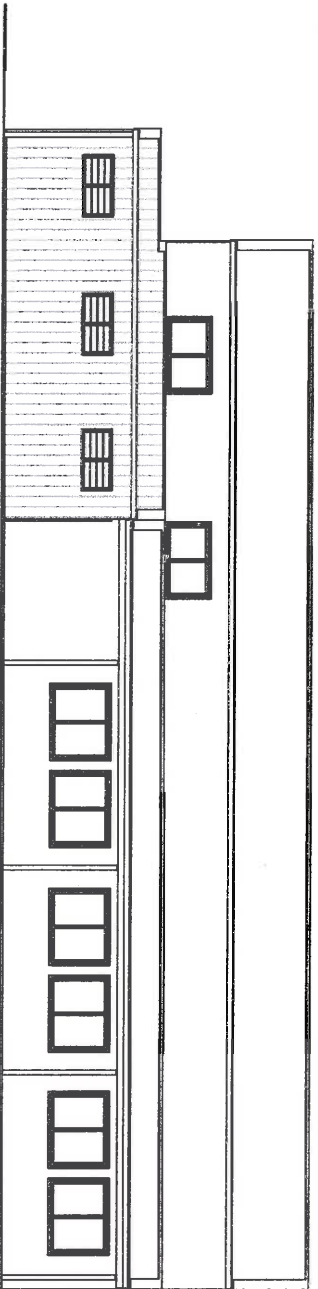
title: **PROPOSED FLOOR PLAN**



E1 ELEVATION E1
1:100



E2 ELEVATION E2
1:100



E3 ELEVATION E3
1:100

APPROVED
GA 4/11/20

GENERAL NOTES:

THESE DRAWINGS, DRAWINGS AND SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF BAUHINA ARCHITECTS PTY LTD AND MUST NOT BE REPRODUCED, REPAIRED, OR COPIED WITHOUT THE WRITTEN AUTHORITY OF BAUHINA ARCHITECTS PTY LTD
 drawing production information
 designed GS start date MAY 2020
 drawn NS pld date 31/08/2020

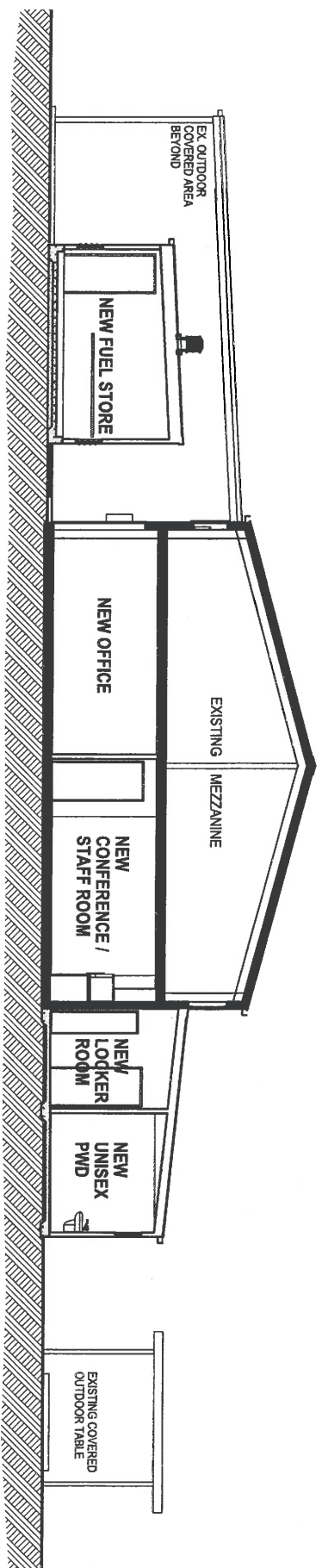
NOTE: CONFIRM ALL DIMENSIONS & ALL INSTALLATION PARTICULARS ON SITE PRIOR TO COMMENCEMENT.

no	PRELIMINARY ISSUE 1	date	31/08/2020	int	NS
amendment					
issue stamp					

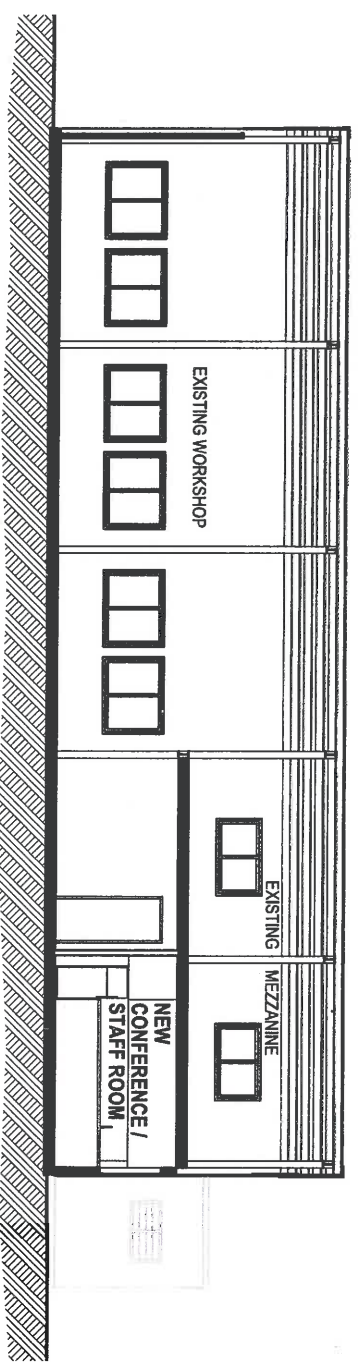
PRELIMINARY
 1 Alma Street P.O. Box 458
 Rockhampton Queensland 4700
 Ph: 07 4927 3800 Fax: 07 4927 3575
 Email: design@bauhina-architects.com
 Bauhina Architects Pty Ltd ABN 64 061 812 244

client TMR
project ALTERATIONS & ADDITIONS
 Mairne Operations Base

title PROPOSED ELEVATIONS
 scale 1:100
 size A3
 drawing no 1245
 rev WD07
 P1



A SECTION A-A
1:100



B SECTION B-B
1:100

APPROVED
9/24/2020

GENERAL NOTES:

THESE DESIGNS, DRAWINGS AND SPECIFICATIONS AND THE CONTRACT THEREOF ARE THE PROPERTY OF BAUHNIA ARCHITECTS PTY LTD AND MUST NOT BE USED, REPRODUCED, OR COPIED WITHOUT THE WRITTEN AUTHORITY OF BAUHNIA ARCHITECTS PTY LTD

drawing	production	information
designed	GG	start date
drawn	NS	plot date
		MAY 2020
		31/08/2020

NOTE: CONFIRM ALL DIMENSIONS & ALL INSTALLATION PARTICULARS ON SITE PRIOR TO COMMENCEMENT.

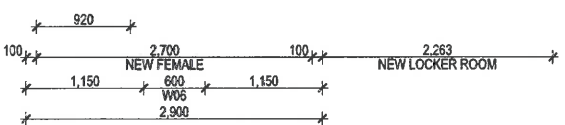
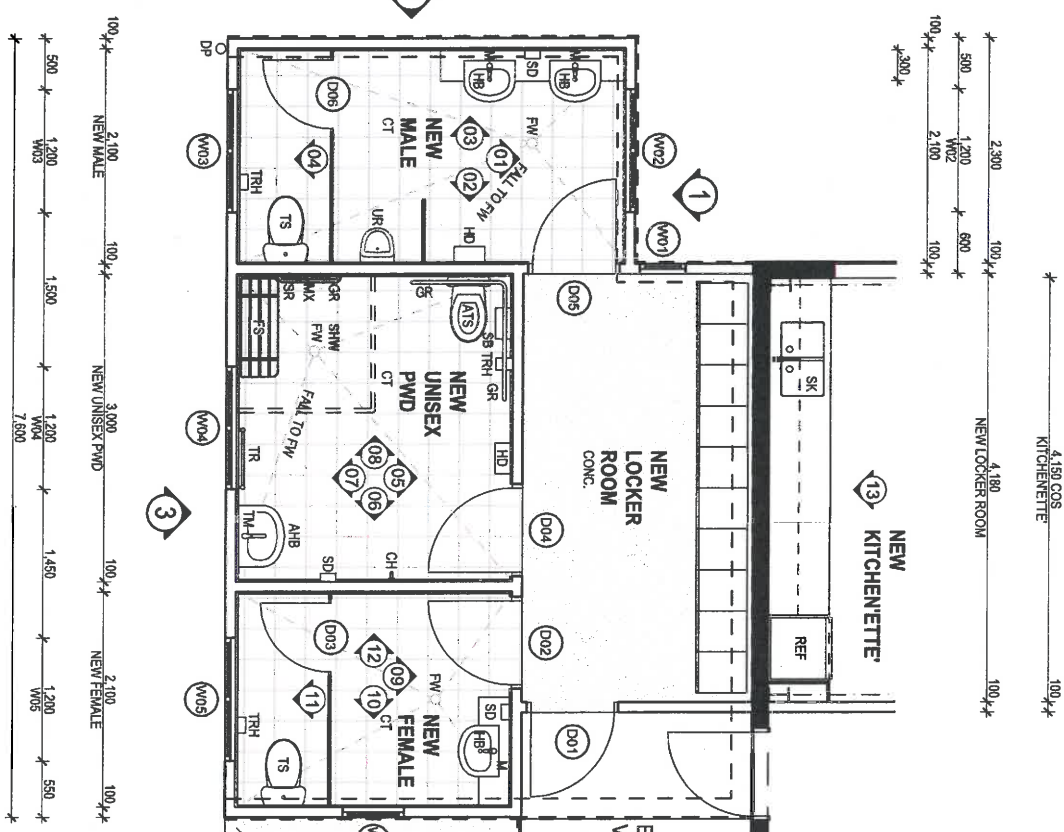
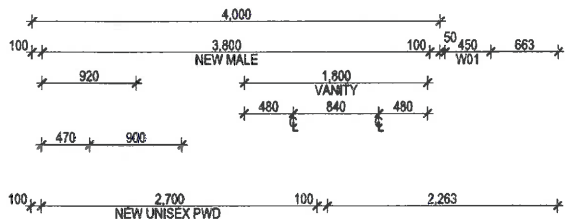
<p>PRELIMINARY</p>	<p>P1</p>	<p>PRELIMINARY / ISSUE 1</p>	<p>NS</p>	<p>31/08/2020</p>	<p>NS</p>
	<p>no</p>	<p>amendment</p>	<p>date</p>	<p>int</p>	<p>int</p>
<p>client</p> <p>TMR</p> <p>ALTERATIONS & ADDITIONS</p> <p>project</p> <p>TMR Gladstone.</p> <p>Maine Operations Base</p>					
<p>scale</p> <p>1:100</p>					
<p>size</p> <p>A3</p>					
<p>drawing no</p> <p>1245 WD08</p>					
<p>rev</p> <p>P1</p>					
<p>title</p> <p>PROPOSED SECTIONS</p>					



 1 Alma Street PO Box 8
 Rockhampton Queensland 4700
 Ph: 07 4927 3800 Fax: 07 4927 3575
 Email: design@bauhnia-architects.com
 BAUHNIA ARCHITECTS PTY LTD ABN 64 101 812 244

AMENITIES LEGEND

- AHB ACCESSIBLE HAND BASIN
- AP ACCESS PANEL
- ATS ACCESSIBLE TOILET SUITE
- BCT BABY CHANGE TABLE
- CH COAT HOOK
- CS CLEANERS SINK
- DG DOOR GRILLE
- ES EMERGENCY SHOWER
- FS FOLDING SEAT
- FW FLOOR WASTE
- GR GRAB RAIL
- HB HAND BASIN
- HD AUTO HAND DRYER
- M MIRROR
- MX MIXER
- PTD PAPER TOWEL DISPENSER
- SB SANITARY WASTE BIN
- SD SOAP DISPENSER
- SHW ACCESSIBLE SHOWER
- SR SHOWER ROSE
- TRH TOILET ROLL HOLDER
- TM TILTED MIRROR
- TS TOILET SUITE
- UR URINAL
- WB WASTE BIN



DETAIL PLAN
AMENITIES 1:50

APPROVED
9/14 4/11/20

GENERAL NOTES:

THESE DESIGN DRAWINGS AND SPECIFICATIONS AND THE COPYRIGHT THEREOF ARE THE PROPERTY OF BAUMANN ARCHITECTS PTY LTD AND MUST NOT BE REPRODUCED, COPIED, OR COMED WITHOUT THE WRITTEN AUTHORITY OF BAUMANN ARCHITECTS PTY LTD

DESIGNED BY: GG
DRAWN BY: NS
START DATE: MAY 2020
JOB DATE: 31/08/2020

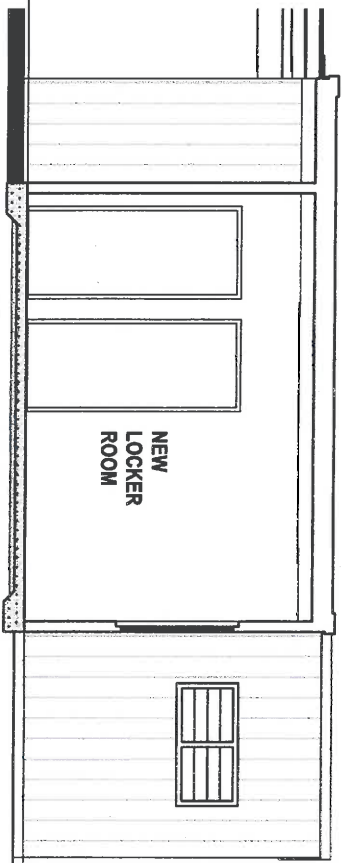
NOTE: CONFIRM ALL DIMENSIONS & ALL INSTALLATION PARTICULARS ON SITE PRIOR TO COMMENCEMENT.

no.	description	date	initials
1	PRELIMINARY ISSUE 1	31/08/2020	NS

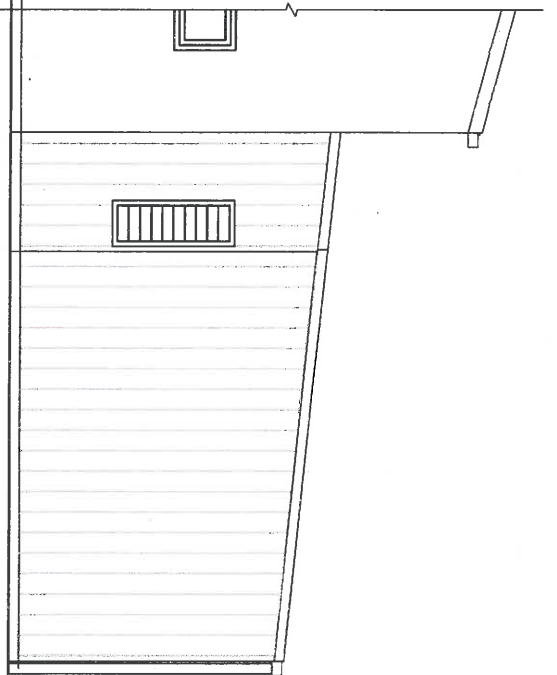
baumann architects
1 Alma Street, P.O. Box 558
Rockhampton Queensland 4700
Ph: 07 4927 3800 Fax: 07 4927 3575
Email: design@baumann-architects.com
Baumann_Architects_Pty_Ltd_48814841_832243

client: TMR
project: ALTERATIONS & ADDITIONS
Mame Operations Base

title: **PROPOSED AMENITIES PLAN**
scale: 1:50
size: A3
drawing no: 1245 WD10
rev: P1



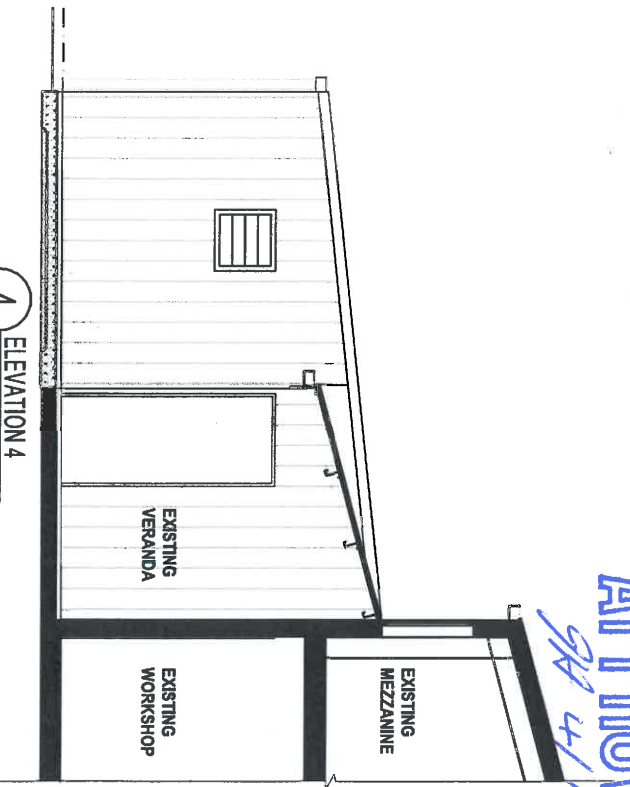
1 ELEVATION 1
1:50



2 ELEVATION 2
1:50



3 ELEVATION 3
1:50



4 ELEVATION 4
1:50

APPROVED
9A 4/11/20

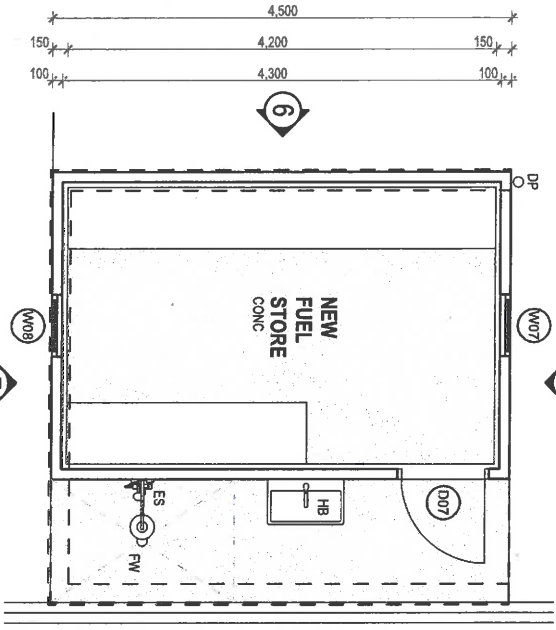
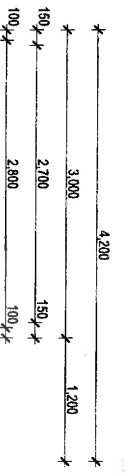
GENERAL NOTES:

THESE DESIGNS, DRAWINGS AND SPECIFICATIONS AND THE COPYRIGHT THEREOF ARE THE PROPERTY OF BAUHNIA ARCHITECTS PTY LTD AND MUST NOT BE REPRODUCED, COPIED, REPRODUCED, EITHER WHOLLY OR PARTIALLY, OR IN ANY MANNER WITHOUT THE WRITTEN AUTHORITY OF BAUHNIA ARCHITECTS PTY LTD

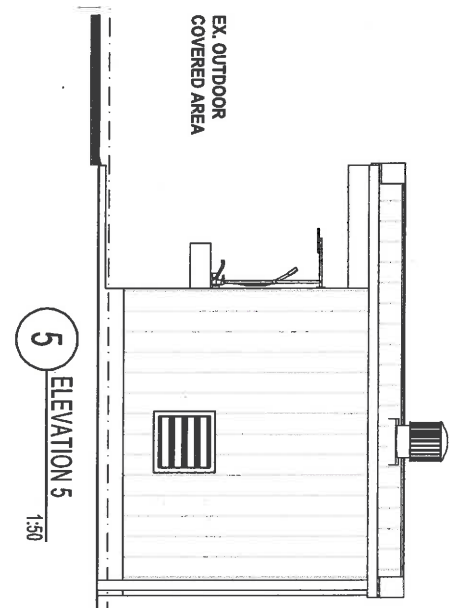
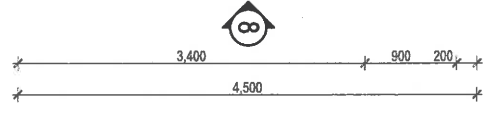
drawing production information
designed GG start date MAY 2020
NS plot date 31/08/2020

NOTE: CONFIRM ALL DIMENSIONS & ALL INSTALLATION PARTICULARS ON SITE PRIOR TO COMMENCEMENT.

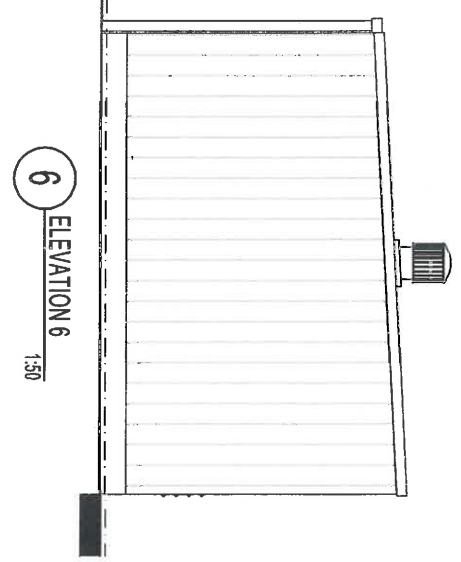
client	TMR	project	ALTERATIONS & ADDITIONS TMR Gladstone. Maime Operations Base	title	PROPOSED AMENITIES ELEVATIONS
scale	1:50	size	A3	drawing no	1245 WD11
rev	P1				
no	1	date	31/08/2020	int	NS
amendment	PRELIMINARY ISSUE 1	issue stamp			
PRELIMINARY					
<p>1 Almo, Street, P.O. Box 538 Rockhampton Queensland 4700 Ph: 07 4927 3800 Fax: 07 4927 3575 Email: design@bauhinia-architects.com 100/110 Acacia Street, Rockhampton QLD 4700</p>					



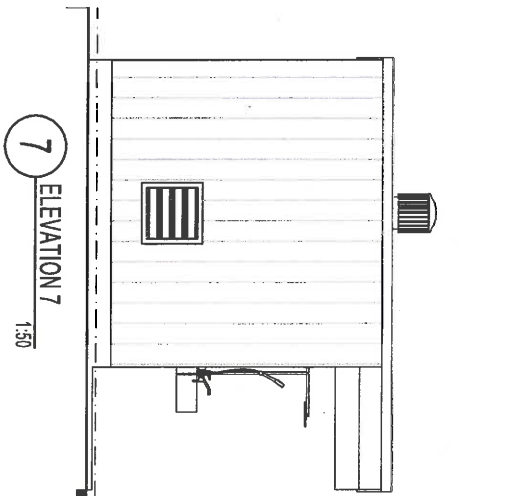
DETAIL PLAN
FUEL STORE 1:50



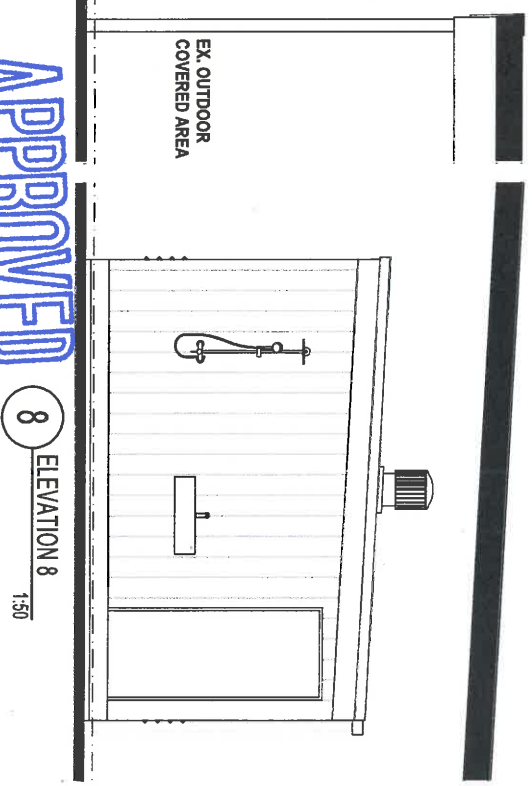
5 ELEVATION 5
1:50



6 ELEVATION 6
1:50



7 ELEVATION 7
1:50



8 ELEVATION 8
1:50

APPROVED
QA 4/11/20

GENERAL NOTES:

THESE DESIGNS, DRAWINGS AND SPECIFICATIONS AND THE COPYRIGHT THEREOF ARE THE PROPERTY OF BAUHNICA ARCHITECTS PTY LTD AND MUST NOT BE REPRODUCED, COPIED, OR OTHERWISE USED WITHOUT THE WRITTEN AUTHORITY OF BAUHNICA ARCHITECTS PTY LTD

drawing production information
designed GS start date MAY 2020
drawn NS plot date 31/08/2020

NOTE: CONFIRM ALL DIMENSIONS & ALL INSTALLATION PARTICULARS ON SITE PRIOR TO COMMENCEMENT.

no	amendment	date	int
P1	PRELIMINARY ISSUE 1	31/08/2020	NIS

Issue stamp

1 Alma Street, P.O. Box 558
Rockhampton Queensland 4700
Ph: 07 4927 3800 Fax: 07 4927 3575
Email: design@bauhnica-architects.com
Bauhnica Architects Pty Ltd, ABN 64 624 224

client TMR
project ALTERATIONS & ADDITIONS
Mame Operations Base

title **PROPOSED FUEL STORE PLAN & ELEVATIONS**
scale 1:50 size A3 drawing no 1245 WD13 rev P1

GENERAL

- 01. READ THESE DRAWINGS IN CONNECTION WITH ARCHITECTURAL, OTHER ENGINEERING DRAWINGS, SPECIFICATIONS, CONTRACT CONDITIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED.
- 02. VERIFY SET OUT DIMENSIONS SHOWN ON THE DRAWINGS BEFORE SITE WORKS, CONSTRUCTION AND FABRICATION COMMENCES. REPORT ANY DISCREPANCY TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- 03. DO NOT OBTAIN DIMENSIONS BY SCALING FROM THE DRAWINGS.
- 04. ALL WORKSHOPS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE RELEVANT BUILDING AUTHORITY.
- 05. THE DIMENSIONS BEING STATED ON THE DRAWINGS, ASSET 1, CONNECTIONS OF THE STRUCTURE, WITH ALL STRUCTURAL DETAILS, JOINTS, CONNECTIONS, TYPICAL WORKS AND SAFETY RELIABLES PARTICULARS, DESCRIBE THE WORKS AND MATERIAL STABILITY OF THE MATERIALS. THE ENGINEER IS RESPONSIBLE FOR THE QUALITY OF THE QUALIFIED REGISTERED ENGINEER SIGN TO DESIGN, CHECK, VERIFY AND APPROVE THE TYPICAL WORKS, NO TYPICAL WORKS OR APPROVALS SHALL BE REQUIRED WITHOUT REFERENCE AND WRITTEN APPROVAL FROM A REGISTERED ENGINEER.
- 06. THE CONTRACTOR SHALL ENSURE THE CONSTRUCTION WORK IS PLANNED AND CARRIED OUT IN ACCORDANCE WITH THE RELEVANT BUILDING AUTHORITY. ALL TIES ABOUT SAFE WORK PRACTICES IN ACCORDANCE WITH SAFE DESIGN OF STRUCTURES - CODE OF PRACTICE EXAMINER DETERMINED FOR THE FOLLOWING LOADS:
 - A. LIVE LOADS (KAS/MS) 1170/10
 - FLOOR: GENERAL : 1.5KPa
 - ROOF : GENERAL : 1.5 KPa
 - B. WIND LOADS (KAS/MS) 1170/10
 - ROOF: "C"
 - ROOF: "T" : 2.2 KPa
 - TERRAIN CATEGORY : 1.00
 - TERRAIN RELIEF: H = 1.0
 - DESIGN WIND SPEEDS: 10-m = 31.5 m/s
 - 10-m = 71.7 m/s
 - WINDSPEED AND PRESSURE COEFFICIENTS: C_d = 1.2 - 1.45
 - WIND PRESSURE COEFFICIENTS: C_f = -1.2 - 1.45
 - WIND PRESSURE COEFFICIENTS: C_f = -1.2 - 1.45
 - WIND PRESSURE COEFFICIENTS: C_f = -1.2 - 1.45

FOUNDATIONS

- F1. FOUNDATIONS AND RETENTION WALLS SHALL BE IN ACCORDANCE WITH AS 2890-2001 AND THE CONSTRUCTION SHALL BE IN ACCORDANCE WITH AS 2890-2001. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF SITE CONDITIONS OF A LESSED STANDARD ARE ENCOUNTERED.
- F2. THE BASIS OF ALL EXCAVATIONS SHALL BE FIRMED SOUND AND FREE FROM ANY LOOSE MATERIAL PRIOR TO POURING OF CONCRETE.
- F3. ALL SERVICE PENETRATIONS SHALL BE PROVIDED WITH APPROVED JOINTS IN A MANNER WHICH WILL PREVENT ANY UNDESIRABLE INTRUSION INTO FOUNDATION INVESTMENTS.
- F4. APPROPRIATE PROVISIONS FOR SITE DRAINAGE SHALL BE MADE AS REQUIRED TO PREVENT POORING OF WATER ADJACENT TO FOUNDATIONS. REFER TO DRAWING FOR DETAILS OF DRAINAGE AND PROTECTIVE MEASURES.
- F5. BARS OF ALL SERVICE TRENCHES TO BE GRADED AWAY FROM BUILDING SERVICES TRENCHES BEHIND THE BUILDING SHALL BE BUNDLED WITH CONTACTED CLAY OR OTHER CONCRETE TO PREVENT INGRESS OF WATER INTO FOUNDATION INVESTMENTS.
- F6. BUILDING PLATFORMS TO BE STIMPED PRIOR TO CONCRETE POURING OF CONSTRUCTION BY REMOVING ALL TOPSOIL AND ANY OTHER MATERIAL WHICH MAY IMPAIR CONSTRUCTION. ANY UNSUITABLE MATERIAL DISCOVERED DURING EXCAVATION SHALL BE REMOVED AND REPLACED WITH APPROVED FILL OR OTHER SUITABLE MATERIAL.
- F7. PROTECTIVE WALLS SHALL BE REMOVED AND RECONSTRUCTED ANYWHERE THAT BREAK UP OR SHOW EVIDENCE OF MOVEMENT UNDER APPLIED PRESSURE.
- F8. ALL FILL SHALL BE ON APPROVED GRANULAR MATERIAL (Minimum MAX. PARTICLE SIZE: 75% GRADED SAND - 50 PLACED IN LAYERS NOT EXCEEDING 150mm) AND COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY. ALL FILL SHALL BE PROTECTED FROM WEATHER AND SHALL BE PROTECTED FROM SETTLEMENT. WHERE TOTAL SETTLE OF FILL EXCEEDS 100mm, SAND COMPACTIONARY TESTING SHALL BE UNDERTAKEN AS DIRECTED.
- F9. PROTECTION FROM TERMITES SHALL BE IN ACCORDANCE WITH AS 3644. IT SHALL BE A SYSTEM OR COMBINATION OF SYSTEMS INSTALLED BY AN APPROVED APPLICATION, WRITTEN COMMUNICATION OF THE SYSTEM USED SHALL BE PROVIDED TO THE LOCAL AUTHORITY AND THE ENGINEER SHALL ADVISE THE OWNER OF THEIR RESPECTIVE OBLIGATIONS AS APPLICABLE TO THE SYSTEM USED.
- F10. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SERVICES WITH THE RELEVANT AUTHORITY PRIOR TO THE COMMENCEMENT OF EXCAVATION WORKS.
- F11. THE FOLLOWING EXCLUSION DISTANCES SHALL APPLY TO PLANTING OF TREES ADJACENT TO BUILDING FOUNDATIONS SO AS TO REDUCE POTENTIAL FOR DEVELOPMENT OF ABNORMAL GROUND MOISTURE CONDITIONS.
 - CLASS H: 75% MATURE TREE HEIGHT
 - CLASS HVH: 90% MATURE TREE HEIGHT

REINFORCED CONCRETE

- C1. ALL WORKSHOPS AND MATERIALS SHALL COMPLY WITH AS 3600 CONCRETE QUALIFICATIONS.
- C2. ELEMENT

ELEMENT	F-C (AT 28 DAYS) (mm)	SLEWP (mm)	MAX. AGG. SIZE (mm)
FOUNDATIONS	25	40	28
SLAB ON GROUND			

- C3. NO ADMIXTURES ARE TO BE USED WITHOUT THE APPROVAL OF THE ENGINEER.
- C4. ALL CONCRETE SHALL BE APPROXIMATELY VIBRATED INTO PLACE.
- C5. NO HOLES OR CHISELS OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT PRIOR APPROVAL OF THE ENGINEER.
- C6. CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE LOCATED TO THE ADVANTAGE OF THE ENGINEER.
- C7. REINFORCEMENT COVERS UNLESS NOTED OTHERWISE

SLAB	COVER (mm)
IN GROUND	50 - WITH REINFORCE
ABOVE GROUND	40 - WITHOUT REINFORCE
- C8. COVERS SHALL NOT BE LESS THAN THE SIZE OF THE AGGREGATE OR THE MAIN BARS. SPACES OR CONDITIONS SHALL NOT BE PLACED WITHIN THE COVER TO REINFORCEMENT.
- C9. CLEAR ALL CONCRETE CONTIGUOUSLY IN AN APPROVED MANNER FROM A PERIOD OF NOT LESS THAN 7 DAYS. CURING COMPOUNDS TO COMPLY WITH AS 3600. PVA BASED CURING COMPOUNDS ARE NOT ACCEPTABLE.
- C10. REINFORCEMENT DESIGNATIONS:
 - H DENOTES 8MM GRADE DEFORMED BAR TO AS/NZS 4671
 - R DENOTES 500N GRADE PLAIN ROUND BAR TO AS 1982
 - S₁ DENOTES DEFORMED HIGH DRAWN LOW DUCTILITY WIRE REINFORCEMENT FABRIC TO AS/NZS 4671
 - THE NUMBER FOLLOWING THESE SYMBOLS IS THE BAR DIAMETER IN mm.
- C11. REINFORCEMENT IS REPRESENTED ALGEBRAICALLY. IT IS NOT NECESSARILY SHOWN IN THIS PROJECTION. ALL REINFORCEMENT SHALL BE FULLY SUPPORTED ON APPROVED CHAIRS GENERALLY SPACED AT NOT GREATER THAN 1000mm C/S.
- C12. SPACES IN REINFORCEMENT SHALL BE MADE ONLY IN THE POSITION SHOWN. THE WRITTEN APPROVAL OF THE ENGINEER SHALL BE OBTAINED FOR ANY OTHER SPACE.
- C13. WELDING OR REINFORCEMENT WILL BE PERMITTED ONLY AFTER APPROVAL BY THE ENGINEER.
- C14. SITE BONDING OF "R" BARS SHALL BE DONE COLD WITH POWER OR MECHANICAL BONDING TOOLS.
- C15. MINIMUM REINFORCEMENT LAPS UNLESS NOTED OTHERWISE

FABRIC	REINFORCEMENT LAPS
BAR: H2 - 500 mm	
BAR: H4 - 650 mm	
TRENCH REIN - 500 mm	

STRUCTURAL TIMBER

- S11. ALL WORKSHOPS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF AS 1610 AND CLASSIFICATION (CS-4) AND AS 1720 CONCRETE DIMENSIONS WITH APPROVED-TIMS.
- S12. ALL TIMBER SHALL BE GRADED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS UNDER THE AUTHORITY OF A RECOGNISED TIMBER QUALITY ASSURANCE PROGRAMME.
- S13. "SEASONED" TIMBERS SHALL HAVE A MOISTURE CONTENT NOT GREATER THAN 18% OR LESS THAN 8%. COMBINATION OF SUCH SHALL BE PROVIDED AS REQUESTED.
- S14. ALL TIMBER SHALL BE OF A NATURAL DURABILITY CLASS NOT GREATER THAN 10. ALL TIMBER SHALL BE TREATED TO A LEVEL OF PRESERVATIVE TREATMENT IN ACCORDANCE WITH AS 1610.
- S15. ALL STEEL FASTENERS AND FIXTURES TO BE GALVANIZED OR ALTERNATIVELY TREATED TO PROVIDE AN EQUIVALENT LEVEL OF CORROSION PROTECTION. APPROVED HEADINGS SHALL BE TAKEN TO AVOID CONTACT BETWEEN DISSIMILAR METALS.
- S16. ASSUMED DESIGN PARAMETERS UNLESS NOTED OTHERWISE

FASTENER GROUP	DESIGN VALUE
1 - 2 (SILVERWOOD)	20 (KILN DRIED)
3 - 5 (SILVERWOOD)	20 (KILN DRIED)
6 - 8 (SILVERWOOD)	20 (KILN DRIED)

DRAWING SCHEDULE

- 01 - GENERAL NOTES AND DRAWING SCHEDULE
- 02 - FOOTING AND SLAB ON GROUND LAYOUT
- 03 - FOOTING DETAILS - SHEET 1 OF 2
- 04 - FOOTING DETAILS - SHEET 2 OF 2
- 05 - BRACING LAYOUT
- 06 - BRACING DETAILS
- 07 - ROOF FRAMING LAYOUT

REVISIONS	DATE	LEVEL ORIGIN	DRAWN	SCALE	DESIGNED	CHECKED	DATE
1 PRELIMINARY ISSUE	04.10.2020		MHN	--A3	DRL	DRL	
APPROVED:		APPROVED:		APPROVED:		APPROVED:	
RPEQ: 5261		RPEQ: 5261		RPEQ: 5261		RPEQ: 5261	

LAIT CONSULTING

3/24 Gordon Street
Gladstone BC QLD 4680
P: +61 7 4972 9522
E: admin@laitconsulting.com.au
Brisbane Pty Ltd
400 St 55 561 298

TITLE: GENERAL NOTES AND DRAWING SCHEDULE
PROJECT: PROPOSED "NEW" AMENITIES
DTMR GLADSTONE MARINE OPERATIONS
for BAUHINIA ARCHITECTS

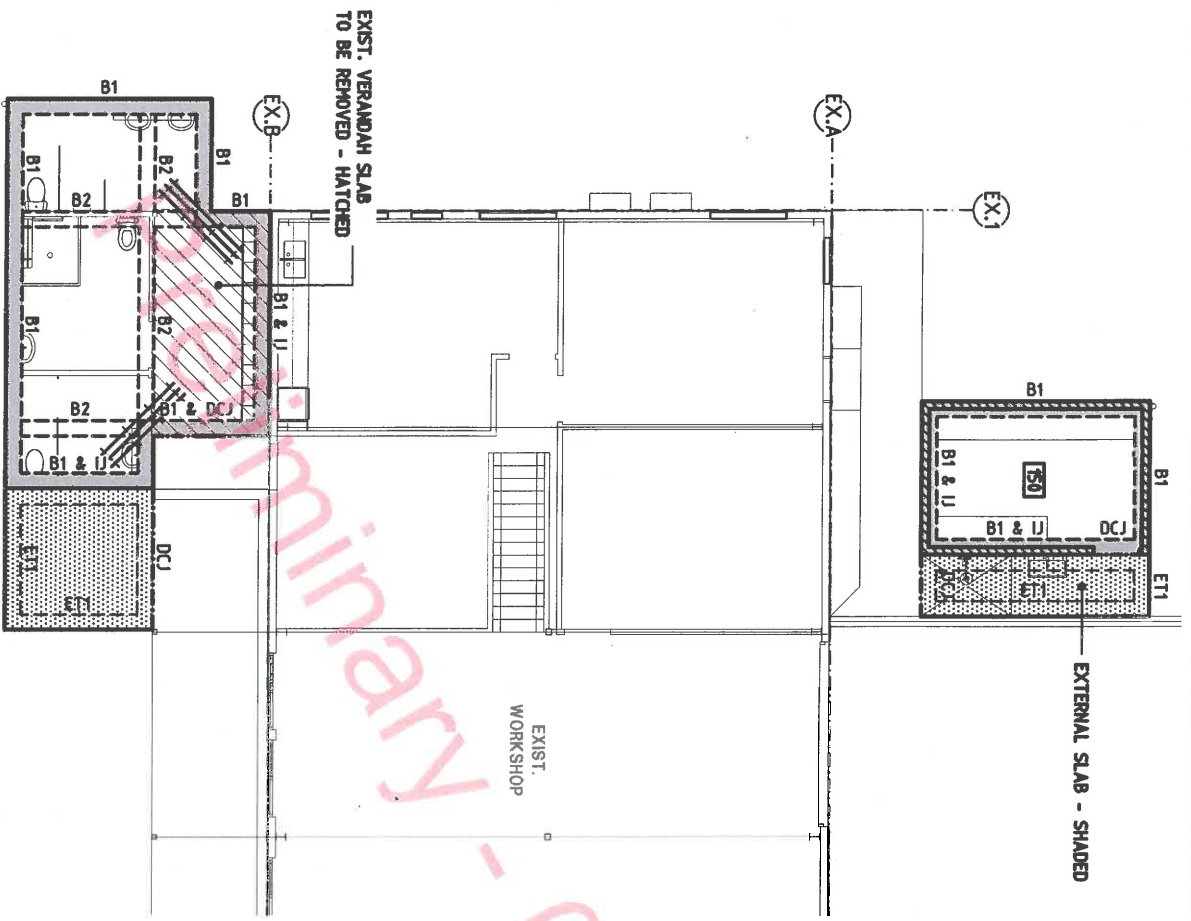
DATE: 08.10.2020
No. 01 of 07 Plans
DWG No. LC200047
ISSUE: 1

Preliminary

APPROVED

04/11/20

NOT FOR CONSTRUCTION



EXTERNAL SLAB - SHADED

100mm THICK SLAB - UNLESS NOTED OTHERWISE
 1 LAYER SL72 FABRIC
 (25mm TOP COVER - INTERNAL; 40mm TOP COVER - EXTERNAL)
 N25 CONCRETE

ALL FOOTINGS - N25 CONCRETE

FOOTING SCHEDULE

B1	300w x 450d RC SLAB EDGE BEAM
B2	300w x 450d RC INTERNAL SLAB BEAM
ET1	450w x 200d MC EDGE THICKENING
U	ISOLATION JOINT
DCJ	DOWELLED CONTROL JOINT
	3-L11TH TRIMMER BARS x 2000 LONG (SECURE UNDER SLAB REINF.)
	150w x 150h HOB

FOOTING AND SLAB ON GROUND LAYOUT

SCALE 1:100
 REFER ARCHITECTURAL DRAWINGS FOR ALL SETOUT DIMENSIONS, SURFACE FINISHES, FLASHINGS, WATERPROOFING REQUIREMENTS ETC.
 GENERALLY POUR SLAB OVER 50mm MIN. COMPACTED BEDDING SAND AND 0.2mm POLYETHYLENE VAPOUR BARRIER.
 TYPICAL FOOTING DETAILS - REFER DWG.'S NO. LC200047/03 & 04

NOT FOR CONSTRUCTION

APPROVED
 08/11/20

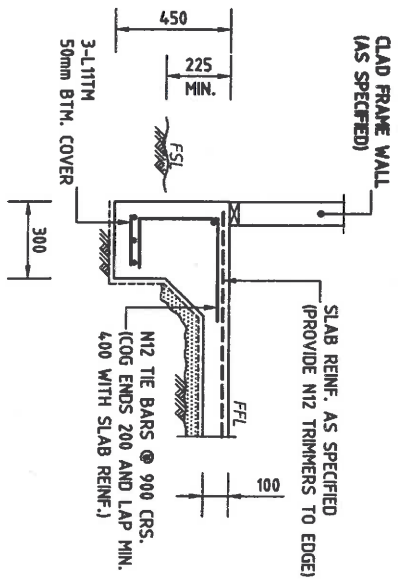
REVISIONS	DATE	LEVEL ORIGIN	DRAWN	SCALE	DESIGNED	CHECKED	APPROVED
1 PRELIMINARY ISSUE	08.10.2020		MHN	1:100 A3	DRL	DRL	APPROVED FOR AND ON BEHALF OF BAUHNIA PTT LTD



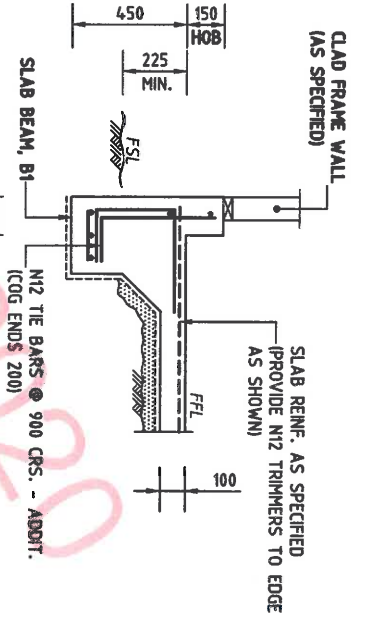
3/724 Gladstone Street
 GLADSTONE QLD 4680
 Mail: PO Box 541
 Gladstone BC Qld 4680
 P: +61 7 4972 9922
 E: admin@laitconsulting.com.au
 B: admin@laitconsulting.com.au
 RSN 50 850 541 298

TITLE: FOOTING AND SLAB ON GROUND LAYOUT
 PROJECT:
 PROPOSED "NEW" AMENITIES
 DTMR GLADSTONE MARINE OPERATIONS
 for BAUHNIA ARCHITECTS

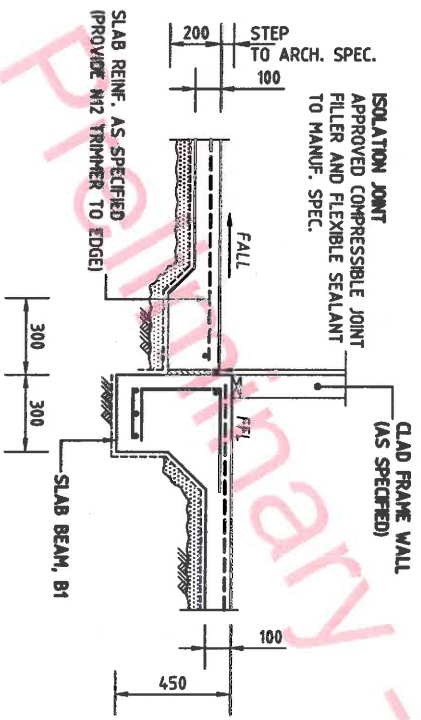
DATE: 08.10.2020
 No. 02 of 07 Plans
 DWG No. LC200047
 ISSUE: 1



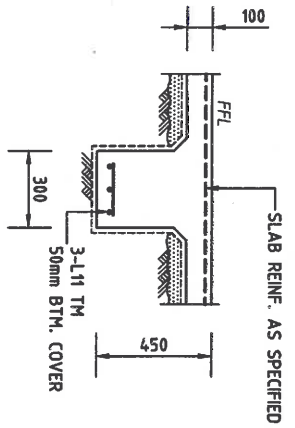
SLAB BEAM, B1
SCALE 1:20



SLAB BEAM, B1 (WITH HOB OVER)
SCALE 1:20



SLAB BEAM, B1 AND ISOLATION JOINT, IJ
SCALE 1:20

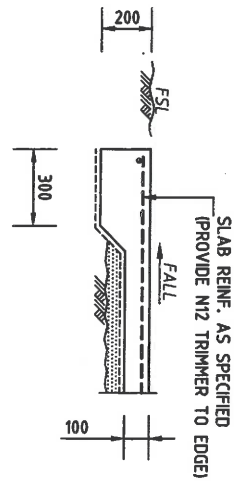


SLAB BEAM, B2
SCALE 1:20

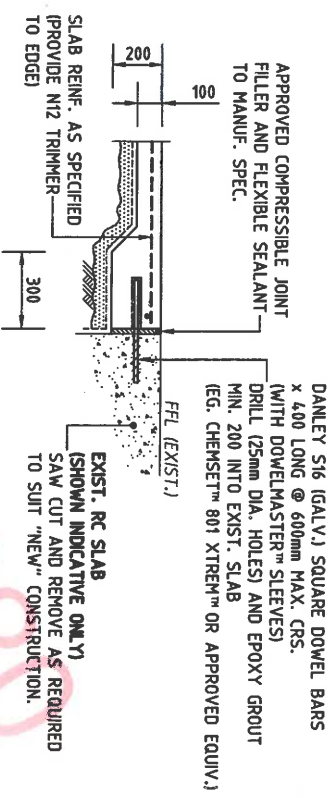
NOT FOR CONSTRUCTION

APPROVED
GH 4/11/20

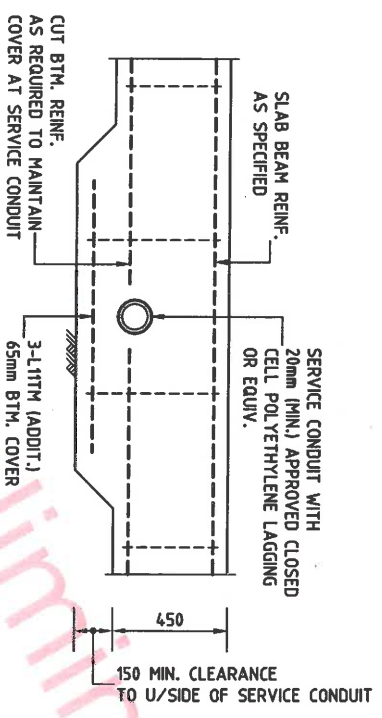
REVISIONS	DATE	LEVEL	ORIGIN	DRAWN	SCALE	CHECKED	DATE
1 PRELIMINARY ISSUE	08.10.2020	LEVEL DATUM		MHN	1:20 (A3)	DRL	
		DESIGNED		DRL			
		APPROVED		DRL			
		APPROVED FOR AND ON BEHALF OF					
		APPROVED FOR AND ON BEHALF OF					
<p>LAIT CONSULTING</p> <p>3/124 Gordon Street Gladstone QLD 4680 Australia P: +61 7 4972 9822 E: admin@laitconsulting.com.au A/N: 50 589 5412 288</p>							
<p>PROJECT: PROPOSED "NEW" AMENITIES DTMR GLADSTONE MARINE OPERATIONS for BAUHINIA ARCHITECTS</p>							
<p>TITLE: FOOTING DETAILS - SHEET 1 OF 2</p>							
<p>DATE: 08.10.2020</p>							
<p>No. 03 of 07 Plans</p>							
<p>DWG No. LC200047</p>							
<p>ISSUE: 1</p>							



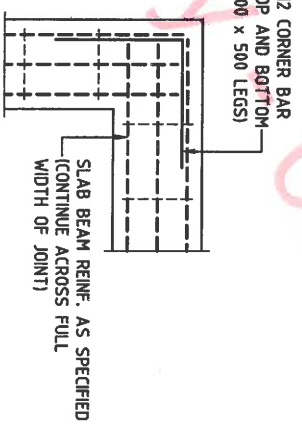
EDGE THICKENING, ET1
SCALE 1:20



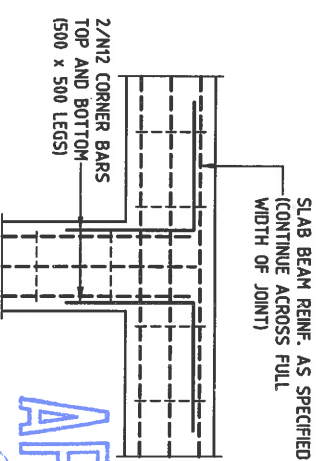
DOWELLED CONTROL JOINT, DCJ
SCALE 1:20



TYPICAL SERVICE PENETRATION
NOT TO SCALE



SLAB BEAM CORNER
NOT TO SCALE



SLAB BEAM JUNCTION
NOT TO SCALE

NOTE: THIS DETAIL APPLIES ONLY WHERE SERVICE CONDUITS ARE LOCATED OUTSIDE THE MIDDLE 1/3 OF FOOTING DEPTH.

NOT FOR CONSTRUCTION

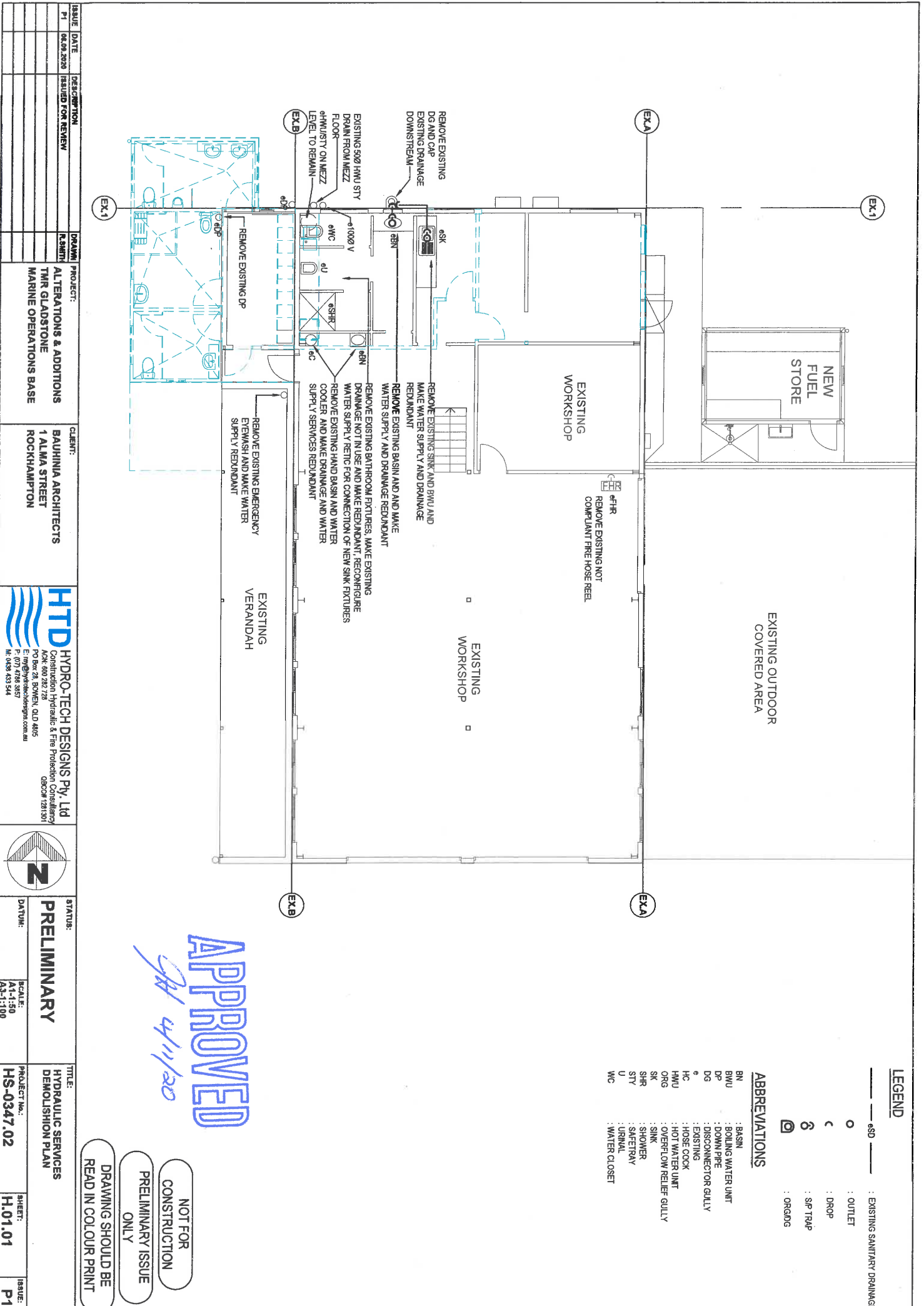
APPROVED
9/4/2020

REVISIONS	DATE	LEVEL ORIGIN	DRAWN	CHKD	SCALE	CHECKED	APPROVED
1 PRELIMINARY ISSUE	08.10.2020				1:20 A3	DRL	REPEQ. 5261

SCORES	DATE	LEVEL ORIGIN	DRAWN	CHKD	SCALE	CHECKED	APPROVED
1. This is the property of the engineer and may not be used for any other project without the express permission of the engineer. Appointed in any way / any result in part, without the express permission of the engineer. Appointed in any way / any result in part, without the express permission of the engineer. Appointed in any way / any result in part, without the express permission of the engineer.							
2. Figure dimensions take precedence over scaled.							
3. Verify all dimensions on site.							

<p>3/24 Gladstone Street Gladstone QLD 4680 M.H. Gladstone BC Qld 4680 P: +61 7 4972 9922 E: admin@lcaitconsulting.com.au Brisbane Pty Ltd ABN 50 355 541 298</p>	<p>LAIT CONSULTING</p>
---	-------------------------------

TITLE: FOOTING DETAILS - SHEET 2 OF 2	DATE: 08.10.2020
PROJECT: PROPOSED "NEW" AMENITIES DTMR GLADSTONE MARINE OPERATIONS for BAUHINIA ARCHITECTS	No. 04 of 07 Plans
	DWG No. LC2200047
	ISSUE: 1



LEGEND

- oSD — : EXISTING SANITARY DRAINAGE
- : OUTLET
- ◡ : DROP
- ⊗ : S/P TRAP
- ⊙ : ORGANG

ABBREVIATIONS

- BN : BASIN
- BWU : BOILING WATER UNIT
- DP : DOWN PIPE
- DG : DISCONNECTOR GULLY
- ◊ : EXISTING
- HC : HOSE COCK
- HMU : HOT WATER UNIT
- ORG : OVERFLOW RELIEF GULLY
- SK : SINK
- SHR : SHOWER
- STY : SAFETY
- U : URINAL
- WC : WATER CLOSET

APPROVED

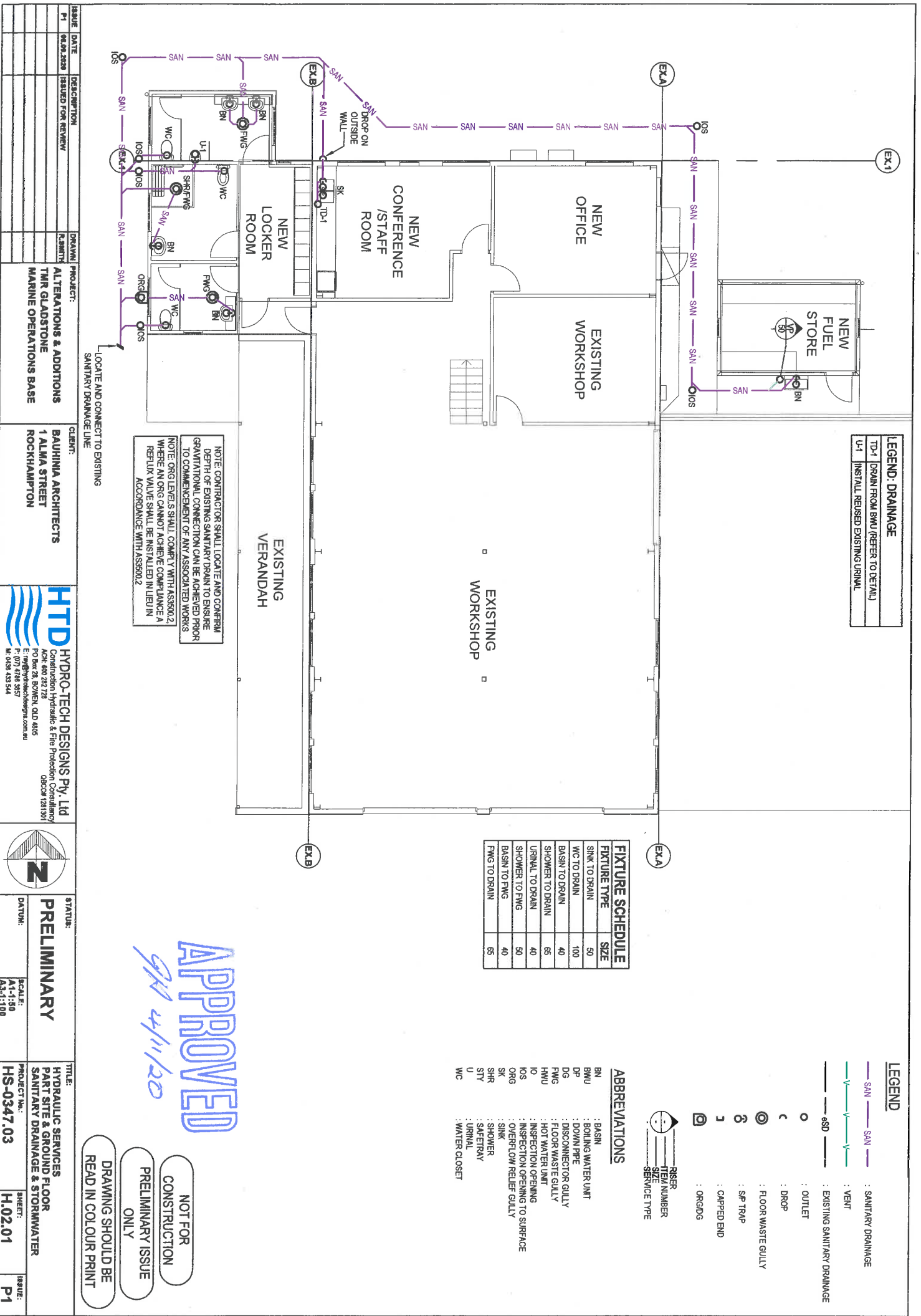
JA 4/11/20

NOT FOR CONSTRUCTION

PRELIMINARY ISSUE ONLY

DRAWING SHOULD BE READ IN COLOUR PRINT

ISSUE	DATE	DESCRIPTION	DRAWN	PROJECT	CLIENT
P1	06.09.2020	ISSUED FOR REVIEW	KSHMIT	ALTERATIONS & ADDITIONS TMR GLADSTONE MARINE OPERATIONS BASE	BAUHINIA ARCHITECTS 1 ALMA STREET ROCKHAMPTON
<p>HTD HYDRO-TECH DESIGNS Pty. Ltd Construction Hydraulic & Fire Protection Consultancy AO Box 20, BOYERIN, QLD 4805 P. 07 7766 3857 M. 0438 433 544</p>					
<p>PRELIMINARY</p>					
<p>STATUS: PRELIMINARY</p>					
<p>SCALE: A1-1:50 A3-1:100</p>					
<p>TITLE: HYDRAULIC SERVICES DEMOLITION PLAN</p>					
<p>PROJECT No.: HS-0347.02</p>					
<p>SHEET: H.01.01</p>					
<p>ISSUE: P1</p>					



LEGEND: DRAINAGE

TD-1	DRAIN FROM BWU (REFER TO DETAIL)
U-1	INSTALL REUSED EXISTING URINAL

FIXTURE SCHEDULE

FIXTURE TYPE	SIZE
SINK TO DRAIN	50
WC TO DRAIN	100
BASIN TO DRAIN	40
SHOWER TO DRAIN	65
URINAL TO DRAIN	40
SHOWER TO FWG	50
BASIN TO FWG	40
FWG TO DRAIN	65

- ABBREVIATIONS**
- BN : BASIN
 - BWU : BOILING WATER UNIT
 - DP : DOWN PIPE
 - DG : DISCONNECTOR GULLY
 - FWG : FLOOR WASTE GULLY
 - HWU : HOT WATER UNIT
 - IO : INSPECTION OPENING
 - IOS : INSPECTION OPENING TO SURFACE
 - ORG : OVERFLOW RELIEF GULLY
 - SK : SINK
 - SHR : SHOWER
 - ST : SAFETY
 - STT : SAFETY
 - U : URINAL
 - WC : WATER CLOSET

- LEGEND**
- : SANITARY DRAINAGE
 - : SANITARY DRAINAGE
 - : VENT
 - : EXISTING SANITARY DRAINAGE
 - : OSD
 - : OUTLET
 - : DROP
 - : FLOOR WASTE GULLY
 - : SF TRAP
 - : CAPPED END
 - : ORGDG

NOTE: CONTRACTOR SHALL LOCATE AND CONFIRM DEPTH OF EXISTING SANITARY DRAIN TO ENSURE GRAVITATIONAL CONNECTION CAN BE ACHIEVED PRIOR TO COMMENCEMENT OF ANY ASSOCIATED WORKS

NOTE: ORG LEVELS SHALL COMPLY WITH ASS5900.2 WHERE AN ORG CANNOT ACHIEVE COMPLIANCE A REFLEX VALVE SHALL BE INSTALLED IN LIEU IN ACCORDANCE WITH ASS5900.2

LOCATE AND CONNECT TO EXISTING SANITARY DRAINAGE LINE

APPROVED

gn 2/11/20

NOT FOR CONSTRUCTION

PRELIMINARY ISSUE ONLY

DRAWING SHOULD BE READ IN COLOR PRINT

ISSUE DATE	DESCRIPTION	DRAWN	PROJECT	CLIENT	<p>HTD HYDRO-TECH DESIGNS Pty. Ltd Construction Hydraulic & Fire Protection Consulting 100/101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000</p>
P1	ISSUED FOR REVIEW	REVISIONS	ALTERATIONS & ADDITIONS THIR GLADSTONE MARINE OPERATIONS BASE	BAUHINIA ARCHITECTS 1 ALMA STREET ROCKHAMPTON	
ISSUE DATE	DESCRIPTION	DRAWN	PROJECT	CLIENT	
P1	ISSUED FOR REVIEW	REVISIONS	ALTERATIONS & ADDITIONS THIR GLADSTONE MARINE OPERATIONS BASE	BAUHINIA ARCHITECTS 1 ALMA STREET ROCKHAMPTON	

