

23 February 2022

Cement Australia Pty Ltd
c/- Ben Gill
Landing Road
GLADSTONE QLD 4680

Dear Mr Gill

DECISION NOTICE – APPROVAL WITH CONDITIONS – DA2020/12/01

(GIVEN UNDER THE PROVISIONS OF GPC LAND USE PLAN 2012V2)

1. Application Details

This development application was **properly made** to the Gladstone Ports Corporation Limited on **10 November 2021**.

Application Number:	DA2021/20/01
Applicant Name:	Cement Australia Pty Ltd
Applicant Contact Details:	Ben Gill Cement Australia Pty Ltd Landing Road GLADSTONE QLD 4680 Email: ben.gill@cemaust.com.au ; and sonal.bhutra@cemaust.com.au
Approval Sought (Land Use Plan):	1. Port Application for installation of security hut.
Approval Sought (Port Overlay):	N/A
Details of Proposed Development:	Installation of security hut and car park
Location Street Address:	Bernie Muir Esplanade YARWUN QLD 4680
Location Real Property Description:	Lot 502 on SP252988
Land Owner:	Gladstone Ports Corporation Limited
Land Use Plan Precincts:	Strategic Port Land – Port Industry Precinct
Local Government Area:	Gladstone

2. Details Of Proposed Development

The development is described as:

1. Port application for installation of a security hut.

Installation of security hut with space for 2 car parks, light pole and security gate card reader.

Note: This application is for the installation of a new security hut. This application does not include any works required to relocate or move any huts / structures i.e. removal, demolition or relocation.

3. Details Of Decision

This development application was **decided** on **23 February 2022**.

This development application is **approved in full with conditions**. These conditions are set out in Attachment 1 and are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

This application **is not** taken to have been approved (a deemed approval) under section 64(5) of the *Planning Act 2016*.

4. Details Of Approval

This development approval is a **Development Permit** given for:

- (a) Port Application for undertaking work in, on, over or under premises that materially affects the premises or their use including excavating or filling (*GPC Land Use Plan 2012v2*).

5. Conditions

This development approval is subject to the conditions in Attachment 1 - Part 1 and Part 2.

6. Further Development Permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

- (a) Any approvals for building works;
- (b) Any approvals for plumbing and drainage works

7. Approved Plans and Specifications

Copies of the following plans, specifications and/or drawings are approved and enclosed in Attachment 2:

Drawing/report title	Prepared by	Date	Reference no.	Version	Approval subject to the following changes
Aspect of development: Port Application					
Annexure A – Permit Area	GPC		#1670951		
6.0x3.0m Building – Floor Plan	Multitrade Building Hire	30/06/2021	Drawing No. SQF-3853-01	Rev A	
Wharf Security Hut Relocation Arrangement	Cement Australia	25/01/2022	Drawing No. 621-3D1-M-0001	Rev C	
Security Hut Elevations	Cement Australia	25/01/2022	Attachment 10		As amended 23/02/2022

12. Currency Period for the Approval

Pursuant to section 85 of the Planning Act, this development approval will lapse at the end of the periods set out below:

- (a) For Port Application this approval lapses 6 years after this approval decision date.

13. Rights of Appeal

No legislated appeal rights are afforded with this decision notice as the application was not made under the provisions of the *Planning Act 2016*.

For further information please contact Judy Horsfall, Planning Advisor, on 07 4976 1314 or the undersigned on 07 4976 1287 or via email planning@gpcl.com.au.

Yours sincerely,

Erin Clark
Principal Planner

Enc. Attachment 1: Conditions of Approval
Part 1 – Conditions imposed by the assessment manager

Attachment 2: Approved plans and specifications

Attachment 1 Conditions of Approval

PART 1: ASSESSMENT MANAGER CONDITIONS

In general the development proposal is in compliance with the requirements of Gladstone Ports Corporation Limited (GPC). This development approval is subject to each the following conditions which are stated by GPC, the Assessment Manager.

Part 1a: Approval sought under Land Use Plan - Port Application

GENERAL

1. Development must be carried out generally in accordance with the Approved plans, except where modified by conditions of this permit.
2. Unless otherwise stated, all conditions must be complied with and completed prior to the commencement of the development.
3. Where additional “approval” is required under these conditions by the Assessment Manager (GPC) for drawings or documentation the proponent must submit for review, amend to the satisfaction of, and obtain written approval from the Assessment Manager.

Furthermore, the Assessment Manager will require no less than 10 business days, unless otherwise conditioned by the Assessment Manager, to initially assess the drawings or documentation provided prior to the commencement of the development. Should further information be required for assessment, the Assessment Manager will require a further 5 business days to complete the information request assessment and response.

4. The proponent must at its cost and expense, keep and maintain the development footprint, including existing services, in a state that is satisfactory to the Assessment Manager.

ENGINEERING

5. The security hut must be sited in a manner that allows the Assessment Manager unimpeded access to the adjacent bund wall for the purpose of maintenance at all times.
6. Prior to commencing works, submit for review and approval to the Assessment Manager ‘for construction’ drawings of footings or other anchor arrangement for the building.

Note: The proponent is to consider appropriate tie downs / security in case of serious weather event.

7. Upon completion of the works, the proponent must supply the Assessment Manager with RPEQ certified “As Constructed” plans, including plans that show the location of infrastructure being connected to, in electronic (CAD format) which illustrate all infrastructure and services installed on, under or over Port land associated with the activity, including depth and sizing.
8. Prior to commencing works to install any new outside lighting, the proponent must submit and have approved by the Assessment manager, details of the proposed lighting.
9. Any site lighting used during construction / development should not negatively impact on the visibility of Navigational Aids utilised for the primary shipping channels nor illuminate a landward glare beyond the site boundary. Lighting must be reviewed during construction and operations with respect to navigation. Where an issue is identified or a validated complaint received, the proponent must immediately rectify to the satisfaction of the Assessment Manager.

Earthworks

10. Prior to commencing works, the proponent is required to apply for and obtain a Permit to Dig/Excavate by contacting the Port Infrastructure Asset Manager.
11. Any fill or pavement material used (where applicable) must be uncontaminated and reused from onsite or sourced from a licensed quarry.

Infrastructure

12. The applicant must notify the Assessment Manager of damage caused to any port or port user infrastructure or services including, but not limited to, security related devices, buildings, fences, lighting etc., roads, walkways and underground services or infrastructure, as a result of the approved use or during construction. The proponent must undertake necessary repairs at their expense and to the satisfaction of the Assessment Manager.
13. If, as a result of the works, or other cause attributable to the proponent, any bank or tidal structure is displaced, the proponent at its cost and expense shall restore the bank or structure to its former condition and take such other action as is necessary to ensure the stability of the bank or structure to the satisfaction of the Assessment Manager.

Car Parking

14. Vehicle parking is permitted within the premises only shown on Drawing No. 621-3D1-M-0001 Revision C.
15. A maximum of two (2) vehicles are permitted to be parked within the premises.
16. A suitable gravel pavement or surface must be installed and maintained on the designated carpark to reduce dust emissions and sedimentation of stormwater runoff e.g. gravel.

Waste Management

17. Prior to commencing the use, The Cement Australia Waste Management Plan must be amended to include storage and collection of waste in the septic tank at the security hut and the amended plan be submitted for approval by the Assessment Manager.

Note: This does not remove the requirement for approval of this document by any other relevant authority.

Maintenance

18. A pavement or surface must be installed and maintained around the hut to the satisfaction of the Assessment Manager to minimise erosion and sedimentation of stormwater generated on the roof e.g. gravel.
19. The proponent must maintain the property in a clean and tidy manner, including the maintenance of any pavement / surface etc.

ENVIRONMENT

Construction Environmental Management Plans

20. Prior to any construction works commencing on site (where deemed necessary), a Construction Environmental Management Plan (CEMP) specific to these works, must be developed that ensures:

- a. environmental risks, including but not limited to, asbestos, noise, odour, lighting, dust, are identified, managed and continually assessed in relation to the construction activity;
- b. spill management and prevention and emergency and cyclone management are documented and implemented;
- c. that staff are trained and aware of their obligations under the EMP, including a copy of the management plan and development approval available on site at all times;
- d. reviews of environmental performance are undertaken at least annually; and
- e. any amendments to the CEMP are to be submitted to GPC for review and approval.

All construction activity must be carried out in accordance with this CEMP which must be able to be produced for the Assessment Manager upon request.

Note: GPC has a guideline for the development of environmental management plans that may be utilised in meeting the requirements of this condition.

Incident notification

21. Gladstone Ports Corporation's Environmental Hotline (07) 4976 1617 must be notified of the occurrence of any;
 - a. release/spill of contaminants (e.g. fuels/chemicals/sewerage) greater than 250L to land;
 - b. release/spill of contaminants (e.g. fuels/chemicals/sewerage) to water;
 - c. environmental complaints received by the holder of this approval; or
 - d. non-compliance with conditions of this approval or any other environmental approval obtained in relation to the approved activity.
22. Environmental incident notification requirements must be included in any Environmental Management Plan for the development.

Part 1b: Assessment Manager Advice Notes

1. All other relevant approvals must be obtained before commencement of the development or operation of the development, including any Building works or Plumbing and drainage works.
2. This decision notice does not represent an approval to commence Building work.
3. Connections to water and sewerage infrastructure will require Plumbing and Drainage works approvals from a suitably qualified person.
4. The premises is located on part of Lot 502 on SP252988 which is registered on the Queensland Environmental Management Register. Therefore, disposal of any excavated material off site must be in accordance with relevant legislation, or alternately retained on site in accordance with all relevant legislative requirements.
5. Any future extensions or improvements to the proposed activity or establishment, including any future signage are likely subject to assessment under the Port of Gladstone Land use plan 2020 and the applicant is encouraged to ensure all necessary enquiries are made and approvals obtained.
6. Where a Permit to Dig/Excavate prior to commencing excavation or digging for the development, the proponent or their contractor is required to apply for and obtain the permit by contacting the Port Infrastructure Asset Manager on 4976 1332 or bartono@gpcl.com.au.

7. The *Environmental Protection Act* 1994 states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks, construction, and operational phases of this development, are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm.
8. Where the Applicant is required to submit further documentation to the Assessment Manager, this is to be directed to the Planning section at planning@gpcl.com.au, including reference to the allocated development application number.

Attachment 2 Approved Plans and Specifications

ANNEXURE A – PERMIT AREA

~ 40 m² Permit Area Highlighted
Bernie Muir Esplanade Fisherman's Landing – Part of Lot 502 on SP252988

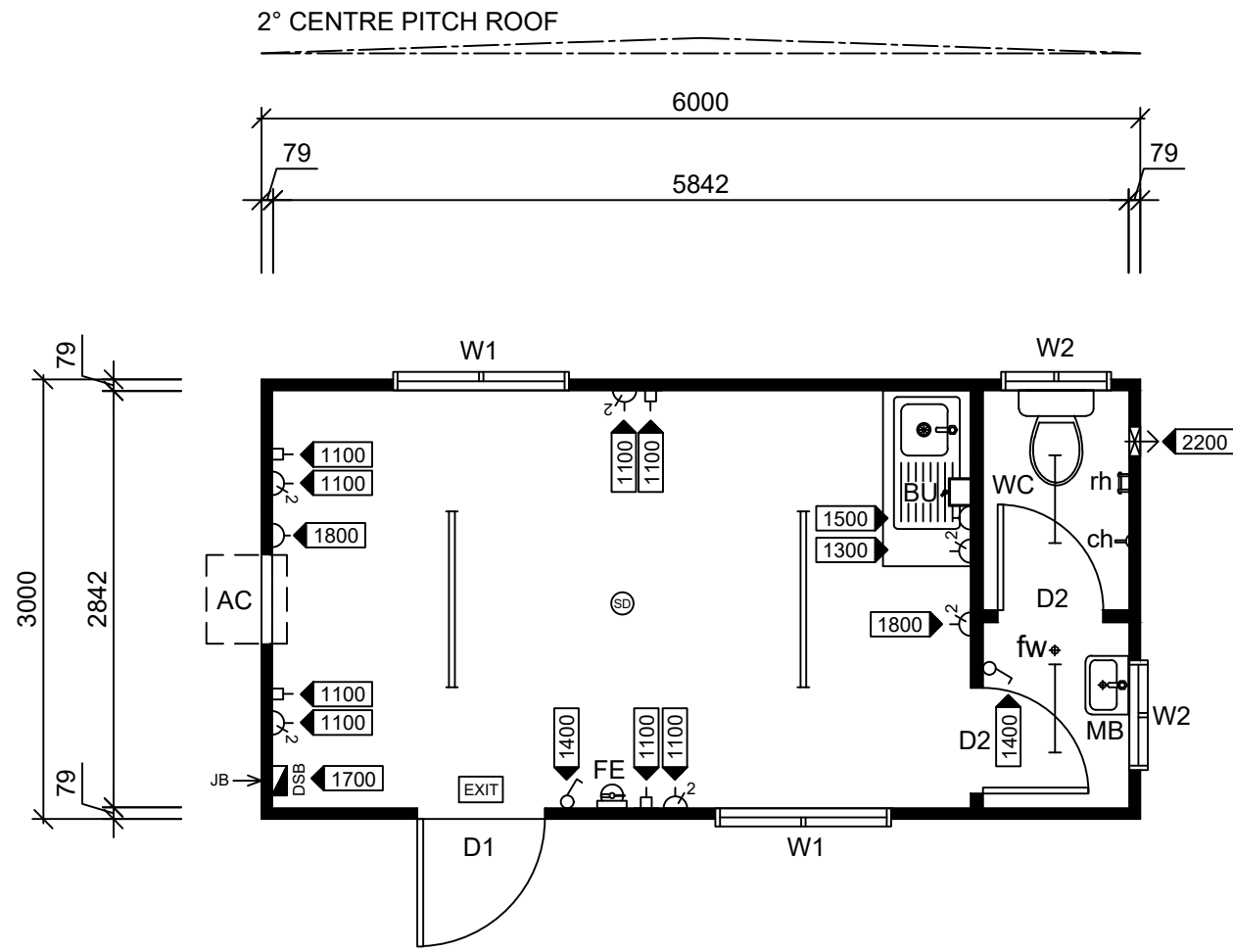


 **Gladstone Ports Corporation**

APPROVED

Name: Judy Horsfall
Date: 9:36am 23/02/2022

PRELIMINARY DRAWING



6.0x3.0m Building - Floor Plan

Scale 1:50

Colour Schedule

External	
Cladding	- Surfmist
Roof	- Zincolume
Capping	- Surfmist
Door	- White
Window	- White
Internal	
Vinyl	- Grey
Vinyl (R10)	- Grey
Walls	- Grey
Ceiling	- White
Cabinetry	- White



CLIENT APPROVAL

Signature:		Date:	
Rev.	Description	Date	By
A	Issued For Client Review	30/06/21	BW



THIS DRAWING AND DESIGN IS THE SOLE PROPERTY OF JABEGIL PTY LTD T/A MULTITRADE BUILDING HIRE A.B.N. 36 010 138 600 IT MAY NOT BE REPRODUCED, COPIED WHOLE OR IN PART WITHOUT WRITTEN AUTHORITY.

CLIENT	DATE	
	30/06/21	
TITLE	SCALE	
6.0x3.0m BUILDING - FLOOR PLAN	1:50	
DESIGN WIND LOAD	DRAWN	CHECKED
C2 (W50C)	BW	
DRAWING NUMBER	REVISION	SHEET SIZE
SQF-3853-01	A	A3

Item List

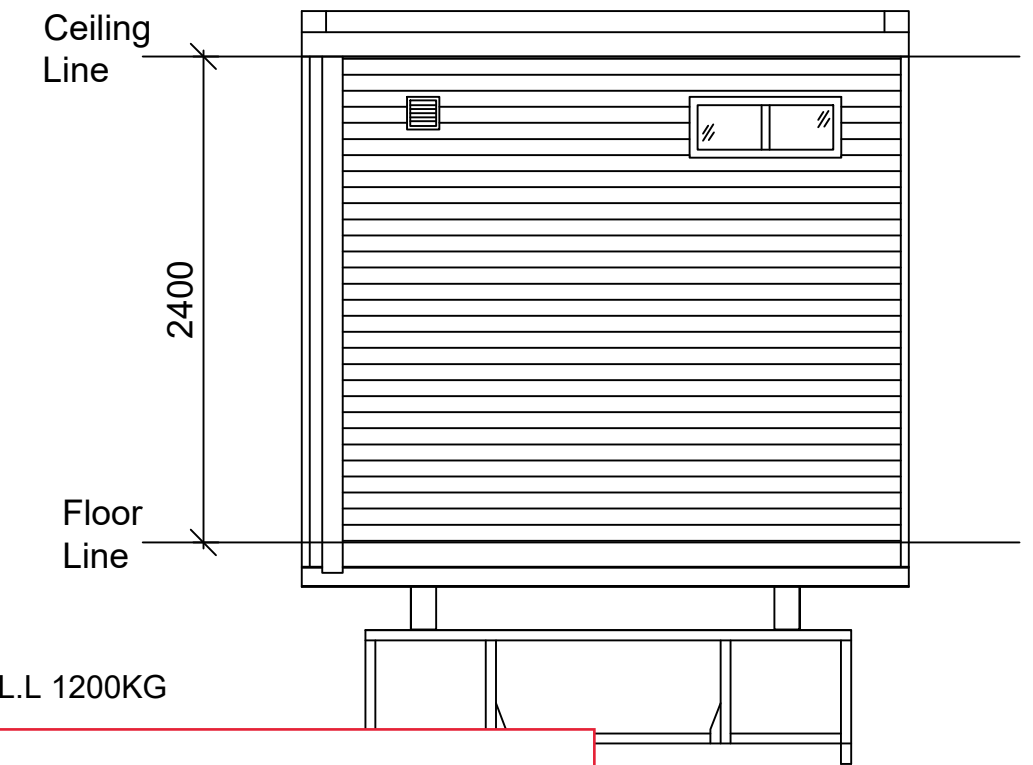
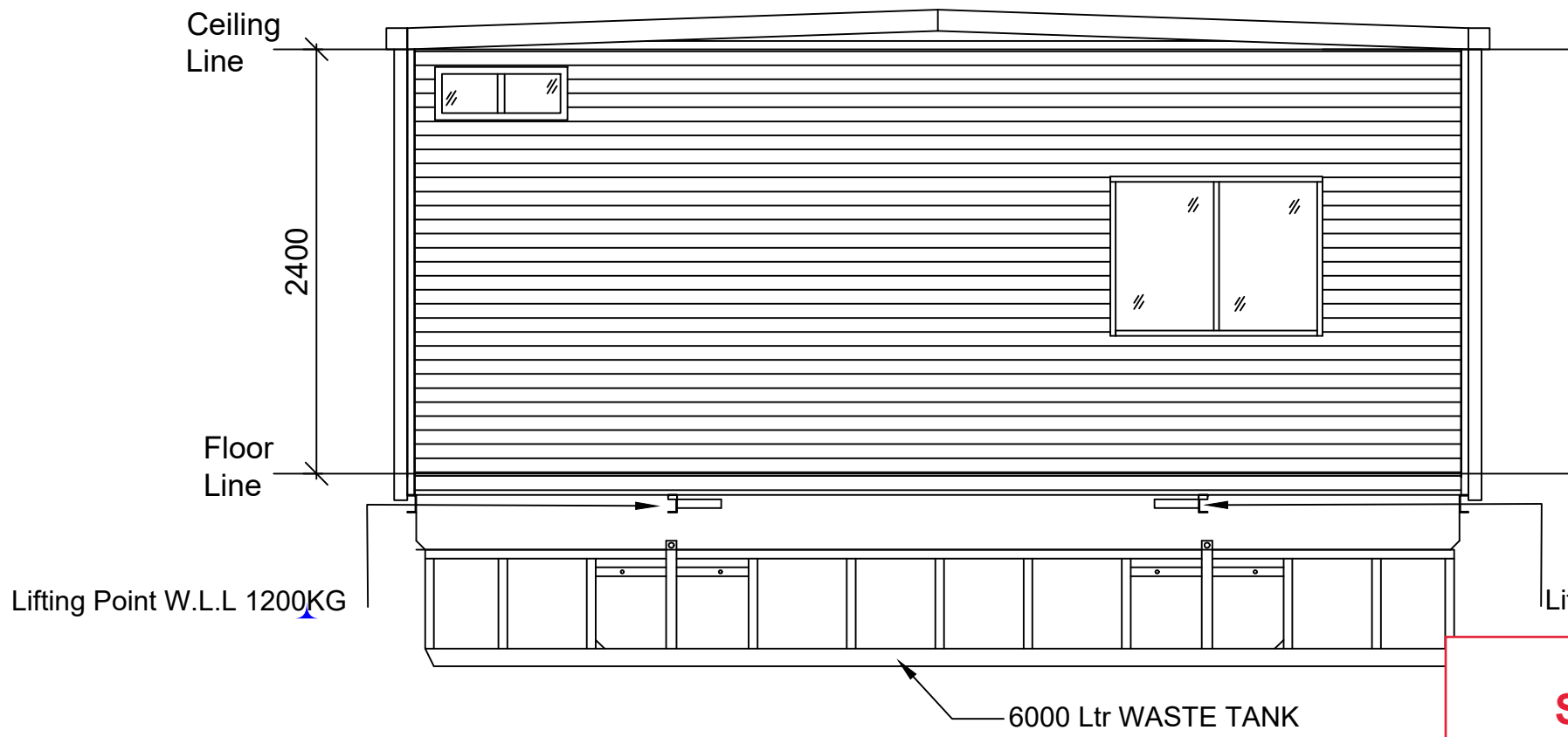
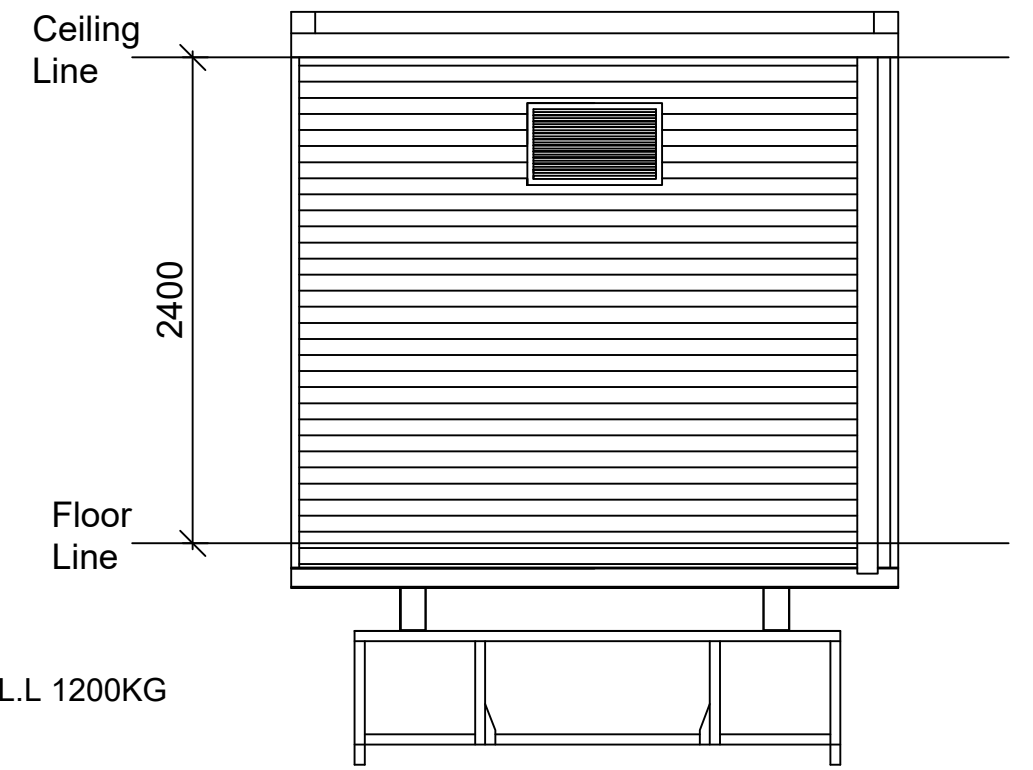
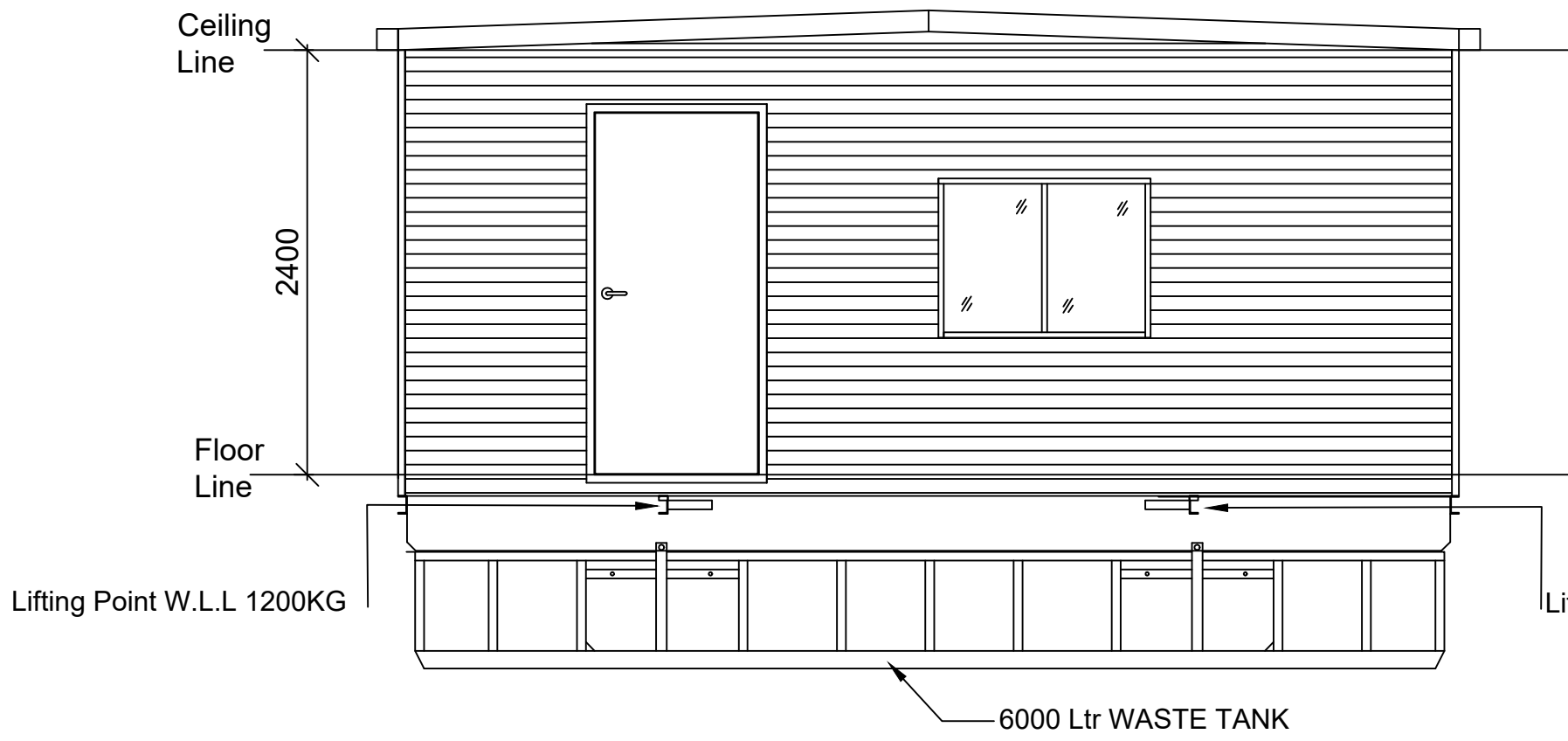
Item	Qty	Description
D1	x(1)	2040x920mm External Metal Clad Door.
D2	x(2)	2040x720mm Internal Painted Door With Door Closer.
W1	x(2)	900x1200mm Sliding Glass Window - Grey Glass With Flyscreen.
W2	x(2)	300x750mm Sliding Obscure Glass Window With Flyscreen.
AC	x(1)	3.9kw TECO Reverse Cycle Wall Mounted Air Conditioner.
SU	x(1)	1200mm Laminated Bench Top With Splshback, Cupboards Under, Single Bowl & Drainer Sink (Cold), 'P' Trap Waste.
BU	x(1)	3L Boiling Water Unit - Wall Mounted.
WC	x(1)	Toilet Pan With Dual Flush Cistern, 'P' Trap.
MB	x(1)	Mini Hand Basin (Cold) With Mirror Over.
FE	x(1)	4.5kg Dry Chemical Fire Extinguisher & Sign.
fw	x(1)	Floor Waste.
ch	x(1)	Coat Hook.
rh	x(1)	Roll Holder.

Notes

- Steel Frame Construction.
- 150x75mm Bearers / C10015 Floor Joists @ 600mm Ctrs.
- 19mm T&G F11 Plywood Flooring.
- 2mm Commercial Vinyl Floor Covering.
- 2mm Commercial R10 Slip Resistant Vinyl, Coved In Wet Areas.
- 2400mm Internal Ceiling Height.
- Pre-finished Plywood Internal Wall & Ceiling Linings With PVC Joiners, Skirting, Cornice & Corners Throughout.
- Wall & Ceiling Insulation.
- Horizontal 'Panelrib' Profile External Colorbond Cladding.
- Zincolume 'Trimdek' Profile Roof Sheeting.
- Colorbond Barge Capping With Stop Ends.

Electrical Legend

Icon	Qty	Description
	x(1)	Internal Metal Lockable Distribution Switchboard, 10kA Rated Double Pole Main Switch, 10kA Rated Double Pole Circuit Breakers With Cirlock Lockouts, Emergency Light Test Kit & Light Test Point.
	x(1)	Junction Box - Electrical Point Of Entry
	x(2)	Light Switch (Double Pole)
	x(2)	10amp Single GPO (Double Pole)
	x(6)	10amp Double GPO (Double Pole)
	x(4)	Draw Wire With Blank Plate
	x(2)	1200mm LED Batten Light Fitting.
	x(2)	600mm LED Batten Light Fitting.
	x(1)	Emergency Exit Light
	x(1)	Smoke Detector.
	x(1)	Wall Exhaust Fan.
		= Height Of Electrical Point



SECURITY HUT ELEVATIONS
As amended 23/02/2022

Attachment 10
Date: 25/01/2022