

21 February 2022

Orica Australia Pty Ltd  
c/- Julie Meinberg  
30 Reid Road  
GLADSTONE QLD 4680

Dear Ms Meinberg

## DECISION NOTICE – APPROVAL WITH CONDITIONS – DA2021/24/01

(GIVEN UNDER THE PROVISIONS OF GPC LAND USE PLAN 2012V2)

### 1. Application Details

This development application was **properly made** to the Gladstone Ports Corporation Limited on **20 January 2022**.

<b>Application Number:</b>	DA2021/24/01
<b>Applicant Name:</b>	Orica Australia Pty Ltd
<b>Applicant Contact Details:</b>	Julie Meinberg Orica Australia Pty Ltd Reid Road GLADSTONE QLD 4680 Email: <a href="mailto:Julie.meinberg@orica.com">Julie.meinberg@orica.com</a>
<b>Approvals Sought (Land Use Plan):</b>	Port Application for new pipeline hard barricading
<b>Details of Proposed Development:</b>	Upgrade of ammonia pipeline barricading
<b>Location Street Address:</b>	Graham Fenton Drive and Bernie Muir Esplanade YARWUN QLD 4680
<b>Location Real Property Description:</b>	Lot 502 on SP252988
<b>Land Owner:</b>	Gladstone Ports Corporation Limited
<b>Land Use Plan Precinct:</b>	Strategic Port Land – Port Industry Precinct
<b>Local Government Area:</b>	Gladstone

## 2. Details Of Proposed Development

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Modification of existing steel beam guard rail to improved safety standards adjacent to existing ammonia pipeline along Graham Fenton Drive and Bernie Muir Esplanade.

## 3. Details Of Decision

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This development application was **decided** on **21 February 2022**.

This development application is **approved in full with conditions**. These conditions are set out in Attachment 1 and are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

This application **is not** taken to have been approved (a deemed approval) under section 64(5) of the *Planning Act 2016*.

## 4. Details Of Approval

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This development approval is a **Development Permit** given for:

- (a) Port Application for undertaking work in, on, over or under premises that materially affects the premises or their use excluding excavating or filling (*GPC Land Use Plan 2012v2*).

## 5. Conditions

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This development approval is subject to the conditions in Attachment 1 - Part 1 and Part 2.

## 6. Further Development Permits

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Please be advised that the following development permits are required to be obtained before the development can be carried out:

- (a) Any approval for proposed excavation and filling

## 7. Approved Plans and Specifications

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Copies of the following plans, specifications and/or drawings are approved and enclosed in Attachment 2:

Drawing/report title	Prepared by	Date	Reference no.	Version	Approval subject to the following changes
<b>Aspect of development: Port Application</b>					
Overall Siteplan	Orica	9/08/2018	Draw. No. 5370-11-Y0018	Rev A	

Installation & Setout	DTMR	11/10	Draw. No. 1474	Ver F	
W Beam & Three Beam Assemblies	DTMR	3/2021	Draw. No. 1482	Ver C	

## 12. Currency Period for the Approval

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Pursuant to section 85 of the Planning Act, this development approval will lapse at the end of the periods set out below:

- (a) For Port Application this approval lapses 6 years after this approval decision date.

## 13. Rights of Appeal

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No legislated appeal rights are afforded with this decision notice as the application was not made under the provisions of the *Planning Act 2016*.

For further information please contact Judy Horsfall, Planning Advisor, on 07 4976 1314 or the undersigned on 07 4976 1287 or via email [planning@gpcl.com.au](mailto:planning@gpcl.com.au) .

Yours sincerely,

**Erin Clark**  
Principal Planner

Enc. Attachment 1: Conditions of Approval  
Part 1 – Conditions imposed by the assessment manager

Attachment 2: Approved plans and specifications

## Attachment 1 Conditions of Approval

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### **PART 1: ASSESSMENT MANAGER CONDITIONS**

In general the development proposal is in compliance with the requirements of Gladstone Ports Corporation Limited (GPC). This development approval is subject to each the following conditions which are stated by GPC, the Assessment Manager.

#### **Part 1a: Approval sought under Land Use Plan - Port Application**

##### **GENERAL**

1. Development must be carried out generally in accordance with the Approved plans, except where modified by conditions of this permit.
2. Unless otherwise stated, all conditions must be complied with and completed prior to the commencement of the development.
3. Where additional "approval" is required under these conditions by GPC for drawings or documentation the proponent must submit for review, amend to the satisfaction of, and obtain written approval from the Assessment Manager.

Furthermore, GPC will require no less than 10 business days, unless otherwise conditioned by GPC, to initially assess the drawings or documentation provided prior to the commencement of the development. Should further information be required for assessment, GPC will require a further 5 business days to complete the information request assessment and response.

4. The proponent must at its cost and expense, keep and maintain the development footprint, including existing services, in a state that is satisfactory to the Port.

##### **ENGINEERING**

5. Any upgrades to barricading or bollards, including at the entrance to the approach of Wharf 5, must be designed, constructed and carried out in a manner that maintains existing vehicle access and manoeuvrability.
6. When requested, or deemed required by GPC, any barricading and bollards installed on port land must be removed within 30 business days of written request of the Assessment Manager.
7. Upon completion of the works, the proponent must supply the Assessment Manager with RPEQ certified "As Constructed" plans, in both hard copy (2 of) and electronic (CAD format) which illustrate all infrastructure and services e.g. modified barricading and modified bollards installed on, under or over Port land associated with the activity, including but not limited to, all horizontal beams.

##### **Infrastructure**

8. The applicant must notify the Assessment Manager (GPC) of damage caused to any port or port user infrastructure or services including, but not limited to, security related devices, buildings, fences, lighting etc., roads, walkways and underground services or infrastructure, as a result of the approved use or during construction. The proponent must undertake necessary repairs at their expense and to the satisfaction of the Assessment Manager (GPC).

##### **Construction Management**

9. In the event construction will require changes to vehicle access or land/road closure of any port road, the proponent must provide to the Assessment Manager for review and approval a Construction Traffic Management Plan.
10. Upon completion of the construction works, the proponent must reinstate the property to the same condition prior to the works being undertaken unless agreed to in writing by GPC.

11. In the event a construction compound is required on port land for offices, laydown areas, employee car parking or stockpiling areas etc outside the project lease area., the proponent or their contractor must obtain a Consent to Enter from GPC's Property Advisor via 07 4976 1334 or [property@gpcl.com.au](mailto:property@gpcl.com.au) prior to works commencing.

## ENVIRONMENT

### Construction Environmental Management Plan

12. Prior to construction works commencing on site, a Construction Environmental Management Plan (CEMP) specific to these works, is to be submitted to the Assessment Manager (GPC) for approval.

The construction must be undertaken in accordance with the approved CEMP that ensures:

- a. environmental risks, including but not limited to, noise, odour, lighting, dust, are identified, managed and continually assessed in relation to the construction activity ;
- b. that staff are trained and aware of their obligations under the EMP, including a copy of the management plan and development approval available on site at all times;
- c. that reviews of environmental performance are undertaken at least annually; and
- d. any amendments to the EMP are to be submitted to GPC for review and approval.

Once approved by the Assessment Manager, the construction activity must be carried out in accordance with this CEMP.

*Note: GPC has a guideline for the development of environmental management plans that may be utilised in meeting the requirements of this condition.*

### Incident notification

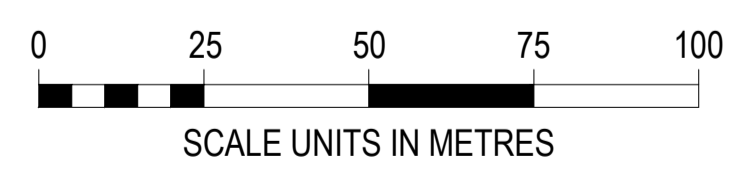
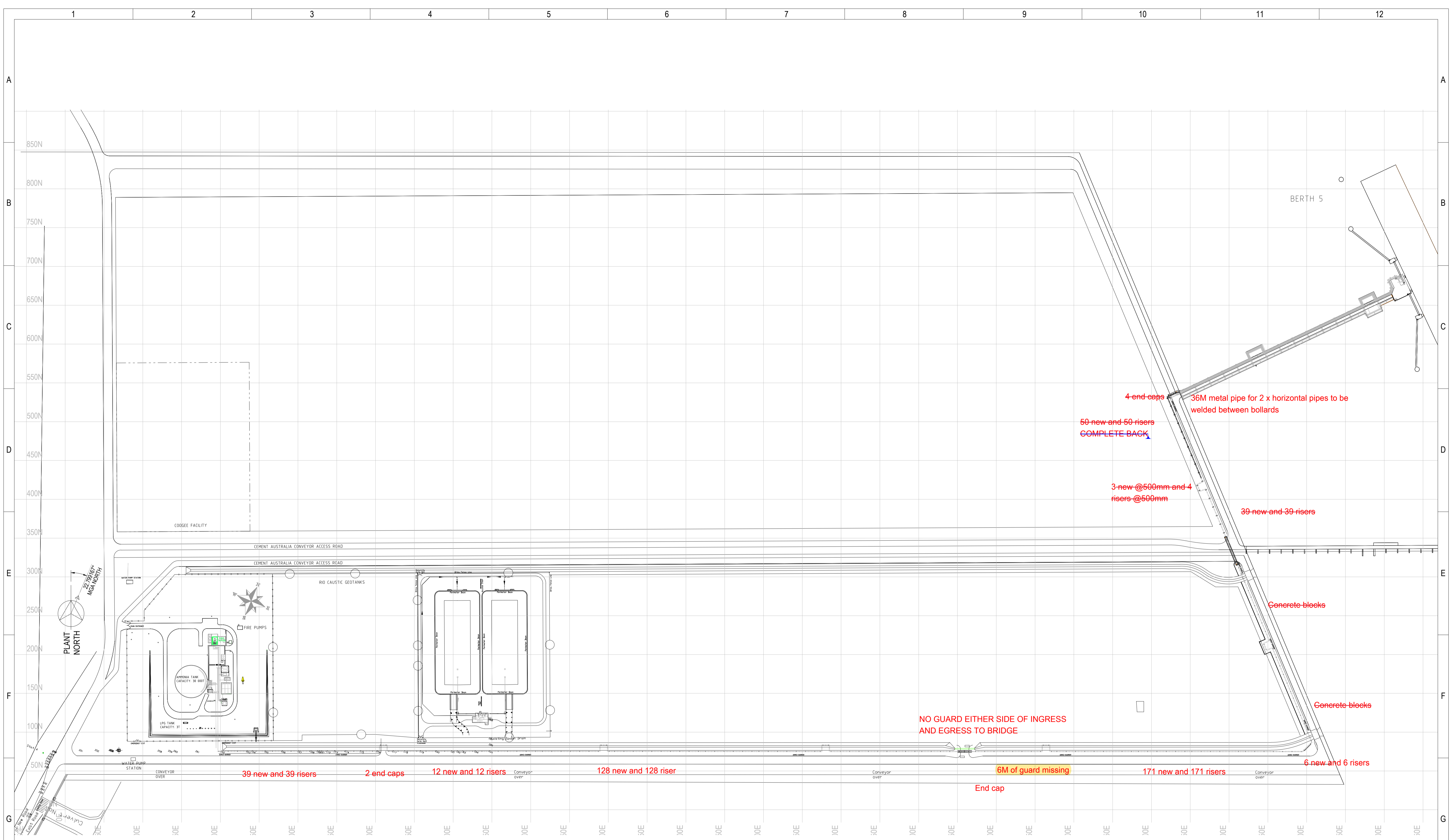
13. Gladstone Ports Corporation Environment Hotline (07) 4976 1617 is to be notified of the occurrence of any:
- a. release / spill of contaminants (e.g. fuels / chemicals / sewerage) greater than 250L to land;
  - b. release / spill of contaminants (e.g. fuels / chemicals / sewerage) of any amount to water;
  - c. any environmental complaints received by the holder of this approval; and
  - d. non-compliance with conditions of this approval or any other environmental approval obtained in relation to the development.
14. Environmental incident notification requirements must be included in any Environmental Management Plan for the development.

## ADVICE NOTES

- A. This approval does not include approval for excavating or filling. All other relevant approvals must be obtained before commencement of the development or operation of the development, including for any excavating or filling, Building works or Plumbing and drainage works.
- B. The *Environmental Protection Act* 1994 states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks, construction, and operational phases of this development, are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm.
- C. Where the Applicant is required to submit further documentation to the Assessment Manager, this is to be directed to the Planning section at [planning@gpcl.com.au](mailto:planning@gpcl.com.au), including reference to the allocated development application number.
- D. Where a construction compound, laydown area or acid sulphate soil treatment site is required, the proponent or their contractor is required to apply for and obtain a Consent to Enter from GPC's Property Specialist via 07 4976 1334 or [property@gpcl.com.au](mailto:property@gpcl.com.au) prior to works commencing.

## Attachment 2 Approved Plans and Specifications

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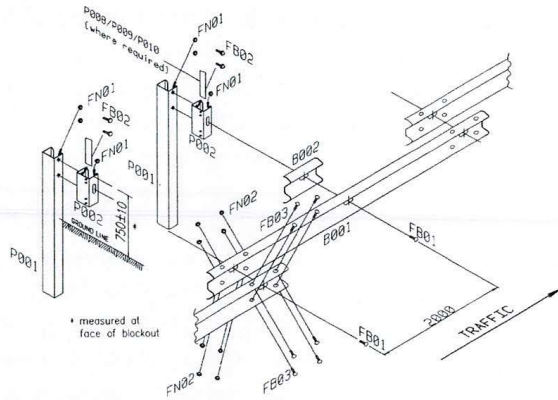
DRAWN E.CAMPBELL	DATE 09/08/2018	WORKS YARWUN		YARWUN SITE REID RD. GLADSTONE QLD A.C.N. 004 117 828
CHECKED	DATE	PLANT FLND		<b>FISHERMANS LANDING OVERALL SITEPLAN</b>
INITIATOR	DATE	SECTION CIVIL		
ENGINEER	DATE	MOD/PROJECT No.		
AUTHORISED	DATE	RPEQ #		
DRAWING STATUS			SHT SIZE A1	DRAWING NUMBER 5370-11-Y0018
			SHEET # 001	REVISION DRAWING

No	REVISION DETAILS	MOD/PROJ #	DRN	CHKD	INITIAT	ENG	AUTH	RPEQ#	DATE	REFERENCE DRAWINGS	DRG No.

THIS DRAWING IS A PRIVATE AND CONFIDENTIAL COMMUNICATION AND THE PROPERTY OF ORICA ENGINEERING LTD BEING RETURNABLE UPON REQUEST. IT MUST NOT BE COPIED OR LOANED WITHOUT THE CONSENT OF THE COMPANY.  
 ALL DIMENSIONS IN MILLIMETRES UNO. DRAWN TO AS 1100. DO NOT SCALE. IF IN DOUBT, ASK



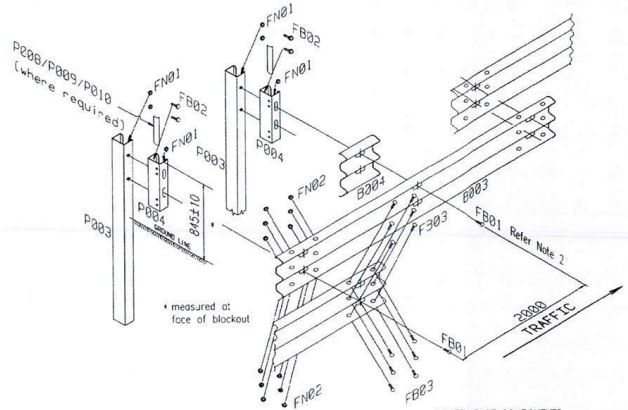




SCHEDULE OF COMPONENTS

Item No - Ref Drawing	Description	Qty
P001 - 1477	1850 Steel Post for W Beam	2
P002 - 1477	360 Blockout Piece for W Beam	2
B001 - 1480	4000 W Beam Rail	1
B002 - 1480	300 W Beam Stiffening Piece	1
FB01 - 1479	M16x50 Mushroom Head Bolt - Post	2
FB02 - 1479	M16x30 Hexagon Bolt - Post	4
FB03 - 1479	M16x32 Mushroom Head Bolt - Splice	8
FN01 - 1479	M16 Nut	6
FN02 - 1479	M16 Oversized Nut (18 deep)	8

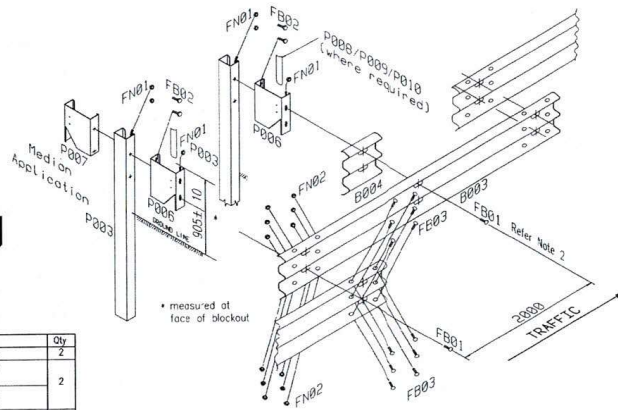
W BEAM ASSEMBLY



STANDARD THRIE BEAM ASSEMBLY

SCHEDULE OF COMPONENTS

Item No - Ref Drawing	Description	Qty
P003 - 1477	2150 Steel Post for Thrie Beam	2
P004 - 1477	350 Blockout Piece for Thrie Beam	2
B003 - 1481	4000 Thrie Beam Rail	1
B004 - 1481	300 Thrie Beam Stiffening Piece	1
FB01 - 1479	M16x50 Mushroom Head Bolt - Post	2
FB02 - 1479	M16x30 Hexagon Bolt - Post	4
FB03 - 1479	M16x32 Mushroom Head Bolt - Splice	12
FN01 - 1479	M16 Nut	6
FN02 - 1479	M16 Oversized Nut (18 deep)	12



MODIFIED THRIE BEAM ASSEMBLY

Dimension from Ground Line to top of Blockout is 905mm as against 845mm for Standard Blockout

SCHEDULE OF COMPONENTS

Item No - Ref Drawing	Description	Qty
P003 - 1477	2150 Steel Post for Thrie Beam	2
P006 - 1477	430 Notched Blockout Piece for Thrie Beam (Verge Application) OR	2
P007 - 1477	430 Notched Blockout Piece for Thrie Beam (Median Application)	1
B003 - 1481	4000 Thrie Beam Rail	1
B004 - 1481	300 Thrie Beam Stiffening Piece	1
FB01 - 1479	M16x50 Mushroom Head Bolt - Post	2
FB02 - 1479	M16x30 Hexagon Bolt - Post	4
FB03 - 1479	M16x32 Mushroom Head Bolt - Splice	12
FN01 - 1479	M16 Nut	6
FN02 - 1479	M16 Oversized Nut (18 deep)	12

NOTES:

- RAIL LAP, POST AND BLOCKOUT orientation in relation to traffic direction as shown is essential.
- BOLTS FB01 to be alternated between top and bottom holes to prevent thrie beam rail twisting.
- ALL DIMENSIONS are shown in millimetres unless otherwise shown.

ASSOCIATED DOCUMENTS:

Department of Main Roads Manual of Standard Drawings Roads  
Department of Main Roads Manual of Standard Specifications Roads

REFERENCED DOCUMENTS:

Standard Specifications:  
Road Furniture  
Australian Standards:  
AS/NZS 3845 Road Safety Barrier Systems

This drawing shall not be used on new projects or installations within the TMR network except when designing a connection to concrete barriers.

Department of Transport and Main Roads			
STEEL BEAM GUARDRAIL			
W BEAM AND THRIE BEAM ASSEMBLIES		Standard Drawing No <b>1482</b> Date: 3/2021	



**APPROVED**

Name: Erin Clark

Date: 3:40pm 21/02/2022