

19 August 2022

Michael Whelan
Ausino Projects Pty Ltd
PO Box 313, Gladstone D.C
GLADSTONE QLD 4680

Dear Michael,

DECISION NOTICE – APPROVAL WITH CONDITIONS – DA2022/14/01

(GIVEN UNDER GPC LAND USE PLAN 2012V2)

1. Application Details

This development application was **properly made** to the Gladstone Ports Corporation Limited on **14 July 2022**

Application Number:	DA2022/14/01
Applicant Name:	Ausino Projects Pty Ltd
Applicant Contact Details:	Michael Whelan Ausino Projects Pty Ltd PO Box 313, Gladstone D.C GLADSTONE QLD 4680 Email: mwhelan@ausinoprojects.com
Approval Sought (Land Use Plan):	1. Port application for road signage installation and associated earthworks
Details of Proposed Development:	Installation of road signs to direct, namely the emergency services, to key infrastructure at the Marina complex in Gladstone
Location Street Address:	Bryan Jordan Drive and Alf O'Rourke Drive, Callemondah, QLD 4680
Location Real Property Description:	Lot 210SP120888
Land Owner:	Gladstone Ports Corporation Limited
Land Use Plan Precincts:	Strategic Port Land (Marine Industry Precinct) Priority port's master planned area (Marine services and recreation precinct and Marine Services sub-Precinct)

2. Details Of Proposed Development

Port application for road signage installation and associated earthworks, to direct traffic, namely the emergency services, to key infrastructure at the Marina complex in Gladstone

3. Details Of Decision

This development application was **decided** on **17 August 2022**.

This development application is **approved in full with conditions**. These conditions are set out in Attachment 1 and are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

4. Details Of Approval

This development approval is a **Development Permit** given for:

- (a) Port Application for undertaking work in, on, over or under premises that materially affects the premises or their use including excavating or filling (*GPC Land Use Plan 2012v2*).

5. Conditions

This development approval is subject to the conditions in Attachment 1 - Part 1.

6. Further Development Permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

- (a) Any relevant Building works.

7. Properly made submissions

Not applicable – No part of the application required public notification.

8. Approved Plans and Specifications

Copies of the following plans, specifications and/or drawings are approved and enclosed in Attachment 2:

Drawing/report title	Prepared by	Date	Reference no.	Version	Approval subject to the following changes
Aspect of development: Port Application					

Sign Location plan	Motus Consulting	08.06.22	MCQ1071 Dwg C300	03	-
Sign Content	Artcraft	As Amended 18/08/2022	DA2022/14/01 - Plan 1	Rev. 3	-
Sign Content	Artcraft	As Amended 18/08/2022	DA2022/14/01 - Plan 2	Rev. 3	-

12. Currency Period for the Approval

This development approval will lapse at the end of the periods set out below:

- (a) For Port Application this approval lapses 6 years after this approval decision date.

13. Rights of Appeal

No legislated appeal rights are afforded with this decision notice as the application was not made under the provisions of the *Planning Act 2016*.

For further information please contact the undersigned on 07 4976 1287 or via email planning@gpcl.com.au.

Yours sincerely,



Erin Clark
Principal Planner

Enc. Attachment 1: Conditions of Approval
Part 1 – Conditions imposed by the assessment manager

Attachment 2: Approved plans and specifications

Attachment 1 Conditions of Approval

PART 1: ASSESSMENT MANAGER CONDITIONS

In general the development proposal is in compliance with the requirements of Gladstone Ports Corporation Limited (GPC). This development approval is subject to each the following conditions which are stated by GPC, the Assessment Manager.

Part 1a: Approval sought under GPC Land Use Plan 2012v2 – Port Application

GENERAL

1. Development must be carried out generally in accordance with the Approved plans, except where modified by conditions of this permit.
2. Unless otherwise stated, all conditions must be complied with and completed prior to the commencement of the development.
3. Where additional “approval” is required under these conditions by the Assessment Manager for drawings or documentation the proponent must submit for review, amend to the satisfaction of, and obtain written approval from the Assessment Manager.

Furthermore, the Assessment Manager will require no less than 10 business days, unless otherwise conditioned by the Assessment Manager, to initially assess the drawings or documentation provided prior to the commencement of the relevant development or works.

4. The proponent must at its cost and expense, keep and maintain the development footprint (until works are complete), including existing services, in a state that is satisfactory to the Assessment Manager.

ENGINEERING & PLANNING

General

5. Upon completion of the works, the proponent must supply the Assessment Manager with RPEQ certified “As Constructed” plans in both hard copy (2 of) and electronic (CAD format) which illustrate all infrastructure and services installed on, under or over Port land associated with the activity.
6. Upon completion of the works, the proponent must certify that the development is constructed as per design and that the development has been constructed generally in accordance with the Approved plans.
7. Where any excavation is being undertaken, the proponent is required to apply for and obtain from the Assessment Manager a Permit to Dig/Excavate prior to commencing works by contacting, Port Infrastructure Asset Manager on (07) 4976 1333. All reasonable measures must be taken to identify and protect existing services recorded or otherwise, and where necessary the proponent will submit a plan to the Assessment Manager for approval to adjust any existing services found during this excavation that was not originally shown on the proposed plans.
8. All road signage installed must be compliant with AS1742.15 MUTCD Part 15: Direction Signs, Information Signs & Route Numbering, unless otherwise approved by the Assessment Manager.
9. Prior to works commencing, an Registered Professional Engineer of QLD (RPEQ) certified design plan detailing the location and sign design/details must be submitted to GPC for approval.

Works adjacent roadway

10. The works must be undertaken in accordance with the requirements of the latest edition of the Austroads Guide To Temporary Traffic Management (AGTTM) and Transport & Main Road Qld Guide To Temporary Traffic Management (QGTMM).

11. Prior to works commencing on site, a final Traffic Management Plan (TMP) specific to the construction works being undertaken must be submitted to the Assessment Manager (GPC) for approval. The TMP must be designed in accordance with AGTTM & QGTTM and approved prior to commencing any onsite activities within the road corridor.
12. All activities associated with construction/ installation must be carried out in accordance with the approved TMP.

Infrastructure

13. The applicant must notify the Assessment Manager of damage caused to any port or port user infrastructure or services including, but not limited to, security related devices, buildings, fences, lighting etc., roads, mains, walkways and underground services or infrastructure, as a result of the approved use or during construction. The proponent must undertake necessary repairs at their expense and in consultation with and to the satisfaction of, the Assessment Manager and the Gladstone Regional Council as applicable.

Lighting

14. Prior to the commencement of the use, design and install all external lighting in accordance with AS4282 – *Control of the obtrusive effects of outdoor lighting* so as not to cause nuisance to residents, the airport, navigational aids or obstruct or distract pedestrian or vehicular traffic.
15. Any site lighting used during construction, or installed permanently, should not negatively impact on the visibility of Navigational Aids utilised for the primary shipping channels nor illuminate a landward glare beyond the site boundary. Lighting must be reviewed during construction and use of the development with respect to navigation. Where an issue is identified or a validated complaint received, the proponent must immediately rectify to the satisfaction of the Assessment Manager.

Construction Management

16. The hours for the construction of the facility (i.e. operation of any machinery and/or other equipment) shall be restricted to between 6.30am and 6:30pm Monday to Friday and 6.30am to 12.30pm Saturday. No works shall be undertaken on Sunday or on public holidays. Any variations to these times will be subject to the written approval of GPC.
17. At all times, maintain and operate an adequate waste disposal service, including the maintenance of refuse bins and associated storage areas and appropriate storage and disposal of regulated waste e.g. materials containing asbestos, so as not to cause an environmental nuisance or create a safety hazard to the public.
18. In the event a laydown area is required or works are required to be carried out outside the immediate area shown on the approved plans, or were deemed necessary by the Assessment Manager (GPC), the proponent or their contractor must obtain a Consent to Enter from GPC's Property Advisor prior to works commencing.
19. No mud, dirt or other debris is to be tracked onto public roads during construction and operation of development.
20. In the event acid sulphate soils are disturbed/excavated and require treatment on site, a site specific Acid sulphate management plan must be submitted to the Assessment Manager for approval prior to such works commencing. Once the management plan is approved, the works must be carried out in accordance with this plan.

21. Upon completion of the construction works, the proponent must reinstate the property to the same condition prior to the works being undertaken unless agreed to in writing by the Assessment Manager (GPC).
22. Any construction fill material used must be uncontaminated and reused from onsite or sourced from a licensed quarry.

Waste management

23. Any spillage of sediment, wastes, fuels, chemicals, contaminants, or other materials at the storage site, on port roads or on the wharf must be cleaned immediately. Such spillage must not be cleaned up by hosing, sweeping or otherwise releasing such materials to any stormwater drainage system, roadside gutters or waters.

ENVIRONMENT

Operational Environmental Management Plan

24. Prior to construction works commencing on site, an Environmental Management Plan (EMP) specific to these works, is to be submitted to the Assessment Manager for approval.

The installation must be undertaken in accordance with the approved EMP that ensures:

- a. environmental risks are identified, managed and continually assessed in relation to the installation activity ;
- b. that staff are trained and aware of their obligations under the EMP, including a copy of the management plan and development approval available on site at all times; and
- c. any amendments to the EMP are to be submitted to the Assessment Manager for review and approval.

Once approved by the Assessment Manager, the installation activity must be carried out in accordance with this EMP.

Note: the Assessment Manager has a guideline for the development of environmental management plans that may be utilised in meeting the requirements of this condition.

Incident notification

25. At all times, Gladstone Ports Corporation Environment Hotline (07) 4976 1617 is to be notified of the occurrence of any:
 - a. release / spill of contaminants (e.g. fuels / chemicals / sewerage) greater than 20L to land;
 - b. release / spill of contaminants (e.g. fuels / chemicals / sewerage) of any amount to water;
 - c. any environmental complaints received by the holder of this approval; and
 - d. non-compliance with conditions of this approval or any other environmental approval obtained in relation to the development.

Note: 'land' is to be defined as where not within a containment system.

26. Environmental incident notification must be included in any Environmental Management Plans for the premises/development.

Part 1b: ADVICE NOTES

- A. All other relevant approvals must be obtained before commencement of the development or operation of the development, including any Building works or Plumbing and drainage works.
- B. Where a Permit to Dig/Excavate prior to commencing excavation or digging for the development, the proponent or their contractor is required to apply for and obtain the permit by contacting the Port Infrastructure Asset Manager on 4976 1332 or bartono@gpcl.com.au.
- C. Where a construction compound, laydown area, or works outside of a tenure area are required, the proponent or their contractor is required to apply for and obtain a Consent to Enter from the Assessment Manager's Property Specialist via 07 4976 1334 or property@gpcl.com.au prior to works commencing.
- D. The *Environmental Protection Act* 1994 states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks, construction, and operational phases of this development, are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm.
- E. This decision notice does not represent an approval to commence Building work.
- F. Any connections to water and sewerage infrastructure will require Plumbing and Drainage works approvals from a suitably qualified person.
- G. Any future signage (advertising devices) is subject to assessment against the Land use plan. The signage must be located within the lease area and may require a development application to be lodged.
- H. Where the Applicant is required to submit further documentation to the Assessment Manager, this is to be directed to the Planning section at planning@gpcl.com.au, including reference to the allocated development application number.
- I. Where communication with GPC Port Security is required e.g. for schedules or service requests, direct communication to the following: pfso@gpcl.com.au, contracted_security@gpcl.com.au and gpcsupervisor@diamondprotection.com.

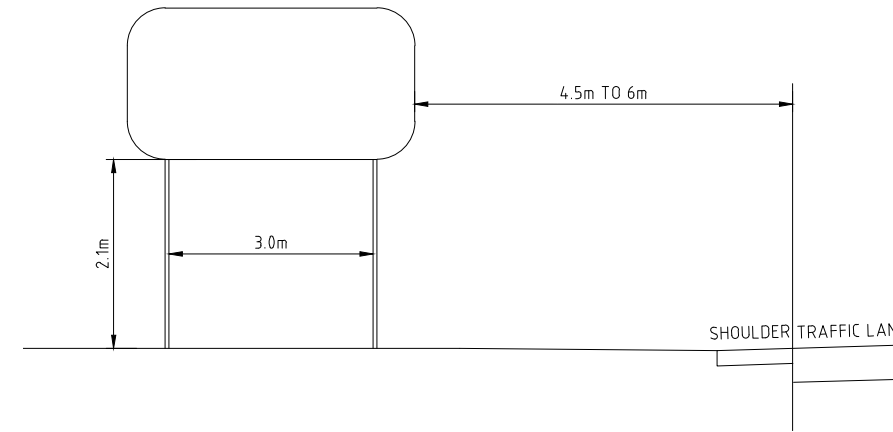
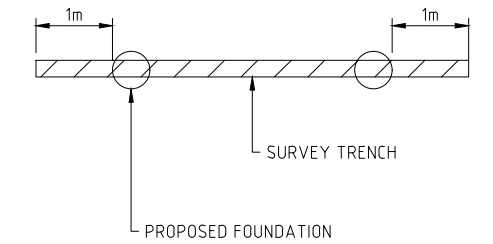
Attachment 2 Approved Plans and Specifications



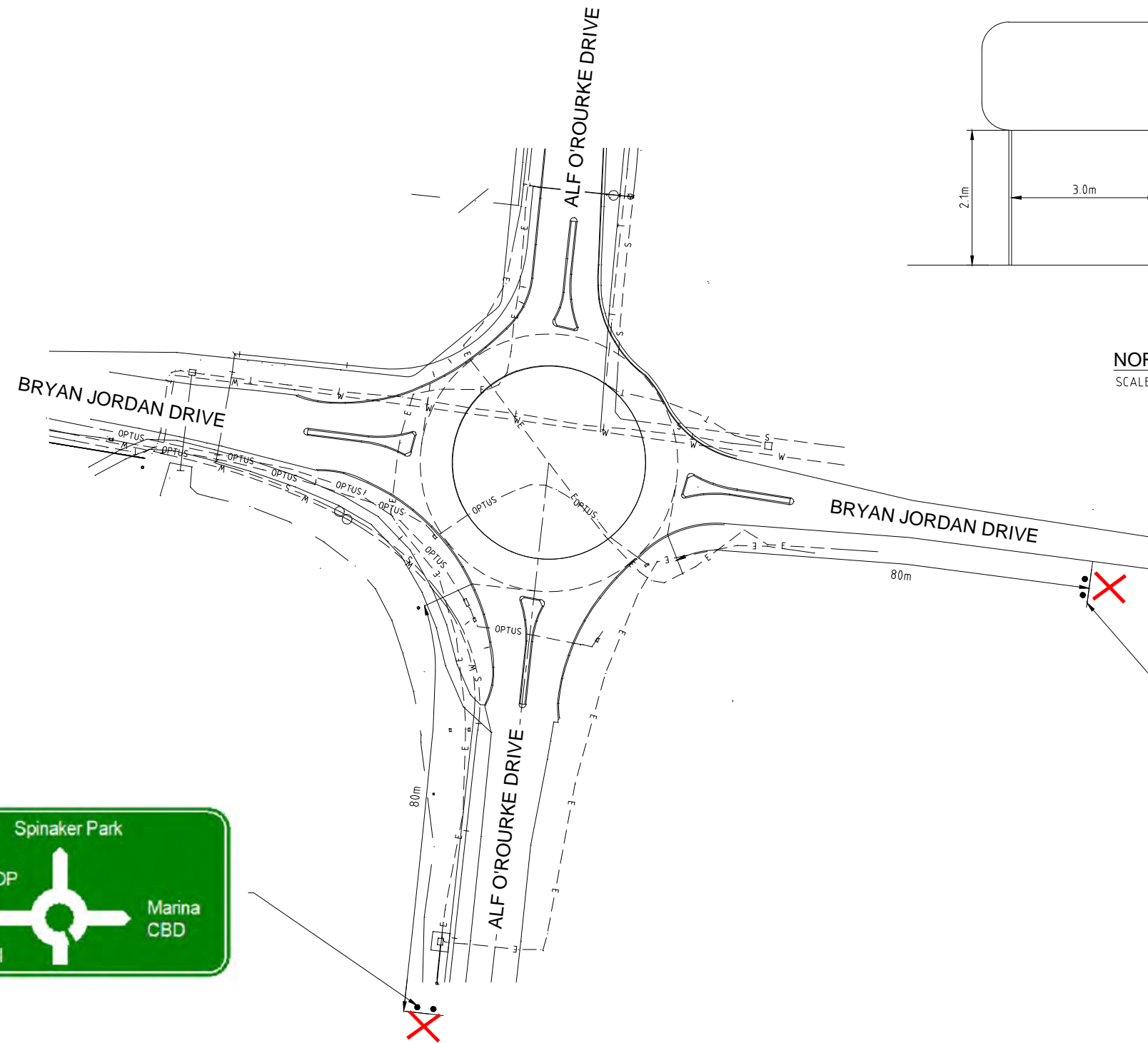
LEGEND

- S — — — — EXISTING SEWERAGE RETICULATION
- W — — — — EXISTING WATER RETICULATION
- T — — — — EXISTING TELSTRA
- E — — — — EXISTING ELECTRICAL
- OPTUS — — — — EXISTING OPTUS

X PRIOR TO DRILLING FOUNDATIONS, CONTRACTOR IS TO PERFORM A POTHOLE SURVEY USING VACUUM EXCAVATION TO VERIFY EXISTING SERVICES IN THE VICINITY OF THE PROPOSED FOUNDATIONS.



NORMAL TWO POST SUPPORT
SCALE 1:50






APPROVED

Name: Erin Clark
Date: 4:00pm 19/08/2022

FOR APPROVAL			
REV	DESCRIPTION	DRAWN	DATE
03	GENERAL AMENDMENT	YL	08.06.22
02	GENERAL AMENDMENT	YL	14.04.22
01	ORIGINAL ISSUE	YL	07.04.22

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SCALE (AT ORIGINAL SHEET SIZE)




DO NOT SCALE DRAWINGS

A1

CLIENT

AUSINO PROJECTS



PROJECT

BRYAN JORDAN DRIVE & ALF O'ROURKE DRIVE ROUNDABOUT, GLADSTONE, 4680

MOTUS CONSULTING (QLD) PTY LTD

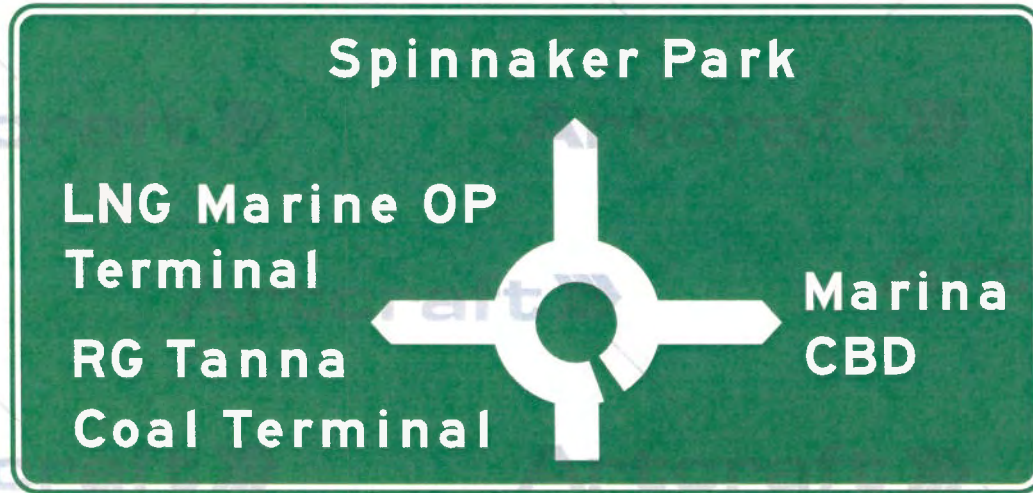
SUITE 10, LEVEL 9, TOWER 3
SOUTHPORT CENTRAL
9 LAWSON STREET, SOUTHPORT, QLD. 4215
PH: 07 5528 1093
ABN: 58 619 620 067

SIGN LOCATION PLAN				APPROVED		
TASK	BY	INITIAL	DATE	PROJECT NUMBER	DRAWING NUMBER	REVISION
REVIEW	TG		04.04.22	MCQ1071	C300	03
DESIGN	YL		04.04.22			
DRAWN	YL		04.04.22			

Ref 1

3800mm

1800mm



Ref 2

3800mm

2000mm



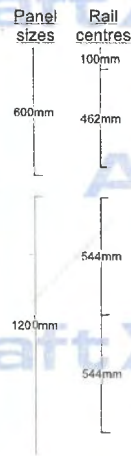
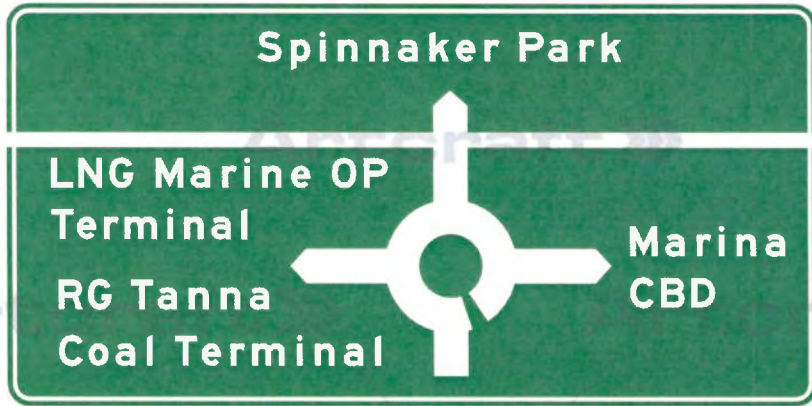

APPROVED
 Name: Erin Clark
 Date: 4:00pm 19/08/2022

Client:	Ausino
S/Quote #:	Q422040149
Date:	23 / 05 / 22
Revision:	3
Designer:	DR
Sales Rep:	SR
Asset #:	X
Ref #:	1 - X

Title: Sign Content
Ref: DA2022/14/01 - Plan 1
As amended 18/08/2022

Artcraft Review:	Y	N	/	____
Client Approval:	Y	N	/	____

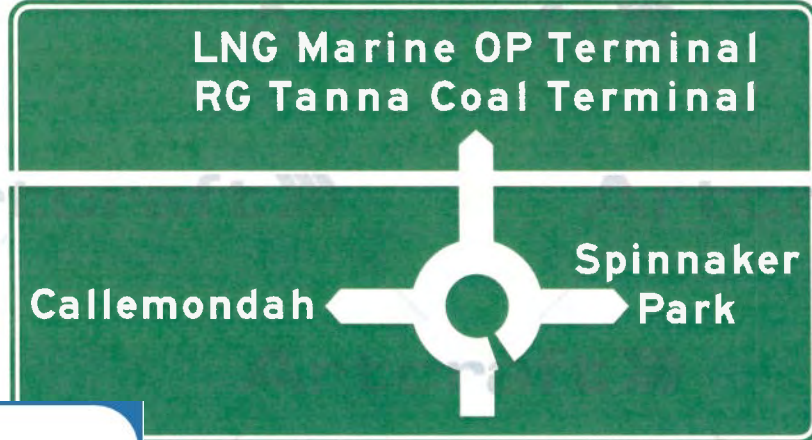
Ref 1



Ref 1



Ref 2



Ref 2



Date: 4:00pm 19/08/2022

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APPROVED

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Asset #:	X
Ref #:	1 - X

Title: Sign Content
Ref: DA2022/14/01 - Plan 2
As amended 18/08/2022

Artcraft Review:	Y	N	/	date	/	initial
Client Approval:	Y	N	/	date	/	initial