

25 November 2022

Okara Pty Ltd  
C/- Empire Engineering Pty Ltd  
Mohammed Chehade  
PO Box 2052  
BUNDABERG QLD 4670

Dear Mr Chehade,

## DECISION NOTICE – APPROVAL WITH CONDITIONS – DA2022/16/01

(GIVEN UNDER SECTION 63 *PLANNING ACT 2016* AND THE PROVISIONS OF PORT OF BUNDABERG LAND USE PLAN 2012V2/2020)

### 1. Application Details

This development application was **properly made** to the Gladstone Ports Corporation Limited on **9 August 2022**.

<b>Application Number:</b>	DA2022/16/01
<b>Applicant Name:</b>	Okara Pty Ltd
<b>Applicant Contact Details:</b>	C/- Empire Engineering Pty Ltd Mohammed Chehade PO Box 2052 BUNDABERG QLD 4670 Email: <a href="mailto:admin.cc@empireengineering.com.au">admin.cc@empireengineering.com.au</a>
<b>Approvals Sought (Land Use Plan):</b>	Operational works involving engineering work or landscaping work associated with a material change of use – civil works associated with bulk storage facility upgrade.
<b>Details of Proposed Development:</b>	Operational work involving engineering (civil work) associated with a Material Change of Use for Bulk Storage Facility upgrade.
<b>Location Street Address:</b>	46 Wharf Drive (63 Buss Street) Burnett Heads
<b>Location Real Property Description:</b>	Lot 1 SP308111
<b>Land Owner:</b>	Gladstone Ports Corporation Limited
<b>Land Use Plan Precinct:</b>	Strategic Port Land – Port Industry Precinct

## 2. Details of Proposed Development

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Operational work involving engineering work (civil work) associated with a Material Change of Use for Bulk Storage Facility upgrade.

## 3. Details of Decision

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This development application was **decided** on **25 November 2022**.

This development application is **approved in full with conditions**. These conditions are set out in Attachment 1 and are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

## 4. Details of Approval

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This development approval is a **Development Permit** given for

- (a) Operational work involving engineering work or landscaping work associated with a Material Change of Use– *Planning Regulation 2017* – Schedule 10, part 13, division 5, subdivision 2, table 1 – code assessable development on strategic port land and Schedule 8, table 3 – development completely on a single port authority’s strategic port land.

## 5. Conditions

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This development approval is subject to the conditions in Attachment 1 - Part 1

## 6. Further Development Permits

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Please be advised that the following development permits are required to be obtained before the development can be carried out:

- (a) Development permit for Operational Works for connection into the reticulated water and sewer infrastructure (where not categorised ‘Accepted, subject to requirements’).

## 7. Approved Plans and Specifications

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Copies of the following plans, specifications and/or drawings are approved and enclosed in Attachment 2:

Drawing/report title	Prepared by	Date	Reference no.	Version
Title Sheet, Locality Plan and Standard Notes	Empire Engineering	08/08/2022	CC-5966 C01	A
Construction Management Notes	Empire Engineering	08/08/2022	CC-5966 C02	A
Sediment and Erosion Control Notes and Details	Empire Engineering	08/08/2022	CC-5966 C03	A

Drawing/report title	Prepared by	Date	Reference no.	Version
Sediment and Erosion Control Layout Plan	Empire Engineering	08/08/2022	CC-5966 C04	A
Bulk Earthworks Plan Sheet 1 of 2	Empire Engineering	08/08/2022	CC-5966 C30	A
Bulk Earthworks Plan Sheet 2 of 2	Empire Engineering	08/08/2022	CC-5966 C031	A
Detail Layout Plan Sheet 1 of 2	Empire Engineering	08/08/2022	CC-5966 C40	A
Detail Layout Plan Sheet 2 of 2	Empire Engineering	08/08/2022	CC-5966 C41	A
Detail Sections	Empire Engineering	08/08/2022	CC-5966 C42	A
Bioretention Basin Detail Plan	Empire Engineering	08/08/2022	CC-5966 C50	A
Bioretention Basin Sections and Details	Empire Engineering	08/08/2022	CC-5966 C51	A
Standard Details Plan Sheet 1 of 3	Empire Engineering	08/08/2022	CC-5966 C90	A
Standard Details Plan Sheet 2 of 3	Empire Engineering	08/08/2022	CC-5966 C91	A
Standard Details Plan Sheet 3 of 3	Empire Engineering	08/08/2022	CC-5966 C92	A

## 12. Currency Period for the Approval

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Pursuant to section 85 of the Planning Act, this development approval will lapse at the end of the periods set out below:

- (a) For approvals other than a Material Change of Use or Reconfiguring a Lot, the approval lapses if the development does not substantially start within 2 years.

## 13. Rights of Appeal

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The rights of applicants to appeal to a tribunal or the Planning and Environment Court against decisions about a development application are set out in chapter 6, part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).

**Attachment 3** is an extract from the *Planning Act 2016* that sets down the applicant's appeal rights and the appeal rights of a submitter.

For further information please contact Trudi Smith, Planning Specialist, on 07 4976 1314 or the undersigned on 07 4976 1287 or via email [planning@gpcl.com.au](mailto:planning@gpcl.com.au) .

Yours sincerely,



**Erin Clark**  
**Principal Planner**

Cc: Bundaberg Regional Council

Enc. Attachment 1: Conditions of Approval  
Part 1 – Conditions imposed by the assessment manager

Attachment 2: Approved plans and specifications

Attachment 3: Extract of appeal provisions

## Attachment 1 Conditions of Approval

### PART 1: ASSESSMENT MANAGER CONDITIONS

In general the development proposal is in compliance with the requirements of Gladstone Ports Corporation Limited (GPC). This development approval is subject to each the following conditions which are stated by GPC, the Assessment Manager.

**Part 1a: Approval sought under Planning Act 2016 – Operational works involving engineering work or landscaping work associated with a Material Change of Use.**

CONDITIONS
<b>GENERAL</b>
1. Development must be carried out generally in accordance with the Approved plans, except where modified by conditions of this permit.
2. Unless otherwise stated, all conditions must be complied with and completed prior to the commencement of the development.
3. Where additional “approval” is required under these conditions by the Assessment Manager (Gladstone Ports Corporation Limited) for drawings or documentation the proponent must submit for review, amend to the satisfaction of, and obtain written approval from the Assessment Manager.  Furthermore, the Assessment Manager will require no less than 20 business days, unless otherwise conditioned by the Assessment Manager, to initially assess the drawings or documentation provided prior to the commencement of the works. Should further information be required for assessment, the Assessment Manager will require a further 5 business days to complete the information request assessment and response.
4. Works are not to commence and are not deemed approved until any additional drawings or documents have been approved in writing by the Assessment Manager if required.
5. The proponent must at its cost and expense, keep and maintain the development footprint, including existing services, in a state that is satisfactory to the Assessment Manager.
<b>ENGINEERING AND PLANNING</b>
6. Upon completion of the works, the proponent must supply the Assessment Manager with RPEQ certified “As Constructed” plans in both hard copy (2 of) and electronic (CAD format) which illustrate all infrastructure and services installed on, under or over Port land associated with the activity.
7. The proponent must also certify that the works is constructed as per design and that the works have been constructed generally in accordance with the approved plans upon completion of the works.
8. The hours for the construction of the facility (i.e. operation of any machinery and/or other equipment) shall be restricted to between 6:30am and 6:30pm Monday to Friday and 6:30am to 12:30pm Saturday. No works shall be undertaken on Sunday or on public holidays. Any variations to these times will be subject to the written approval of the Assessment Manager.
9. Any site lighting used during construction / development should not negatively impact on the visibility of Navigational Aids utilised for the primary shipping channels nor illuminate a landward glare beyond the site boundary. Lighting must be reviewed during construction and use of the

development with respect to navigation. Where an issue is identified or a validated complaint received, the proponent must immediately rectify to the satisfaction of the Assessment Manager
<b>STORMWATER AND DRAINAGE</b>
10. A stormwater drainage system connecting to a lawful point of discharge must be installed as indicated in the approved site plan. Stormwater drainage must be designed and constructed in accordance with the requirements of the Queensland Urban Drainage Manual and GPC. Details of this system must be approved in writing prior to commencement of works.
11. The design of the site drainage system, fill, car parking and access must be undertaken so that flows from adjacent properties will not be impeded by the development.
12. All construction and operational activities must be managed in accordance with the approved Stormwater Management Plan and any stormwater management strategies in the approved Construction Environmental Management Plan (CEMP).
13. Activities on site are not to generate sediment, hydrocarbon or other contamination in surface runoff and stormwater being discharged to Buss Street drainage.
<b>INFRASTRUCTURE</b>
14. The applicant must notify the Assessment Manager (Gladstone Ports Corporation) of damage caused to any port or port user infrastructure or services including, but not limited to, security related devices, buildings, fences, lighting etc., roads, walkways and underground services or infrastructure, as a result of the approved use or during construction. The proponent must undertake necessary repairs at their expense and to the satisfaction of the Assessment Manager.
15. An adequate connection to Bundaberg Regional Council's water and sewer infrastructure must be completed within 6 months of the date of this decision notice. <i>Note: this may be undertaken in conjunction within Stage 2.</i>
<b>LANDSCAPING</b>
16. The proponent must maintain the property frontage in a clean and tidy manner, and mow any grassed areas regularly.
17. All landscaping must be carried out in accordance with an approved Landscaping plan.
<b>WASTE MANAGEMENT</b>
18. At all times, maintain and operate an adequate waste disposal service, including the maintenance of refuse bins and associated storage areas so as not to cause an environmental nuisance.
19. Any spillage of sediment, wastes, fuels, chemicals, contaminants, or other materials at the storage site, on port roads or on the wharf must be cleaned immediately. Such spillage must not be cleaned up by hosing, sweeping or otherwise releasing such materials to any stormwater drainage system, roadside gutters or waters.
<b>CONSTRUCTION MANAGEMENT</b>
20. The hours for the works (i.e. operation of any machinery and/or other equipment) shall be restricted to between 6:30 am and 6:30 pm Monday to Friday and 7:30 am to 12:30 pm Saturday. No works shall be undertaken on Saturday, Sunday or on public holidays. Any variations to these times will be subject to the written approval of the Assessment Manager.

<p>21. Upon completion of the construction works, the proponent must reinstate the property to the same condition prior to the works being undertaken unless agreed to in writing by the Assessment Manager.</p>
<p>22. The proponent is required to apply for and obtain from GPC a Permit to Dig/Excavate prior to commencing works by contacting, GPC's Port Infrastructure Asset Manager, including for any landscaping, services or infrastructure outside of the lease area.</p>
<p>23. In the event works are required to be carried out outside the lease area, the proponent or their contractor must obtain a Consent to Enter from GPC's Property Advisor prior to works commencing.</p>
<p>24. Prior to construction works commencing on site, a Construction Traffic Management Plan (CTMP) and Traffic Guidance Scheme (TGS), designed and implemented in accordance with the current edition of the Manual of Uniform Traffic Control Devices, Part 3 – works on roads, and specific to the construction works being undertaken must be submitted to the Assessment manager for approval.</p> <p>The CTMP must be amended and approved by the Assessment Manager as necessary for any proposed or amended construction works</p>
<p>25. Once approved, the works must be carried out in accordance with the CTMP and TGS and the plan and scheme will form part of the approved plans.</p>
<p>26. The construction compound, including offices, laydown areas and employee car parking, is to be contained within the nominated area unless otherwise approved in writing by the Assessment Manager. In the event a construction compound is required on port land outside the project lease area for offices, laydown areas, employee car parking or stockpiling areas etc., the proponent or their contractor must obtain a Consent to Enter from the Assessment Manager's Property Specialist via 07 4976 1334 or <a href="mailto:property@gpcl.com.au">property@gpcl.com.au</a> prior to works commencing.</p>
<p>27. Construction/ works vehicles are not to queue on port network roads.</p>
<p>28. No mud, dirt or other debris is to be tracked onto public roads during construction and operation of development.</p>
<p>29. Construction fill material must be uncontaminated and reused from onsite or sourced from a licensed quarry</p>
<p><b>ACID SULPHATE SOILS</b></p>
<p>30. In the event acid sulphate soils are disturbed/excavated and require treatment on site or any land owned by GPC, a site specific acid sulphate management plan, including treatment locality and volumes and disposal locality, must be submitted to the Assessment Manager for approval prior to such works commencing.</p> <p>Upon approval of the management plan, the works must be carried out in accordance with this plan and the plan will form part of the Approved plans.</p>
<p><b>ENVIRONMENT</b></p>
<p>31. Prior to construction works commencing on site, a Construction Environmental Management Plan (CEMP) specific to these works, is to be submitted to the Assessment Manager (Gladstone Ports Corporation Limited) or approval.</p> <p>The construction must be undertaken in accordance with the approved CEMP that ensures:</p>



- a) environmental risks, including but not limited to, noise, odour, lighting, dust, are identified, managed and continually assessed in relation to the construction activity ;
- b) that staff are trained and aware of their obligations under the CEMP, including a copy of the management plan and development approval available on site at all times;
- c) that reviews of environmental performance are undertaken at least annually; and
- d) any amendments to the CEMP are to be submitted to the Assessment Manager for review and approval.

Once approved by the Assessment Manager, the construction activity must be carried out in accordance with this CEMP.

*Note: the Assessment Manager has a guideline for the development of environmental management plans that may be utilised in meeting the requirements of this condition.*

### **Incident notification**

32. At all times, Gladstone Ports At all times, Gladstone Ports Corporation Environment Hotline (07) 4976 1617 is to be notified of the occurrence of any:

- a) release / spill of contaminants (e.g. fuels / chemicals / sewerage) greater than 250L to land;
- b) release / spill of contaminants (e.g. fuels / chemicals / sewerage) of any amount to water;
- c) any environmental complaints received by the holder of this approval; and
- d) non-compliance with conditions of this approval or any other environmental approval obtained in relation to the approved activity.

### **Air Emissions Management**

33. Dust levels from the use much achieve the airborne contaminants quality objectives for sensitive receiving environments set out in the *Environment Protection (Air) Policy 2019*. In the event of a validated complaint about dust or air emissions, if it is determined by the Assessment Manager that such air emission levels exceed the relevant air quality objective/s, the proponent must at the request of the Assessment Manager prepare an Air Emissions Management Plan which prescribes actions to be taken to reduce air emission levels below the prescribed objectives. The air emissions management plan must address at least, but not be limited to, the following matters:-

- a) identification of component air emission sources and activities at the development which impact on air emission sensitive places;
- b) the control or abatement measures that can be undertaken to reduce unreasonable air emission levels; and
- c) the handling of air emission complaints, community liaison and consultation and the training of staff in air emission management practices.



## ADVICE NOTES – WHEN RELEVANT

- A. All other relevant approvals must be obtained before commencement of the development or operation of the development, including any Building works or Plumbing and drainage works.
- B. In relation to works on tidal structures, the proponent is required to comply with the requirements for excluded tidal works in the Excluded Works (Coastal) Guideline.
- C. Where a Permit to Dig/Excavate prior to commencing excavation or digging for the development, the proponent or their contractor is required to apply for and obtain the permit by contacting the Port Infrastructure Asset Manager on 4976 1332 or [bartono@gpcl.com.au](mailto:bartono@gpcl.com.au).
- D. Where a construction compound or laydown area is required, the proponent or their contractor is required to apply for and obtain a Consent to Enter from the Assessment Manager's Property Specialist via 07 4976 1334 or [property@gpcl.com.au](mailto:property@gpcl.com.au) prior to works commencing.
- E. Where works are to be undertaken outside tenured areas, the proponent or their contractor is required to apply for and obtain a Consent to Enter from GPC's Property Specialist via 07 4976 1334 or [property@gpcl.com.au](mailto:property@gpcl.com.au) prior to works commencing.
- F. The *Environmental Protection Act* 1994 states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks, construction, and operational phases of this development, are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm.
- G. Connections to water and sewerage infrastructure will require Plumbing and Drainage works approvals from a suitably qualified person.
- H. Where the Applicant is required to submit further documentation to the Assessment Manager, this is to be directed to the Planning section at [planning@gpcl.com.au](mailto:planning@gpcl.com.au), including reference to the allocated development application number.
- I. For the purpose of providing street addresses for deliveries and emergency vehicles, the street addresses for the premises are IS 63 Buss Street, Burnett Heads.
- J. Where communication with GPC Port Security is required e.g. for schedules or service requests, direct communication to the following: [pfso@gpcl.com.au](mailto:pfso@gpcl.com.au), [contracted\\_security@gpcl.com.au](mailto:contracted_security@gpcl.com.au) and [gpcsupervisor@diamondprotection.com](mailto:gpcsupervisor@diamondprotection.com).

## Attachment 2 Approved Plans and Specifications

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# PROPOSED BULK STORAGE FACILITY BUSS STREET, BURNETT HEADS For OKARA PTY LTD CIVIL ENGINEERING PLANS

## DRAWING INDEX

C01	TITLE SHEET, LOCALITY PLAN AND STANDARD NOTES
C02	CONSTRUCTION MANAGEMENT NOTES
C03	SEDIMENT AND EROSION CONTROL NOTES AND DETAILS
C04	SEDIMENT AND EROSION CONTROL LAYOUT PLAN
C30	DETAIL LAYOUT PLAN
C40	CROSS SECTIONS
C80	BIORETENTION BASIN DETAIL LAYOUT PLAN
C81	BIORETENTION BASIN SECTIONS
C90-C92	STANDARD DETAILS PLANS

## GENERAL NOTES

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE FOLLOWING ASSOCIATED CONSULTANTS DRAWINGS/DOCUMENTATION:

- INSITE SJC - SURVEY INFORMATION (REFERENCE GC21-027-D1).
- EMPIRE ENGINEERING - CONSTRUCTION MANAGEMENT PLANS.
- GLADSTONE PORT CORPORATION - DA2017/09/03.
- WIDE BAY GEO TECHNICAL SERVICES - SOIL TESTING RESULTS (REFERENCE H15537)

## NOTIFICATION AND INSPECTION PROTOCOLS

EMPIRE ENGINEERING IS RESPONSIBLE FOR LIAISING WITH THE COUNCIL DELEGATE AT THE CRITICAL CONSTRUCTION INSPECTIONS AND THE CONTRACTOR SHALL GIVE SUFFICIENT NOTICE, AS FOLLOWS:

1. PRE-START MEETING (MANDATORY) - MINIMUM 7 WORKING DAYS.
2. KEY CONSTRUCTION ACTIVITY INSPECTIONS (REFER BELOW) - MINIMUM 48 HOURS.
3. ON MAINTENANCE INSPECTION (WHERE SPEC'D BY COUNCIL AT THE PRE-START MEETING) - MINIMUM 5 WORKING DAYS.
4. OFF MAINTENANCE INSPECTION (WHERE SPEC'D BY COUNCIL AT THE PRE-START MEETING) - MINIMUM 5 WORKING DAYS.
5. EMPIRE ENGINEERING IS LIKELY TO CONDUCT RANDOM SITE VISITS AT THEIR DISCRETION AS NECESSARY. - NO NOTICE.

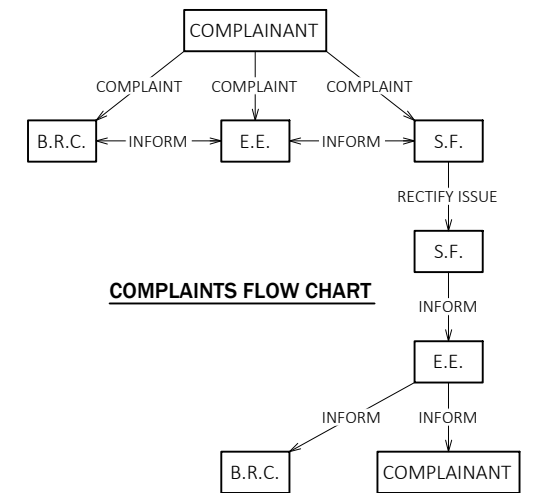
KEY CONSTRUCTION ACTIVITIES TO BE INSPECTED INCLUDE (BUT ARE NOT LIMITED TO) THE FOLLOWING:

1. BULK EARTHWORKS INSPECTION: STRIPPED TOPSOIL VISUAL AND PROOFROLL, SEDIMENT AND EROSION CONTROL MEASURES ARE USED AND MAINTAINED. CONTRACTOR TO SUBMIT CBR AND DENSITY TEST RESULTS COMPLIANT WITH AS3798.
2. SUB-GRADE BOX INSPECTION: VISUAL AND PROOFROLL. CONTRACTOR TO SUBMIT CBR AND DENSITY TEST RESULTS.
3. PRE-SEAL INSPECTION: MEASUREMENT, STRINGLINE, VISUAL AND PROOFROLL. CONTRACTOR TO SUBMIT CBR AND DENSITY TEST RESULTS.
4. CONCRETE PAVEMENT INSPECTIONS: STEEL INSPECTION, MEASUREMENT.
5. STORMWATER OUTLET: COMPLIANCE WITH THE DRAWINGS, PRIOR TO COMMENCING PIPE LAYING UPSTREAM.
6. UNDERGROUND CULVERT/CONDUIT AND PIPES: CHECK BEDDING AND ALIGNMENT PRIOR TO BACKFILL AND COMPACTION OF TRENCHES.

THE CONTRACTOR SHALL GIVE SUFFICIENT NOTICE TO EMPIRE ENGINEERING PRIOR TO COMMENCEMENT AND UPON COMPLETION OF EACH STAGE OF THE RELEVANT WORKS.

## ADDRESSING COMPLAINTS

B.R.C. - BUNDABERG REGIONAL COUNCIL  
E.E. - EMPIRE ENGINEERING 41544894  
S.F. - SITE FOREMAN T.B.A.



## LOCALITY PLAN

NOT TO SCALE


## CONSTRUCTION NOTES

1. CONSTRUCTION START DATE - T.B.A.
2. CONSTRUCTION COMPLETION DATE - T.B.A.
3. HOURS OF OPERATION - 6:30am TO 6:30pm MONDAY TO SATURDAY.
4. DUST CONTROL MEASURES:-
  - 4.1. AREAS OF CLEARING/ EARTHWORKS TO BE LIMITED TO THAT SHOWN ON OPERATIONAL WORKS PLANS.
  - 4.2. PHYSICAL BARRIERS TO BE RETAINED. ie EXISTING VEGETATION/BUFFER ZONES.
  - 4.3. SITE TRAFFIC CONTROL. CONSTRUCTION VEHICLE SPEED LIMITS ON UNSEALED TRACKS TO BE REDUCED TO 10km/h OR FURTHER IF REQ.
  - 4.4. EARTH MOVING EQUIPMENT MANAGEMENT. CONSTRUCTION EQUIPMENT TO BE POSITIONED STRATEGICALLY THROUGHOUT THE SITE TO MINIMIZE DUST POLLUTION IMPACT ON NEIGHBOURING PROPERTIES. WIND DIRECTION AND VELOCITY TO BE MONITORED PERIODICALLY.
  - 4.5. WATER TRUCK TO CYCLE WITHIN DISTURBED AREAS OF THE SITE ON A REGULAR BASIS. WEATHER CONDITIONS TO BE MONITORED AND CYCLES TO BE INCREASED IF REQUIRED.
  - 4.6. VEGETATION TO BE STABILIZED AS SOON AS PRACTICABLE AT THE COMPLETION OF BULK EARTHWORKS. DISTURBED AREAS TO BE SEEDED, EROSION AND SEDIMENT CONTROL MEASURES TO BE CONSTRUCTED.
5. SITE FOREMAN DETAILS - T.B.A.



STATUS

**FOR APPROVAL**

		<b>BUNDABERG</b> 66A Barolin Street, Bundaberg, Qld PO Box 2052 Bundaberg Qld 4670 T: 07 4234 4894 E: admin.cc@empireengineering.com.au	<b>GYMPIE</b> 3/19 Tozer Street, Gympie, Qld The Corporate Centre, 11 Norval Ct. Qld PO Box 102 Mooloolaba Qld 4557 T: 07 5477 6487 E: admin.cc@empireengineering.com.au	<b>SUNSHINE COAST</b> The Corporate Centre, 11 Norval Ct. Qld PO Box 102 Mooloolaba Qld 4557 T: 07 5477 6487 E: admin.cc@empireengineering.com.au	<b>NOTES</b> 1. THIS IS THE PROPERTY OF THE ENGINEER, AND MAY NOT BE USED, COPIED, OR REPRODUCED WHOLLY, OR IN PART WITHOUT THE EXPRESS PERMISSION OF THE ENGINEER. INFRINGEMENT IN ANY WAY MAY RESULT IN LEGAL ACTION. 2. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED. 3. VERIFY ALL DIMENSIONS ON SITE.	<b>CLIENT:</b> OKARA PTY LTD <b>PROJECT:</b> PROPOSED BULK STORAGE FACILITY BUSS STREET BURNETT HEADS	<b>DESIGNED:</b> RAW <b>DRAWN:</b> LJM <b>CHECKED:</b> CPS <b>APPROVED:</b> ROSS WEGNER / RPEQ: 8042	<b>TITLE:</b> TITLE SHEET, LOCALITY PLAN AND STANDARD NOTES	<b>DATE:</b> JULY 2022 <b>PROJECT NO:</b> CC-5966 <b>SCALE:</b> AS SHOWN <b>DRAWING NO:</b> C01 <b>REV:</b> A
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	AIR QUALITY MANAGEMENT	NOISE MANAGEMENT	VIBRATION CONTROL	ON-SITE MACHINERY SERVICING AND MAINTENANCE	STORAGE AND HANDLING OF DANGEROUS GOODS ON-SITE	WASTE MANAGEMENT	VISUAL IMPACT MANAGEMENT	SITE SECURITY AND PROTECTION OF EMPLOYEES AND THE PUBLIC
<b>ISSUE</b>	- INCREASED WINDBORNE SEDIMENT LOADS DURING THE CONSTRUCTION PHASE.	- PUBLIC NOISE NUISANCE FROM CONSTRUCTION VEHICLES AND EQUIPMENT. - WORKER HEALTH AND SAFETY.	- VIBRATION DAMAGE TO NEIGHBOURING STRUCTURES. - NUISANCE.	- POTENTIAL FOR SPILLAGE OR LEAKAGE OF CHEMICAL AND PETROLEUM PRODUCTS AND REGULATED WASTES TO WATERS.	- POTENTIAL FOR SPILLAGE OR LEAKAGE OF CHEMICAL AND PETROLEUM PRODUCTS AND REGULATED WASTES TO WATERS.	- APPROPRIATE DISPOSAL OF ALL CONSTRUCTION SITE WASTE.	- LOSS OF VISUAL AMENITY DUE TO CONSTRUCTION, MACHINERY AND EQUIPMENT.	- UNAUTHORISED ACCESS TO THE SITE LEADING TO VANDALISM, THEFT OR PERSONAL INJURY.
<b>OBJECTIVE</b>	- TO REDUCE CONSTRUCTION IMPACTS ON AIR QUALITY AND TO HELP MINIMISE INCONVENIENCE TO NEIGHBOURING PROPERTIES.	- TO UNDERTAKE ALL REASONABLE AND PRACTICABLE MEASURES TO PREVENT OR MINIMISE NOISE NUISANCE TO NEIGHBOURING PROPERTIES.	- TO ENSURE GROUND VIBRATIONS DO NOT CAUSE DAMAGE TO ADJACENT BUILDINGS OR CAUSE ANNOYANCE TO NEARBY RESIDENTS.	- TO MINIMISE THE EFFECT OF ON-SITE MACHINERY MAINTENANCE. - TO UNDERTAKE ALL REASONABLE AND PRACTICAL MEASURES TO MINIMISE CONTAMINATION OF LAND AND WATERS.	- TO MINIMISE THE RISK OF HEALTH HAZARDS CAUSED BY THE STORAGE AND TRANSPORT OF DANGEROUS GOODS. - TO UNDERTAKE ALL REASONABLE AND PRACTICAL MEASURES TO MINIMISE CONTAMINATION OF LAND AND WATERS.	- TO TAKE ALL REASONABLE AND PRACTICABLE STEPS TO REDUCE AND RECYCLE WASTE DURING THE CONSTRUCTION PHASE AND TO DISPOSE OF IT IN AN APPROPRIATE MANNER.	- TO UNDERTAKE CONSTRUCTION USING ALL REASONABLE AND PRACTICABLE MEASURES TO MINIMISE IMPACT ON VISUAL AMENITY.	- TO LIMIT ACCESS TO THE CONSTRUCTION SITE FOR AUTHORISED PERSONAL DURING WORKS HOURS ONLY.
<b>PERFORMANCE</b>	- STANDARD CONSTRUCTION HOURS SHALL BE LIMITED TO 6.30AM TO 6.30PM MONDAYS TO SATURDAYS UNLESS OTHERWISE AUTHORISED BY COUNCIL. - NO WORKS TO BE CARRIED OUT ON A SUNDAY OR PUBLIC HOLIDAYS. - DUST PLUMES CREATED FROM THE CONSTRUCTION SITE AND/OR HAULAGE OF MATERIALS ARE TO BE ELIMINATED - NO COMPLAINTS FROM NEIGHBOURS	- STANDARD CONSTRUCTION HOURS SHALL BE LIMITED TO 6.30AM TO 6.30PM MONDAYS TO SATURDAYS. - NO UNREASONABLE NOISE RELEASES - IN ABSENCE OF QUANTITATIVE MONITORING DURING THE CONSTRUCTION PHASE, NOISE LEVELS ARE TO BE CONTROLLED TO ACCORD WITH ACCEPTED INDUSTRY AND REGULATORY REQUIREMENTS.	- STANDARD CONSTRUCTION HOURS SHALL BE LIMITED TO 6.30AM TO 6.30PM MONDAYS TO SATURDAYS. - VIBRATION IS TO COMPLY WITH BS 6472/ PR SECTION 5.7 OF MRS 11.51 OR EQUIVALENT. - NO EXCESSIVE COMPLAINTS FROM NEIGHBOURING RESIDENCES - NO UNREASONABLE VIBRATIONS	- NO RELEASE OF CONTAMINANTS TO LAND OR WATER. - AVOID ANY ADVERSE EFFECTS ON THE CONSTRUCTION SITE DUE TO THE MAINTENANCE AND SERVICING OF MACHINERY.	- ALL DANGEROUS GOODS TO BE STORED, HANDLED AND BUNDED, ACCORDING TO AUSTRALIAN STANDARDS, INCLUDING AS2508, AS1678, AS1940, AND AS2931. - NO RELEASE OF CONTAMINANTS TO LAND AND WATER	- ABSENCE OF WASTE AND LITTER ON THE CONSTRUCTION SITE, ACCESS ROAD AND BUFFERS. - NO COMPLAINTS.	- MINIMAL ADVERSE VISUAL IMPACT - NO EXCESSIVE COMPLAINTS.	- NO UNAUTHORISED ACCESS TO THE CONSTRUCTION SITE.
<b>CONTROL MEASURES</b>	- PRIOR TO COMMENCEMENT OF CONSTRUCTION, NEIGHBOURING RESIDENTS AND EMERGENCY SERVICES SHALL BE NOTIFIED IN WRITING (BY LETTER DROP) OF THE CONSTRUCTION PERIOD, DESIGNATED WORKING HOURS AND CONTACTS REGARDING COMPLAINTS OF EXCESSIVE AIR QUALITY DETERIORATION - VEGETATIVE GROUND COVERS ARE TO BE MAINTAINED WHERE POSSIBLE - ACTIVITIES ARE TO ONLY BE CONDUCTED DURING SUITABLE WEATHER CONDITIONS. - A WATER TRUCK OR SPRAY APPARATUS IS TO BE PROVIDED ON SITE WHEN REQUIRED - EXPOSED AREAS SUCH AS CLEARED AREAS AND STOCKPILES, ARE TO BE WATERED AND KEPT DAMP IN ORDER TO MINIMISE EROSION OR THE POTENTIAL FOR DUST CREATION - VEHICLE SPEED IS TO BE LIMITED ON SITE TO MINIMISE DUST GENERATION - TRUCKS ENTERING OR EXITING THE SITE SHALL HAVE THEIR LOADS COVERED - ALL CONSTRUCTION VEHICLES EXITING SITE SHALL PASS THROUGH A WHEEL WASH DOWN AND/OR DRIVE OVER A SHAKE DOWN GRID WHICH WILL BE LOCATED AT THE SITE ENTRY/EXIT - HAULAGE ROUTES SHALL AVOID RESIDENTIAL AREAS AND USE SEALED ROADS WHERE POSSIBLE - MACHINERY SHALL BE FITTED DUST FILTERS - ALL EQUIPMENT AND VEHICLES ARE TO MEET RELEVANT EMISSION STANDARDS. - MAINTENANCE OF WIND BREAKS AND BARRIERS WHERE POSSIBLE - STOCKPILES HEIGHTS ARE TO BE KEPT TO MANAGEABLE HEIGHTS FOR DUST AND EROSION CONTROL PURPOSES - PROTECTION OF LONG TERM SOIL STOCK PILES WITH REVEGETATION, WATERING/MOISTURE OR HYDRO MULCHING WHERE PRACTICABLE - REVEGETATE AS SOON AS POSSIBLE FOLLOWING CONSTRUCTION	- PRIOR TO COMMENCEMENT OF CONSTRUCTION, NEIGHBOURING RESIDENTS AND EMERGENCY SERVICES SHALL BE NOTIFIED IN WRITING (BY LETTER DROP) OF THE CONSTRUCTION PERIOD, DESIGNATED WORKING HOURS AND CONTACTS REGARDING COMPLAINTS OF EXCESSIVE NOISE. - ADJACENT RESIDENCES ARE TO BE ADVISED OF ANY WORKS TO BE CONDUCTED OUT OF THE STANDARD CONSTRUCTION HOURS - ALL CONSTRUCTION STAFF ARE TO HAVE ADEQUATE NOISE PROTECTION AS PER WORK PLACE HEALTH AND SAFETY. - ALL PLANT AND MACHINERY USED DURING CONSTRUCTION MUST BE FITTED WITH EXHAUST SILENCERS OR NOISE SUPPRESSION EQUIPMENT, MUST BE IN GOOD OPERATING CONDITION AND MEET EMISSION STANDARDS. - HAULAGE ROUTES SHALL AVOID RESIDENTIAL AREAS AND USE DEDICATED ROUTE ROADS WHERE POSSIBLE	- PRIOR TO COMMENCEMENT OF CONSTRUCTION, NEIGHBOURING RESIDENTS AND EMERGENCY SERVICES SHALL BE NOTIFIED IN WRITING (BY LETTER DROP) OF THE CONSTRUCTION PERIOD, DESIGNATED WORKING HOURS AND CONTACTS REGARDING COMPLAINTS OF EXCESSIVE VIBRATION. - USE CONSTRUCTION TECHNIQUES THAT MINIMISE THE NEED FOR BLASTING, ROCK BREAKING AND PILE DRIVING. - UNDERTAKE GEOTECHNICAL INVESTIGATION AS NECESSARY TO PREDICT VIBRATION EFFECTS OF CONSTRUCTION TECHNIQUES. - UNDERTAKE ACTIVITIES LIKELY TO CAUSE VIBRATION DURING NORMAL CONSTRUCTION HOURS.	- A BUNDED SERVICE AREA IS REQUIRED FOR MAINTENANCE AND SERVICING -SIGNIFICANT VEHICLE MAINTENANCE SHALL BE CONDUCTED OFF-SITE AT APPROPRIATE FACILITIES. - LIGHT MAINTENANCE MAY BE UNDERTAKEN ON SITE, IN THE BUNDED SERVICE AREA. - THE CONTRACTOR IS TO PROVIDE SUITABLE ACCESS SURFACING FOR ALL WEATHER PURPOSES. - SAFE HANDLING TECHNIQUES AND REQUIRED REFUELLING. - WASTE OILS ARE TO BE COLLECTED AND TRANSPORTED TO RECYCLERS OR DESIGNATED DISPOSAL SITES. - SERVICING OF PLANT AND EQUIPMENT SHOULD BE UNDERTAKEN OUTSIDE OF NORMAL CONSTRUCTION HOURS.	- DANGEROUS GOODS SHALL BE STORED SEPARATELY IN BUNDED AREAS NOT ASSESSABLE TO UNQUALIFIED PERSONS WITHOUT APPROPRIATE TRAINING IN ITS HANDLING AND FIRST AID PROCEDURES. - CHEMICAL DATA, HANDLING AND SAFETY SHEETS FOR ALL DANGEROUS GOODS WILL BE KEPT IN THE SITE OFFICE. - ONLY NECESSARY QUANTITIES OF CHEMICALS, FUELS AND OILS SHOULD BE KEPT ON THE CONSTRUCTION SITE AT ANY TIME. - EQUIPMENT IS TO BE AVAILABLE IN FUEL STORAGE AREAS AND IN VEHICLES TO CONTAIN AND CLEAN UP ANY SPILLS THAT MAY OCCUR. - RELEASE ANY CLEAN STORMWATER ACCUMULATED IN TEMPORARY BUNDED AREAS.	- DESIGNATE A WASTE COLLECTION AREA ON-SITE THAT DOES NOT RECEIVE A SUBSTANTIAL AMOUNT OF RUNOFF FROM UPLAND AREAS AND DOES NOT DRAIN DIRECTLY TO WATER BODY. - ENSURE REGULAR COLLECTION OF ON-SITE WASTE. - DISPOSAL OF WASTE COLLECTION BINS ARE TO BE CLEARLY MARKED "CONVENTIONAL WASTE", "RECYCLABLE" AND "REGULATED WASTE". ENSURE THAT ALL CONTAINERS ARE FITTED WITH LIDS' - REGULATED WASTES SHALL BE SEALED IN A APPROPRIATE LICENSED TO RECEIVE SUCH WASTE. - SCHEDULE WASTE COLLECTION IS REQUIRED TO PREVENT THE CONTAINERS FROM OVERFILLING.	- RUBBISH AND WASTE TO BE COLLECTED FROM SITE - SURPLUS CONSTRUCTION MATERIAL TO BE PROMPTLY REMOVED FROM CONSTRUCTION SITE. - VEGETATION DISTURBANCE TO BE MINIMISED	- ALL ACCESS TO THE SITE IS TO BE VIA THE NOMINATED POINT ON PLAN - BARRICADES AND SAFETY FENCING SHALL BE ERECTED AROUND THE SITE AND ADJACENT TO PUBLIC ACCESS WAYS. THE SITE ACCESS IS TO BE GATED. -GENERALLY, CONSTRUCTION ACTIVATES ARE TO BE FENCED/HOARDED FROM ADJACENT PROPERTIES. - THE CONSTRUCTION SITE COMPOUND (IF REQUIRED) IS TO BE LOCKED AT ALL TIMES OUTSIDE OF WORK HOURS. - THE SITE SHALL BE APPROPRIATELY MAINTAINED TO PROVIDE A SAFE WORK ENVIRONMENT FOR ALL PERSONAL, VISITORS AND THE GENERAL PUBLIC. - APPROPRIATE WARNING SIGNS SHALL BE ERECTED FOR THE WORK FORCE AND THE GENERAL PUBLIC TO HIGHLIGHT HAZARDOUS ACTIVITIES WITHIN AND AROUND THE SITE INCLUDING EXCAVATION, DEMOLITION, THE USE OF EXPLOSIVES POWER TOOLS" EXPOSURE TO HIGH NOISE EMISSIONS. - STRICT HOUSEKEEPING SHALL APPLY TO ALL ENTRIES USED FOR SITE ACCESS OR EGRESS, INCLUDING ENTRY TO SITE SHEDS AND EMPLOYEES FACILITIES.
<b>RESPONSIBILITY</b>	- THE CONTRACTOR HOLDS RESPONSIBILITY FOR THE SITE - THE PRINCIPAL IS RESPONSIBLE FOR PUBLIC NOTIFICATION VIA A LETTER DROP	- THE CONTRACTOR HOLDS RESPONSIBILITY FOR THE SITE - THE PRINCIPAL IS RESPONSIBLE FOR PUBLIC NOTIFICATION VIA THE LETTER DROP	- THE CONTRACTOR HOLDS RESPONSIBILITY FOR THE SITE.	- THE CONTRACTOR HOLDS RESPONSIBILITY FOR THE SITE	- THE CONTRACTOR HOLDS RESPONSIBILITY FOR THE SITE.	- THE CONTRACTOR HOLDS RESPONSIBILITY FOR THE SITE.	- THE CONTRACTOR HOLDS RESPONSIBILITY FOR THE SITE.	- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGNATED SITE COMPOUND SECURITY FENCING, IF REQUIRED - THE PRINCIPAL IS RESPONSIBLE FOR FENCING/ HOARDING TO THE ADJACENT PROPERTIES, IF REQUIRED
<b>MONITORING</b>	- THE CONTRACTOR SHALL CONDUCT DAILY VISUAL INSPECTIONS OF THE SITE FOR DUST PLUMES. - A COMPLAINT REGISTER IS TO BE MAINTAINED	- A COMPLAINTS REGISTER TO BE MAINTAINED. - ALL GENUINE NOISE COMPLAINTS SHALL BE INVESTIGATED AND ASSESSED TO DETERMINE IF THE NOISE IS UNREASONABLE. SUCH INVESTIGATIONS MAY REQUIRE NOISE MONITORING TO DETERMINE IF A PROBLEM OF BREACH EXISTS.	- THE CONTRACTOR IS RESPONSIBLE FOR FREQUENT INSPECTIONS OF THE SITE DURING IMPACT WORKS	- THE CONTRACTOR IS RESPONSIBLE FOR DAILY VISUAL INSPECTIONS OF THE SITE.	- THE CONTRACTOR IS RESPONSIBLE FOR DAILY VISUAL INSPECTIONS OF THE SITE. - REGULAR INSPECTIONS WILL BE UNDERTAKEN OF ALL TEMPORARY CHEMICAL AND PETROLEUM PRODUCT STORAGE AREAS FOR LEAKAGES	- DAILY VISUAL INSPECTIONS OF THE SITE ARE TO BE CONDUCTED.	- REGULAR INSPECTIONS FOR UNREASONABLE VISUAL IMPACTS. - A COMPLAINT REGISTER IS TO BE MAINTAINED	- DAILY VISUAL INSPECTIONS OF THE SITE WILL BE UNDERTAKEN FOR ADEQUACY OF SITE SECURITY
<b>CORRECTIVE ACTIONS</b>	- CORRECTIVE ACTIONS WILL INCLUDE A REVIEW OF EXISTING CONTROL MEASURES FOR INADEQUACIES. - SHOULD COMPLAINTS ARISE, THE CONTRACTOR SHALL ENSURE MEASURES ARE TAKEN TO MODIFY THE OFFENDING EQUIPMENT OR MODIFY CONSTRUCTION PRACTICES TO REDUCE DUST LEVELS WITHIN RELEVANT GUIDELINES	- UNREASONABLE NOISE CAUSED BY MACHINERY IS TO BE REMEDIED BY APPROPRIATE REPAIRS AND A MAINTENANCE SCHEDULE REVIEW. - THE RELEVANT ACTIVITY MAY REQUIRE MODIFICATION OR RELOCATION. - SPECIFIC MACHINERY MAY REQUIRE AN ALTERATION TO ITS HOURS OF OPERATION. - CORRECTIVE ACTIONS WILL INCLUDE A REVIEW OF EXISTING CONTROL MEASURES FOR INADEQUACIES. - IN THE EVENT THAT A NON-CONFORMANCE HAS OCCURRED AS A RESULT OF POOR WORK PRACTICES, PERSONNEL ON SITE WILL BE MADE AWARE OF THE PROBLEM AND INFORMED OF ACCEPTABLE WORK PRACTICES.	- SHOULD COMPLAINTS ARISE, MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO MODIFY THE OFFENDING EQUIPMENT OR MODIFY CONSTRUCTION PRACTICES TO ENSURE VIBRATIONS ARE WITHIN RELEVANT GUIDELINES.	- THE CONTRACTOR SHALL ENSURE ON-SITE MACHINERY IS STORED WITHIN THE SECURE DESIGNATED COMPOUND AFTER WORKING HOURS. - THE CONTRACTOR SHALL ENSURE ANY UNAUTHORISED MAINTENANCE IS CEASED IMMEDIATELY AND MOVED OFF- SITE. - THE CONTRACTOR SHALL ENSURE ANY AREA DAMAGED BY HYDROCARBONS OR HAZARDOUS CHEMICALS IS FENCED, EXCAVATED AND REMOVED FROM SITE TO A DESIGNATED DUMPING AREA AND THE AREA RE-ESTABLISHED	- IF DAMAGED GOODS ARE SPILT, THE CONTRACTOR SHALL ENSURE THAT THE AREA IS ISOLATED AND MINIMISED. - PETROLEUM OR CHEMICAL SPILLAGES ARE TO BE IMMEDIATELY CLEANED UP WITH ADSORBENT MATERIAL. - ADSORBENT MATERIALS USED FOR CLEAN UP OR WASTE DANGEROUS GOODS ARE TO BE PLACED AND SEALED IN AN APPROPRIATE CONTAINER MARKED "REGULATED WASTE" AND CONSIGNED TO A WASTE CONTRACTOR LICENSED TO RECEIVE SUCH WASTE FOR DISPOSAL AT AN APPROVED FACILITY. - THE DAMAGED AREA IS TO BE RE-ESTABLISHED	- PROMPT DELEGATION OF CLEAN UP WORKS. - INCREASED VIGILANCE	- VISUALLY OFFENSIVE COMPONENTS OF CONSTRUCTION SHOULD BE IDENTIFIED AND IF POSSIBLE MODIFIED IN CONSULTATION WITH COMPLAINT.	- INSTALLATION OF INCREASED SECURITY MEASURES REQUIRED.
<b>REPORTING</b>	- WEEKLY REPORTING BY THE PRINCIPLE CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN	- WEEKLY REPORTING BY THE PRINCIPLE CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN	- WEEKLY REPORTING BY THE PRINCIPLE CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN	- WEEKLY REPORTING BY THE PRINCIPLE CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN	- WEEKLY REPORTING BY THE PRINCIPLE CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN	- WEEKLY REPORTING BY THE PRINCIPLE CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN	- WEEKLY REPORTING BY THE PRINCIPLE CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN	- WEEKLY REPORTING BY THE PRINCIPLE CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN



STATUS

**FOR APPROVAL**

<table border="1"> <tr> <td>ISSUE</td> <td>AMENDMENT</td> <td>DATE</td> <td>DFT</td> </tr> <tr> <td></td> <td></td> <td>08.08.22</td> <td>LJM</td> </tr> <tr> <td></td> <td></td> <td>05.07.22</td> <td>LJM</td> </tr> </table>	ISSUE	AMENDMENT	DATE	DFT			08.08.22	LJM			05.07.22	LJM		<b>BUNDBERG</b> 66A Barolin Street, Bundaberg, Qld PO Box 2052 Bundaberg Qld 4670 T: 07 4234 4084 E: admin.cc@empireengineering.com.au	<b>GYMPIE</b> 3/19 Tozer Street, Gympie, Qld PO Box 2052 Bundaberg Qld 4670 T: 07 5544 8800 E: admin.cc@empireengineering.com.au	<b>SUNSHINE COAST</b> The Corporate Centre, 11 Norval Ct. Qld PO Box 102 Mooloolaba Qld 4557 T: 07 5477 6489 E: admin.cc@empireengineering.com.au	<b>NOTES</b> 1. THIS IS THE PROPERTY OF THE ENGINEER, AND MAY NOT BE USED, COPIED, OR REPRODUCED WHOLLY, OR IN PART WITHOUT THE EXPRESS PERMISSION OF THE ENGINEER. INFRINGEMENT IN ANY WAY MAY RESULT IN LEGAL ACTION. 2. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED. 3. VERIFY ALL DIMENSIONS ON SITE.	CLIENT: OKARA PTY LTD PROJECT: PROPOSED BULK STORAGE FACILITY BUSS STREET BURNETT HEADS	DESIGNED: RAW DRAWN: LJM CHECKED: CPS APPROVED:	TITLE: CONSTRUCTION MANAGEMENT NOTES	DATE: JULY 2022 SCALE: AS SHOWN PROJECT NO: CC-5966 DRAWING NO: C02 REV: A
ISSUE	AMENDMENT	DATE	DFT																		
		08.08.22	LJM																		
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ROSS WEGNER / RPEQ: 8042



**EROSION AND SEDIMENT CONTROL PROGRAM**

- THIS PROGRAM AND ASSOCIATED PLANS SHALL BE READ IN CONJUNCTION WITH THE SITE MANAGEMENT SPECIFICATION INCORPORATED IN THE CONTRACT DOCUMENTS. THE PROVISIONS OF THE SPECIFICATION ARE TO BE STRICTLY ADHERED TO.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR IS TO PROVIDE A DETAILED PROGRAM TO THE SUPERINTENDENT SHOWING THE TIMING FOR ALL WORKS ASSOCIATED WITH THE PROJECT, NOMINATING, IN PARTICULAR, THE PROGRAM FOR INSTALLATION OF SOIL AND EROSION CONTROL SYSTEMS.
- EARTHWORKS SHALL BE CARRIED OUT IN SUCH A MANNER THAT THE SITE IS MAINTAINED IN A WELL DRAINED CONDITION, AREAS OF LOOSE SOIL ARE MINIMISED AND CONCENTRATIONS OF STORM WATER ARE MINIMISED.
- THE BASIC OBJECTIVES OF THE EROSION AND SEDIMENT CONTROL ARE:
  - IDENTIFY CRITICAL AREAS AND PROVIDE SPECIAL ATTENTION TO THOSE AREAS.
  - PLAN SITE LAYOUT SO THAT ACCESS TO ALL REQUIRED DRAINAGE EROSION AND SEDIMENT CONTROL MEASURES IS MAINTAINED.
  - LIMIT EXPOSURE TIME BY PROGRAMMING TO MINIMISE THE AREA OF LAND EXPOSED TO POTENTIALLY ADVERSE WEATHER CONDITIONS AT ANY ONE TIME.
  - PROVIDE CONTROL MEASURES INCLUDING TEMPORARY AND PERMANENT DRAINAGE, EROSION AND SEDIMENT CONTROLS.
- THE EROSION AND SEDIMENT CONTROL SHALL COMPLY WITH THE INTERNATIONAL EROSION CONTROL ASSOCIATION (AUSTRALASIA) 2008's "BEST PRACTICE EROSION AND SEDIMENT CONTROL FOR BUILDING AND CONSTRUCTION SITES" AND ALL OTHER LOCAL AUTHORITY EROSION AND SEDIMENT CONTROL GUIDELINES.
- ALL ESC MEASURES SHALL BE INSPECTED:
  - AT LEAST DAILY (WHEN WORK IS OCCURRING ON SITE);
  - WITHIN 24 HOURS OF EXPECTED RAIN; AND
  - WITHIN 18 HOURS OF RAINFALL EVENT (ie. AN EVENT OF SUFFICIENT INTENSITY AND DURATION TO MOBILISE SEDIMENT ON SITE). MAINTENANCE OF ESC MEASURES SHALL OCCUR IN ACCORDANCE WITH THE FOLLOWING TABLE:

ESC MEASURES	MAINTENANCE TRIGGER	TIME FRAME FOR COMPLETION OF MAINTENANCE
SEDIMENT BASINS	WHEN SETTLED SEDIMENT EXCEEDS THE VOLUME OF THE SEDIMENT STORAGE ZONE (SEE COUNCIL'S SEDIMENT BASIN DESIGN GUIDELINES)	WITHIN 7 DAYS OF THE INSPECTION
OTHER ESC MEASURES	THE CAPACITY OF ESC MEASURES FALLS BELOW 75%	BY THE END OF THE DAY

- WATER QUALITY SAMPLES MUST BE TAKEN AND ANALYSED PRIOR TO THE RELEASE OF ANY WATER FROM THE SITE. WATER QUALITY MUST SATISFY THE FOLLOWING CRITERIA: TSS-50 mg/L pH BETWEEN 6.5 AND 8.5. IF WATER QUALITY FAILS THE CRITERIA THEN USE OF A GYPSUM FLOCCULENT IS TO BE APPLIED AS DIRECTED BY THE SUPERINTENDENT.
- ALL WATER QUALITY DATA INCLUDING DATES OF RAINFALL, TESTING AND WATER RELEASE MUST BE MAINTAINED IN AN ONSITE REGISTER. THIS REGISTER IS TO BE MAINTAINED FOR THE DURATION OF THE APPROVED WORKS AND BE AVAILABLE ON SITE FOR INSPECTIONS BY COUNCIL OFFICERS ON REQUEST.
- CONSTRUCTION ACCESS SHALL BE AT ONLY ONE NOMINATED POINT AS DETAILED ON THE PLANS. A TRUCK WASH HARD STAND AS DETAILED ON THE PLAN COMPRISING FREE DRAINING GRAVEL SHALL BE LOCATED ADJACENT TO THE POINT OF ACCESS WHERE VEHICLES CAN BE WASHED DOWN PRIOR TO EXIT TO THE STREET SYSTEM IF REQUIRED. THE WASH DOWN AREA SHALL BE KEPT FREE OF MUD.
- FOR DETAILS OF SHAKE DOWN AREA REFER TO IPWEA STANDARD DRAWING D-0040.
- SUPPLEMENTARY EROSION AND SEDIMENT CONTROL DEVICES MAY BE REQUIRED AT THE DISCRETION OF THE SUPERINTENDENT AND/OR COUNCIL.
- SEDIMENT CONTROL DEVICES SHALL BE PROVIDED WHERE SHOWN ON THE DRAWINGS. SEDIMENT TRAPS SHALL REMAIN IN PLACE UNTIL AT LEAST 70% SOIL COVERAGE UPSTREAM AND DOWNSTREAM OF THE DEVICE IS ACHIEVED AND/OR AS DIRECTED BY COUNCIL.
- EXCAVATED MATERIAL WILL BE PLACED DIRECTLY INTO FILL AREAS IN ACCORDANCE WITH THE APPROVED SPECIFICATION.
- ANY IMPORTED FILL MATERIAL SHALL COMPLY WITH THE REQUIREMENTS OF THE SPECIFICATION.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL (ESC) MEASURES TO BE MAINTAINED AND FULLY OPERATIONAL DURING THE MAINTENANCE PERIOD AND ARE TO BE REMOVED AFTER THE SATISFACTORY COMPLETION OF AN OFF-MAINTENANCE INSPECTION BY COUNCIL AND PRIOR TO FORMAL ACCEPTANCE "OFF MAINTENANCE" BY COUNCIL.

**ORDER OF CONSTRUCTION**

- PRIOR TO ANY CONSTRUCTION COMMENCING, CONSTRUCTION ENTRY/ EXIT TO BE INSTALLED.
- SITE BARRIER/NO-GO FENCING TO BE ESTABLISHED.
- SEDIMENT FENCES AND TRAPS (INLET PROTECTION) TO BE INSTALLED.
- SITE TO BE SHAPED TO DESIGN LEVELS AND SURFACE STABILIZED ASAP BY MEANS OF TOP SOILING AND GRASS SEEDING WHERE APPLICABLE.

**EROSION AND SEDIMENT CONTROL NOTES**

**TOPSOIL:**

- SEDIMENT FENCES TO BE PLACED AS SHOWN. FOR DETAILS OF SEDIMENT FENCE REFER IPWEA STANDARD DRAWING D-0040.
- STRIP AND STOCKPILE AVAILABLE TOPSOIL (ASSUMED AVERAGE DEPTH 100mm) FROM ALL DISTURBED AREAS PRIOR TO BULK EARTHWORKS.
- GRADE EVENLY BETWEEN ALLOTMENT FINISHED SURFACE LEVELS AND ENSURE LOTS ARE FREE DRAINING.
- MINIMUM SLOPE ACROSS ALLOTMENTS TO BE 1%.
- ALL FOOTPATHS, BATTERS AND EARTHWORKS AFFECTED ALLOTMENTS ARE TO BE TOPSOILED TO A MINIMUM DEPTH OF 100mm (LIGHTLY COMPACTED) AND TURFED WHERE SPECIFIED.

**SEDIMENT FENCES:**

- SEDIMENT FENCES TO BE REPAIRED AS REQUIRED AND EXCESSIVE SEDIMENT DEPOSITS SHOULD BE REMOVED.
- IN THE EVENT OF WET WEATHER, INSTALL KERB INLET FILTERS WITH GRAVEL RANGING FROM 50mm TO 75mm IN SIZE. REFER IPWEA STANDARD DRAWING D-0041. WHEREVER PRACTICABLE SEDIMENT RUNOFF SHOULD BE COLLECTED AND RETAINED WHOLLY WITHIN THE WORKSITE OR PRIOR TO ENTRY ON A ROAD SURFACE (WHETHER INSIDE OR OUTSIDE THE SITE). IF THE GRAVEL FILTER BECOMES CLOGGED WITH SEDIMENT DURING ITS USE, THE GRAVEL MUST BE PULLED AWAY FROM THE MESH AND CLEANED OR REPLACED.
- DAILY CHECKS OF SILT FENCES IS TO BE MADE ALONG WITH A CHECK AFTER ANY SIGNIFICANT STORM EVENT TO ENSURE INTEGRITY AND PERFORMANCE.

**TURFING:**

- PROVIDE TURFING TO ENTIRE WIDTH OF ALL SWALES, FOOTPATHS AND CUT AND FILL BATTERS.
- FOOTPATH BATTERS ARE TO BE STABILISED WITH TOPSOIL (AND TURFED) AS SOON AS PRACTICAL AFTER BATTERS HAVE BEEN COMPLETED. REMAINING EXPOSED AREAS ON LOTS ARE TO BE SEEDED AND MULCHED (eg. HYDROMULCHED).
- ALL AREAS OF CUT AND FILL INCLUDING ROAD VERGES TO BE SEED TO ACHIEVE 80% STRIKE WITHIN TWO WEEKS AND 80% COVERAGE WITH SIX MONTHS.

**'A' DURING CONSTRUCTION:**

- TOPSOIL STOCKPILE TO HAVE A SEDIMENT FENCE DOWN SLOPE AND A DIVERSION DRAIN UP SLOPE.
- SEDIMENT FENCES TO BE PLACED AS SHOWN.
- INSPECT BANKS DAILY AND REPAIR ANY SLUMPS, WHEEL TRACK DAMAGE OR LOSS OF FREEBOARD.
- REMOVE SEDIMENT TO AVOID PONDING FROM CATCH DRAINS.
- REMOVE EXCESSIVE SEDIMENT FROM UPSTREAM OF CHECK DAM.
- ROAD RESERVE TO BE USED AS HAUL ROAD.
- A CATCH DRAIN/CATCH BANK IS TO BE PROVIDED ON THE TOP SIDE OF ALL CUTS AND DISCHARGE EITHER TO UNDISTURBED GRASS LANDS OR TO THE CROSS ROAD DRAINAGE.
- SUPPLEMENTARY EROSION AND SEDIMENT CONTROL DEVICES MAY BE REQUIRED AT THE DISCRETION OF THE ENGINEER.
- GRASS SEEDING IS TO ACHIEVE 70% COVER WITHIN 30 DAYS OF COMPLETION OF EARTHWORKS.

**'B' FOLLOWING CONSTRUCTION:**

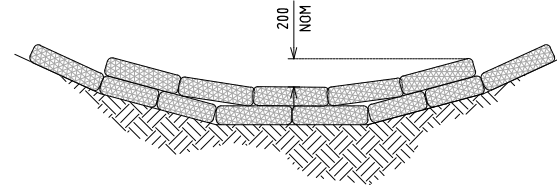
- SEDIMENTATION AND EROSION CONTROLS TO BE MAINTAINED UNTIL SITE IS 80% STABILISED WITH ESTABLISHED GRASS/TURF THEN CONTROLS CAN BE REMOVED.

**HOLD POINT**

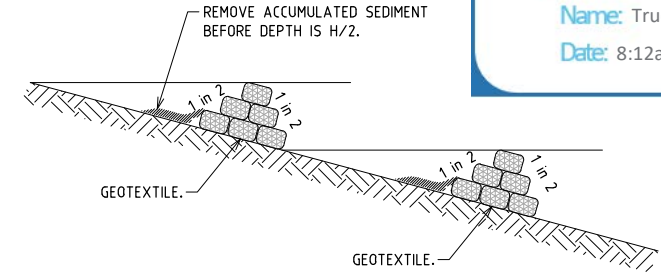
- WORK TO ROADS, DRAINAGE, SEWER, WATER OR EARTHWORKS MUST NOT PROCEED UNTIL ADEQUATE SEDIMENT CONTROL IS IN PLACE TO THE SATISFACTION OF THE SUPERINTENDENT.

**WARNING**

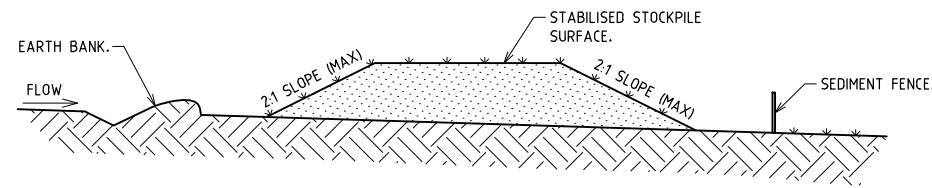
THE LOCATION OF ALL EXISTING SERVICES (E.G. TELSTRA, ELECTRICITY, SEWERAGE, WATER & GAS) ARE SHOWN SCHEMATICALLY ON THE DRAWINGS. PRIOR TO AND DURING CONSTRUCTION OBTAIN THE PRECISE LOCATION OF ALL SERVICES (UNDERGROUND & OVERHEAD) FROM THE RELEVANT AUTHORITY RESPONSIBLE FOR THE SERVICE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING SERVICES WHETHER SHOWN ON THE DRAWINGS OR NOT.



**SANDBAG CHECK DAM SEDIMENT TRAP**  
NOT TO SCALE



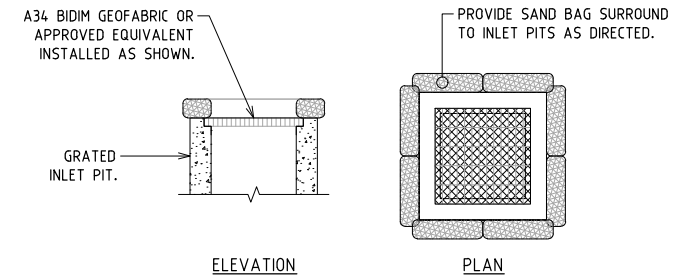
**SANDBAG FLOW CONTROL**  
NOT TO SCALE



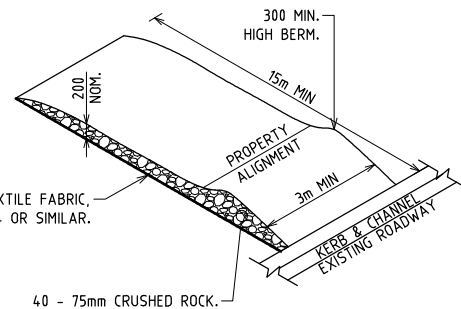
**TYPICAL STOCK PILE DETAILS**  
NOT TO SCALE

**STOCK PILE NOTES**

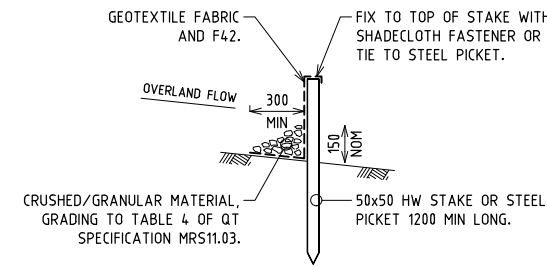
- PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
- CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
- WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT.
- WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
- CONSTRUCT EARTH BANKS (STANDARD DRAWING 5-5) ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES (STANDARD DRAWING 6-8) 1 TO 2 METRES DOWNSLOPE.



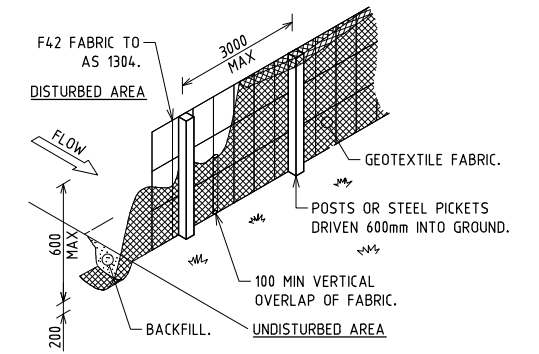
**PIT INLET PROTECTION**  
TYPICAL TO BE INSTALLED AT ALL INLET PITS AROUND SITE  
NOT TO SCALE



**TEMPORARY CONSTRUCTION ENTRY / EXIT SEDIMENT TRAP**



**SEDIMENT FENCE DETAIL**  
NOT TO SCALE



**SEDIMENT FENCE ELEVATION**  
NOT TO SCALE

STATUS

**FOR APPROVAL**

ISSUE	AMENDMENT	DATE	DFT
A	FOR APPROVAL	08.04.22	LJM
DRT	DRAFT ONLY	05.07.22	LJM



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- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED.
- VERIFY ALL DIMENSIONS ON SITE.

CLIENT: OKARA PTY LTD

PROJECT: PROPOSED BULK STORAGE FACILITY  
BUSS STREET  
BURNETT HEADS

DESIGNED: RAW

DRAWN: LJM

CHECKED: CPS

APPROVED:

ROSS WEGNER / RPEQ: 8042

TITLE:

SEDIMENT AND EROSION CONTROL  
NOTES AND DETAILS

DATE: JULY 2022

SCALE: AS SHOWN

PROJECT NO: CC-5966

DRAWING NO: C03

REV: A

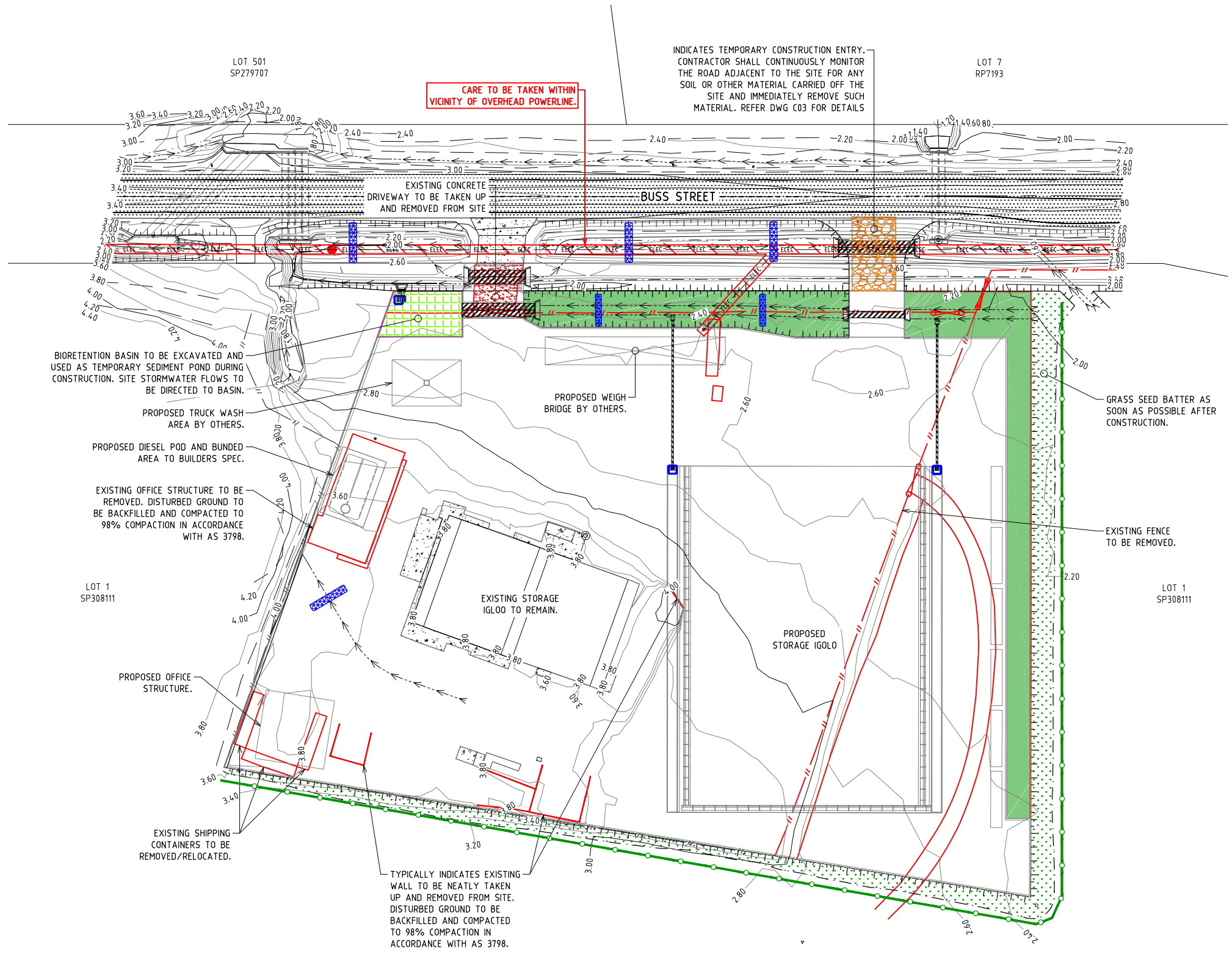
SEDIMENT & EROSION PLAN	
OBJECTIVE/TARGET	COMPLY WITH ALL STATUTORY REGULATIONS AND MAINTAIN THEM DURING CONSTRUCTION AND THE MAINTENANCE PERIOD. COMPLY WITH THIS EROSION AND SEDIMENT CONTROL PLAN, TO CONTROL EROSION AND SEDIMENT FLOWS
MANAGEMENT STRATEGY	SITE FOREMAN TO IDENTIFY AND CHECK DIRECTION OF STORMWATER LAND FLOWS AS SHOWN ON THE PLAN. PROVIDE BARRIERS AND OTHER MEASURES SHOWN ON THE PLAN TO PREVENT STORMWATER FLOWS OVER EMBANKMENTS AND SEDIMENTS INTO CATCHPITS
TASKS/ACTIONS	ERECT SEDIMENT BARRIERS AT THE TOP OF EMBANKMENTS AS SHOWN ON THE DRAWING. STRATEGICALLY PLACE CHECK DAMS AROUND GULLY PITS
PERFORMANCE INDICATORS	SITE FOREMAN TO CHECK EROSION AND SEDIMENT FLOWS AT THE BASE OF EMBANKMENTS AFTER RAIN. CHECK THAT CHECK DAMS ARE WORKING DURING RAIN PERIODS
FREQUENCY/DEADLINE	SITE FOREMAN TO MONITOR PERFORMANCE AFTER EVERY HEAVY DOWNFALL
ORGANISATION	SITE FOREMAN TO BE RESPONSIBLE FOR INSPECTIONS
REPORTING/REVIEW	SITE WORKERS TO ADVISE FOREMAN IF THEY NOTICE ANY BARRIER NEEDING REPAIR
CORRECTIVE ACTIONS	SITE FOREMAN TO REPORT AND ORDER THROUGH SUPERVISOR, EXTRA BARRIER OR CHECK DAMS AS REQUIRED

- SEDIMENT MANAGEMENT NOTES**
1. CONTOURS SHOWN DEPICT THE EXISTING SURFACE AND ARE AT 0.2m INTERVALS.
  2. PROVIDE SEDIMENT FENCES AT THE TOE OF ALL FILL BATTERS.
  3. PROVIDE TEMPORARY SEDIMENT TRAPS AS DIRECTED.
  4. SEDIMENT MANAGEMENT MEASURES ARE TO BE MAINTAINED UNTIL ACCEPTANCE 'OFF MAINTENANCE' & ARE DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL EROSION CONTROL ASSOCIATION (AUSTRALASIA) 2008'S "BEST PRACTICE EROSION AND SEDIMENT CONTROL FOR BUILDING AND CONSTRUCTION SITES" AND MAY VARY BY THE COUNCIL'S REPRESENTATIVE TO SUIT SITE CONDITIONS.
  5. GRASS SEEDING OR MULCHING ARE TO BE CARRIED OUT AS SOON AS PRACTICABLE TO DISTURBED AREAS.

- DUST CONTROL NOTES**
1. CONTROL IS TO BE ESTABLISHED BY THE USE OF WATER TRUCKS ON SITE FOR THE DURATION OF THE CONTRACT PERIOD.
  2. ALL DUST GENERATING AREAS TO BE TREATED BY SURFACE SPRAYING A MINIMUM OF THREE (3) TIMES PER DAY AT MAXIMUM THREE (3) HOUR INTERVALS, UNTIL SATISFACTORY GROUND COVER IS ACHIEVED, OR AS DIRECTED BY THE SUPERINTENDENT.

**LEGEND**

	PROPOSED TEMPORARY PIT INLET PROTECTION. REFER TO DWG C03 FOR DETAILS
	PROPOSED SANDBAG CHECK DAM. REFER TO DWG C03 FOR DETAILS
	PROPOSED SEDIMENT FENCE. REFER TO DWG C03 FOR DETAILS
	PROPOSED LANDSCAPED DRAIN
	PROPOSED TOP OF BATTER
	PROPOSED BOTTOM OF BATTER
	PROPOSED DRAIN INVERT
	PROPOSED STORMWATER PIPE
	PROPOSED RETAINING WALL
	EXISTING SEALED PAVEMENT
	EXISTING CONCRETE DRIVEWAY
	EXISTING OVERHEAD POWERLINE



**GPC Gladstone Ports Corporation**

**APPROVED**

Name: Trudi Smith  
Date: 8:12am 22/11/2022



**FOR APPROVAL**

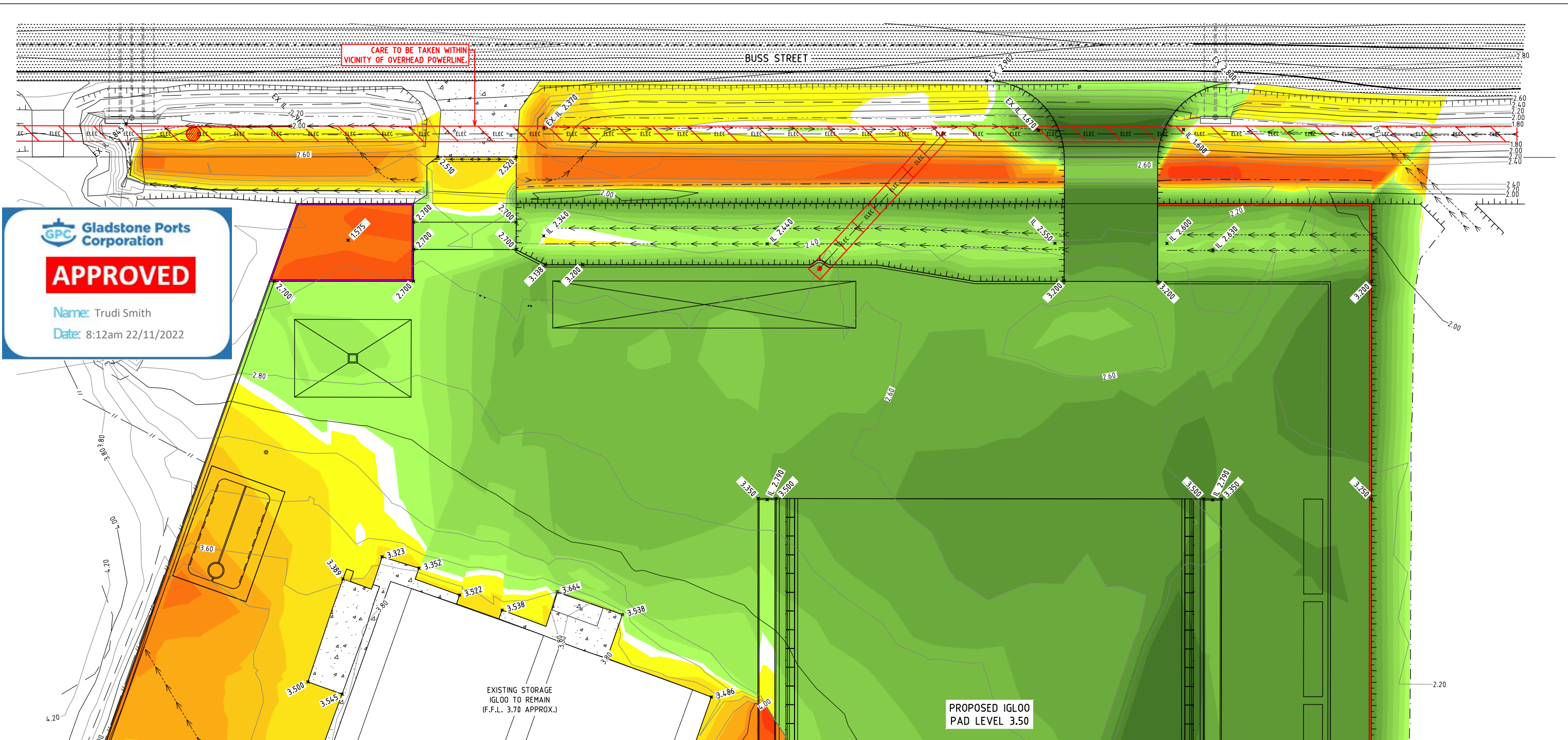
		BUNDBERG 66A Barolin Street, Bundaberg, Qld PO Box 2052 Bundaberg Qld 4670 T: 07 4254 4884 E: admin.cc@empireengineering.com.au	GYMPIE 3/19 Tozer Street, Gympie, Qld PO Box 2052 Bundaberg Qld 4670 T: 07 5477 6487 E: admin.cc@empireengineering.com.au	SUNSHINE COAST The Corporate Centre, 11 Norval Ct. Qld PO Box 102 Mooloolaba Qld 4557 T: 07 5477 6487 E: admin.cc@empireengineering.com.au	CLIENT: OKARA PTY LTD PROJECT: PROPOSED BULK STORAGE FACILITY BUSS STREET BURNETT HEADS	DESIGNED: RAW DRAWN: LJM CHECKED: CPS APPROVED:	TITLE: SEDIMENT AND EROSION CONTROL LAYOUT PLAN ROSS WEGNER / RPEQ: 8042	DATE: JULY 2022 PROJECT NO: CC-5966	SCALE: AS SHOWN DRAWING NO: C04	REV: A
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ISSUE	AMENDMENT	DATE	DFT
A	FOR APPROVAL	08.04.22	LJM
DRT	DRAFT ONLY	05.07.22	LJM

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3. VERIFY ALL DIMENSIONS ON SITE.





**GPC Gladstone Ports Corporation**

**APPROVED**

Name: Trudi Smith  
Date: 8:12am 22/11/2022

REFER DWG C31 FOR CONTINUATION

**CUT DEPTH RANGE**  
INDICATES APPROXIMATE AREA TO BE STRIPPED OF TOP SOIL AND CUT TO LEVELS SHOWN ON THIS DWG.

DEPTH RANGE	COLOUR
-0.025 to -0.15 m	Light Yellow
-0.15 to -0.30 m	Yellow
-0.30 to -0.45 m	Light Orange
-0.45 to -0.60 m	Orange
-0.60 to -0.75 m	Dark Orange
-0.75 to -0.90 m	Red-Orange
-0.90 to -1.05 m	Red
-1.05 to -1.20 m	Dark Red

**FILL DEPTH RANGE**  
INDICATES APPROXIMATE AREA TO BE STRIPPED OF TOPSOIL AND FILLED WITH CLEAN MATERIAL TO LEVELS SHOWN ON THIS DWG. FILL TO BE COMPACTED IN 150mm LAYERS. TESTING TO BE SUPPLIED TO SUPERINTENDENT SATISFACTION.

DEPTH RANGE	COLOUR	DEPTH RANGE	COLOUR
0.025 to 0.15 m	Light Green	1.20 to 1.35 m	Dark Green
0.15 to 0.30 m	Light Green	1.35 to 1.50 m	Dark Green
0.30 to 0.45 m	Light Green		
0.45 to 0.60 m	Light Green		
0.60 to 0.75 m	Light Green		
0.75 to 0.90 m	Light Green		
0.90 to 1.05 m	Light Green		
1.05 to 1.20 m	Light Green		

- EARTHWORKS NOTES**
- ALL AREAS OF CUT & FILL INCLUDING ROAD VERGES TO BE SEED TO ACHIEVE 80% STRIKE WITHIN TWO WEEKS AND 80% COVERAGE WITHIN SIX MONTHS.
  - ALL EARTHWORKS TO BE CARRIED OUT IN ACCORDANCE WITH AS3798.
  - ALL TESTING TO BE CARRIED OUT BY CONTRACTOR IN ACCORDANCE WITH AS3798, LEVEL 2 GEOTECHNICAL TESTING.
  - CONTOURS SHOWN DEPICT THE EXISTING SURFACE AND ARE AT 0.2m INTERVALS.
  - NOTIFY ALL RELEVANT AUTHORITIES PRIOR TO COMMENCEMENT OF WORK WITHIN EXISTING ROAD RESERVES.
  - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SERVICES WITHIN THE SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING SERVICES WHETHER SHOWN ON THE DRAWINGS OR NOT.
  - ALL BULK EARTHWORKS LEVELS HAVE BEEN NOMINATED 200mm BELOW BUILDING F.F.L. AND DRIVEWAY FINISHED SURFACE LEVELS. REFER TO STRUCTURAL ENGINEERING PLANS TO CONFIRM BUILDING PAD LEVELS PRIOR TO CONSTRUCTION COMMENCING.

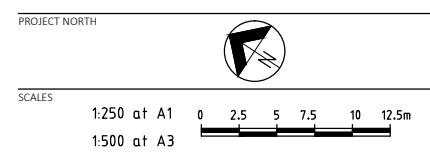
**LEGEND**

- PROPOSED TOP OF BATTER
- PROPOSED BOTTOM OF BATTER
- PROPOSED DRAIN INVERT
- PROPOSED RETAINING WALL
- PROPOSED BULK EARTHWORKS LEVEL
- IL 0.000 PROPOSED INVERT LEVEL
- EX 0.000 EXISTING SURFACE LEVEL
- EX IL 0.000 EXISTING INVERT LEVEL
- EXISTING SEALED PAVEMENT
- EXISTING CONCRETE DRIVEWAY

**WARNING**

THE LOCATION OF ALL EXISTING SERVICES (E.G. TELSTRA, ELECTRICITY, SEWERAGE, WATER & GAS) ARE SHOWN SCHEMATICALLY ON THE DRAWINGS. PRIOR TO AND DURING CONSTRUCTION OBTAIN THE PRECISE LOCATION OF ALL SERVICES (UNDERGROUND & OVERHEAD) FROM THE RELEVANT AUTHORITY RESPONSIBLE FOR THE SERVICE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING SERVICES WHETHER SHOWN ON THE DRAWINGS OR NOT.

LEVELS SHOWN ALLOW PAVEMENT DEPTH OF 200mm - LEVELS TO BE REVISED FOLLOWING CONFIRMATION OF PAVEMENT DESIGN



**FOR APPROVAL**





LEVELS SHOWN ALLOW PAVEMENT DEPTH OF 200mm - LEVELS TO BE REVISED FOLLOWING CONFIRMATION OF PAVEMENT DESIGN



**CUT DEPTH RANGE**  
INDICATES APPROXIMATE AREA TO BE STRIPPED OF TOP SOIL AND CUT TO LEVELS SHOWN ON THIS DWG.

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-0.15 to -0.30 m	Yellow
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-0.45 to -0.60 m	Dark Orange
-0.60 to -0.75 m	Red-Orange
-0.75 to -0.90 m	Red
-0.90 to -1.05 m	Dark Red
-1.05 to -1.20 m	Black

**FILL DEPTH RANGE**  
INDICATES APPROXIMATE AREA TO BE STRIPPED OF TOPSOIL AND FILLED WITH CLEAN MATERIAL TO LEVELS SHOWN ON THIS DWG. FILL TO BE COMPACTED IN 150mm LAYERS. TESTING TO BE SUPPLIED TO SUPERINTENDENT SATISFACTION.

DEPTH RANGE	COLOUR	DEPTH RANGE	COLOUR
0.025 to 0.15 m	Light Green	1.20 to 1.35 m	Dark Green
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0.45 to 0.60 m	Light Green		
0.60 to 0.75 m	Light Green		
0.75 to 0.90 m	Light Green		
0.90 to 1.05 m	Light Green		
1.05 to 1.20 m	Light Green		

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- ALL AREAS OF CUT & FILL INCLUDING ROAD VERGES TO BE SEEDED TO ACHIEVE 80% STRIKE WITHIN TWO WEEKS AND 80% COVERAGE WITHIN SIX MONTHS.
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  - ALL TESTING TO BE CARRIED OUT BY CONTRACTOR IN ACCORDANCE WITH AS3798, LEVEL 2 GEOTECHNICAL TESTING.
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  - ALL BULK EARTHWORKS LEVELS HAVE BEEN NOMINATED 200mm BELOW BUILDING F.F.L. AND DRIVEWAY FINISHED SURFACE LEVELS. REFER TO STRUCTURAL ENGINEERING PLANS TO CONFIRM BUILDING PAD LEVELS PRIOR TO CONSTRUCTION COMMENCING.

**LEGEND**

	PROPOSED TOP OF BATTER
	PROPOSED BOTTOM OF BATTER
	PROPOSED DRAIN INVERT
	PROPOSED RETAINING WALL
	PROPOSED BULK EARTHWORKS LEVEL
	PROPOSED INVERT LEVEL
	EXISTING SURFACE LEVEL
	EXISTING INVERT LEVEL
	EXISTING SEALED PAVEMENT
	EXISTING CONCRETE DRIVEWAY

**WARNING**

THE LOCATION OF ALL EXISTING SERVICES (E.G. TELSTRA, ELECTRICITY, SEWERAGE, WATER & GAS) ARE SHOWN SCHEMATICALLY ON THE DRAWINGS. PRIOR TO AND DURING CONSTRUCTION OBTAIN THE PRECISE LOCATION OF ALL SERVICES (UNDERGROUND & OVERHEAD) FROM THE RELEVANT AUTHORITY RESPONSIBLE FOR THE SERVICE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING SERVICES WHETHER SHOWN ON THE DRAWINGS OR NOT.

**Gladstone Ports Corporation**

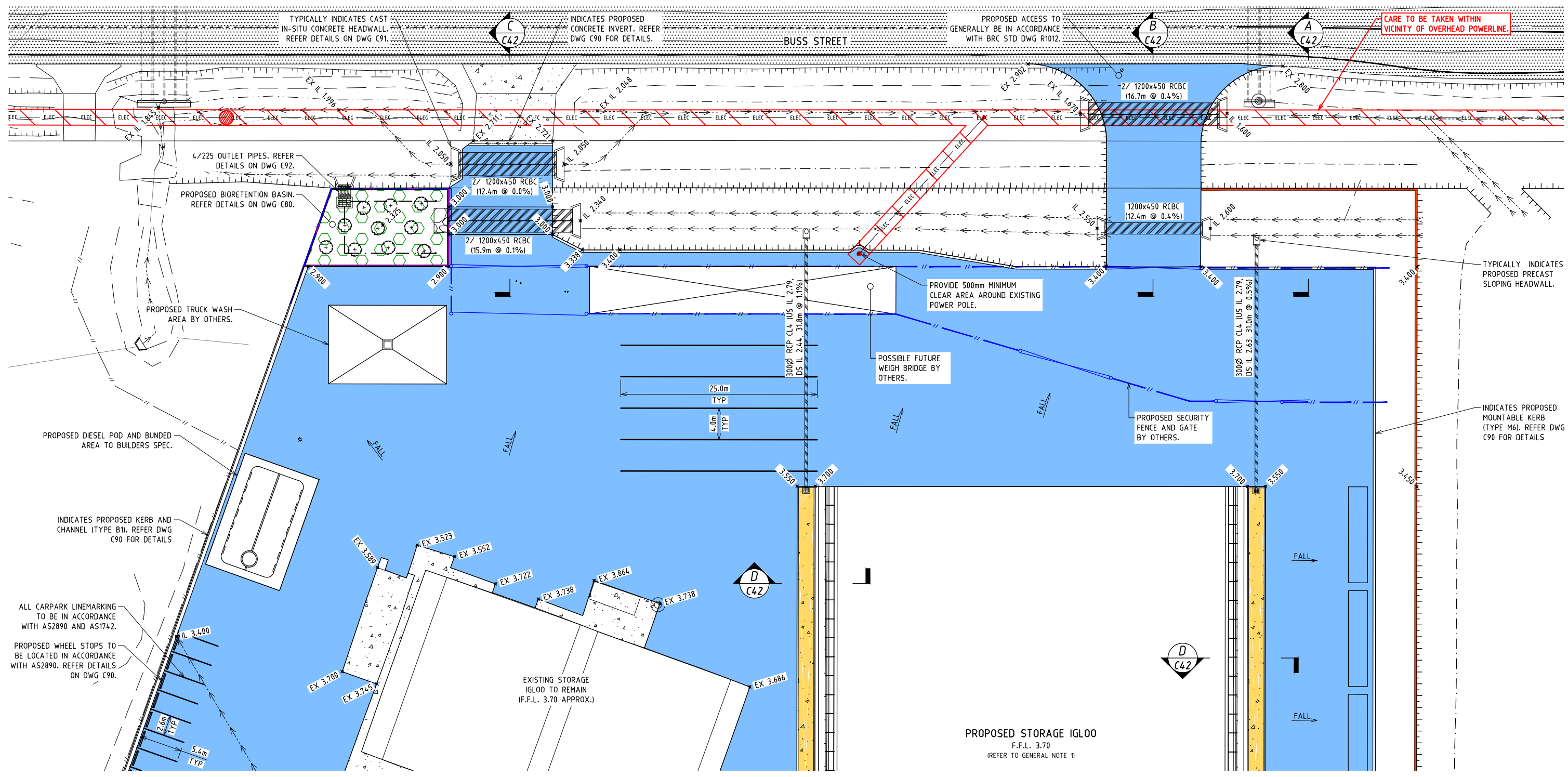
**APPROVED**

Name: Trudi Smith  
Date: 8:12am 22/11/2022

PROJECT NORTH

SCALES: 1:250 at A1, 1:500 at A3

STATUS: **FOR APPROVAL**



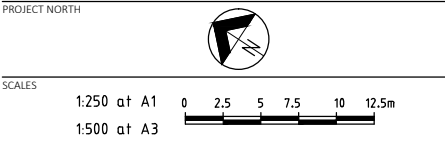
REFER DWG C41 FOR CONTINUATION

**LEGEND**

	PROPOSED SEALED PAVEMENT. REFER DETAILS ON DWG C90		EXISTING SEALED PAVEMENT
	PROPOSED CONCRETE DRAIN. REFER DETAILS ON DWG C92		EXISTING CONCRETE DRIVEWAY
	PROPOSED TOP OF BATTER		EXISTING OVERHEAD ELECTRICAL SERVICE DRAWN FROM DBYD RECORDS
	PROPOSED BOTTOM OF BATTER		
	PROPOSED DRAIN INVERT		
	PROPOSED STORMWATER PIPE		
	PROPOSED RETAINING WALL		
✱ 0.000	PROPOSED FINISHED SURFACE LEVEL		
✱ IL 0.000	PROPOSED INVERT LEVEL		
✱ EX 0.000	EXISTING SURFACE LEVEL		
✱ EX IL 0.000	EXISTING INVERT LEVEL		

- GENERAL NOTES**
- F.F.L. (FINISHED FLOOR LEVEL) SHOWN IS ABSOLUTE LOWEST LEVEL IN SHED. ALL INTERNAL/EXTERNAL STEPS IN FLOOR LEVEL TO STEP UP FROM THE NOMINATED F.F.L.
  - ALL LEVELS SHOWN ARE FINISHED SURFACE LEVELS, U.N.O.
  - VERIFY SET OUT DIMENSIONS SHOWN ON THE DRAWINGS BEFORE SITE WORKS, CONSTRUCTION AND FABRICATION COMMENCES. REFER ANY DISCREPANCY TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
  - ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH RELEVANT STANDARD SPECIFICATIONS AND DRAWINGS.
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  - EXISTING TREES TO BE APPROPRIATELY REMOVED FROM SITE AS REQUIRED. DISTURBED GROUND TO BE APPROPRIATELY BACKFILLED AND COMPACTED TO COMPLY WITH RELEVANT STANDARDS AND REQUIREMENTS.
  - CONTACT EMPIRE ENGINEERING TO DISCUSS ADDITIONAL OPTIONS FOR DIMENSION AND SETOUT.
  - PROVIDE WATERPROOFING TO BUILDERS SPEC. WHERE REQUIRED.

- EXISTING SERVICES NOTES**
- EXISTING SEWER AND WATER PROPERTY CONNECTION TO BE RE-USED PENDING COUNCIL APPROVAL. LOCATION TBC ON SITE.
- WARNING**
- THE LOCATION OF ALL EXISTING SERVICES (E.G. TELSTRA, ELECTRICITY, SEWERAGE, WATER & GAS) ARE SHOWN SCHEMATICALLY ON THE DRAWINGS. PRIOR TO AND DURING CONSTRUCTION OBTAIN THE PRECISE LOCATION OF ALL SERVICES (UNDERGROUND & OVERHEAD) FROM THE RELEVANT AUTHORITY RESPONSIBLE FOR THE SERVICE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING SERVICES WHETHER SHOWN ON THE DRAWINGS OR NOT.



**FOR APPROVAL**

ISSUE	AMENDMENT	DATE	DFT
A	FOR APPROVAL	08.08.22	LJM
DRT	DRAFT ONLY	05.07.22	LJM

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**NOTES**

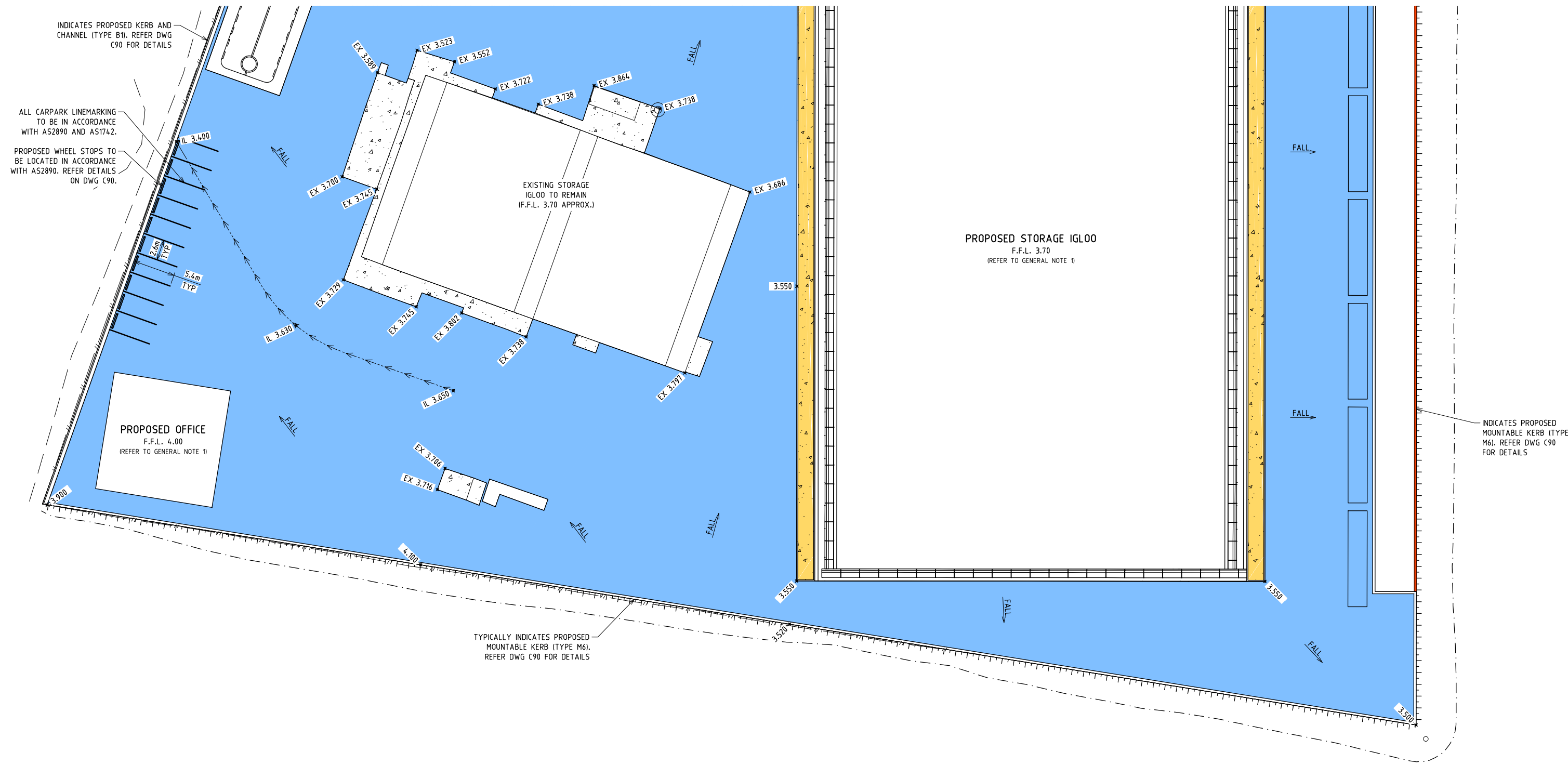
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CLIENT:	OKARA PTY LTD	DESIGNED:	RAW	DRAWN:	LJM	CHECKED:	CPS
PROJECT:	PROPOSED BULK STORAGE FACILITY BUSS STREET BURNETT HEADS	APPROVED:					
							ROSS WEGNER / RPEQ: 8042

TITLE:  
DETAIL LAYOUT PLAN  
SHEET 1 OF 2

DATE:	JULY 2022	SCALE:	AS SHOWN
PROJECT NO:	CC-5966	DRAWING NO:	C40
REV:			A





**LEGEND**

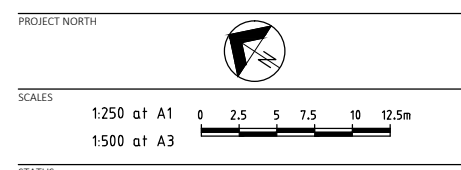
	PROPOSED SEALED PAVEMENT. REFER DETAILS ON DWG C90
	PROPOSED CONCRETE DRAIN. REFER DETAILS ON DWG C92
	PROPOSED TOP OF BATTER
	PROPOSED BOTTOM OF BATTER
	PROPOSED DRAIN INVERT
	PROPOSED STORMWATER PIPE
	PROPOSED RETAINING WALL
✱ 0.000	PROPOSED FINISHED SURFACE LEVEL
✱ IL 0.000	PROPOSED INVERT LEVEL
✱ EX 0.000	EXISTING SURFACE LEVEL
✱ EX IL 0.000	EXISTING INVERT LEVEL

- GENERAL NOTES**
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  - PROVIDE WATERPROOFING TO BUILDERS SPEC. WHERE REQUIRED.

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- EXISTING SEWER AND WATER PROPERTY CONNECTION TO BE RE-USED PENDING COUNCIL APPROVAL. LOCATION TBC ON SITE.
- WARNING**
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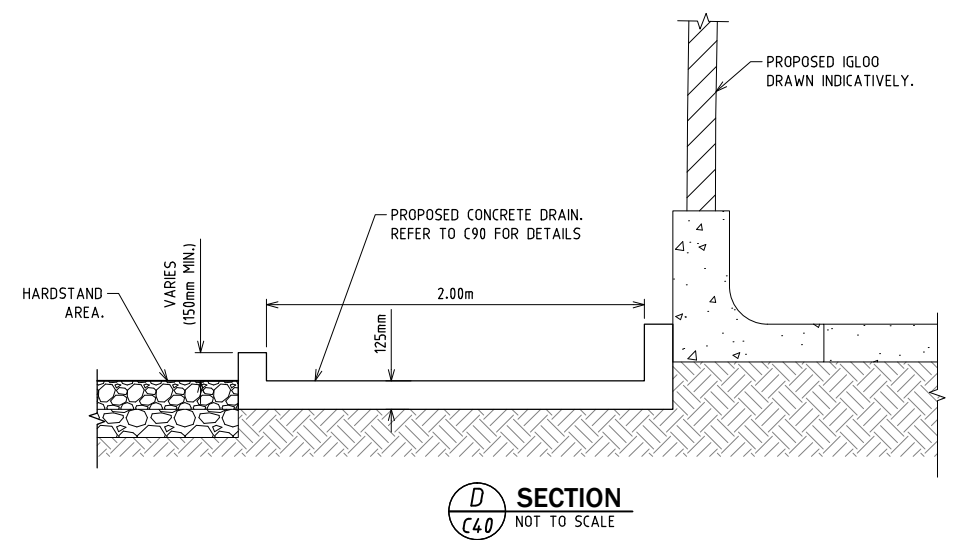
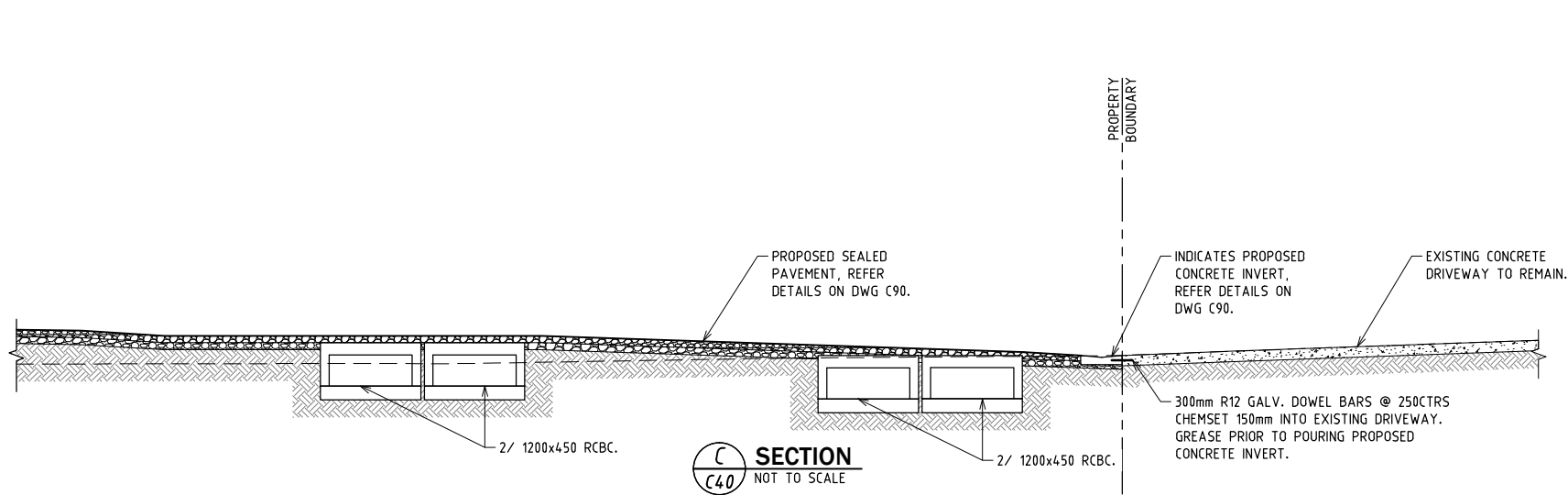
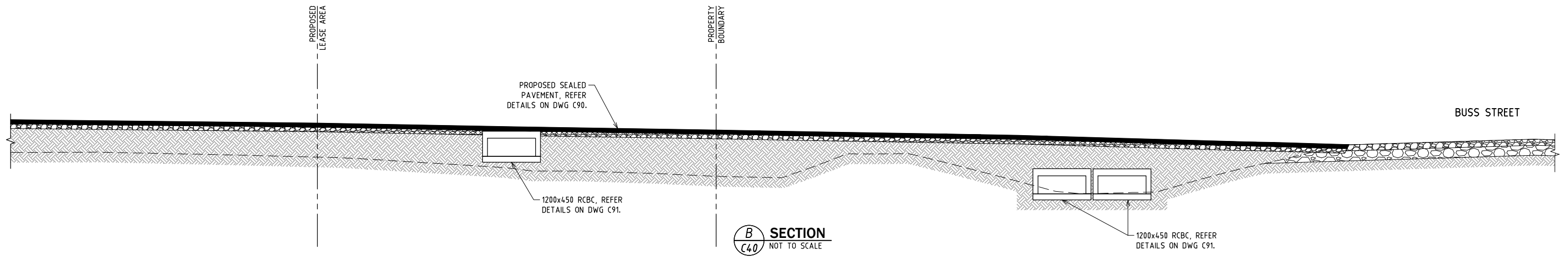
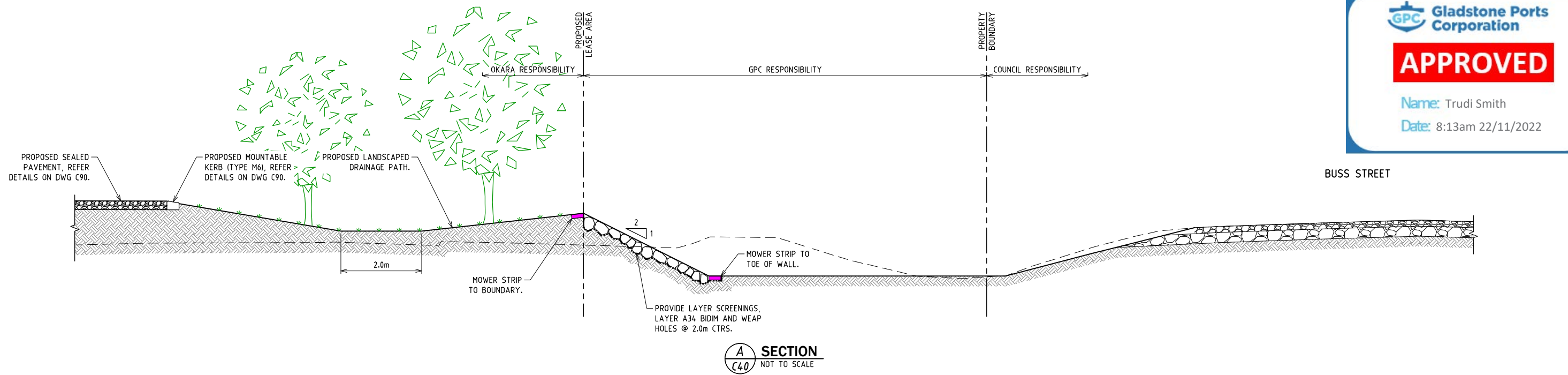
**APPROVED**

Name: Trudi Smith  
Date: 8:13am 22/11/2022



**FOR APPROVAL**

ISSUE	AMENDMENT	DATE	DFT	<p><b>EMPIRE ENGINEERING</b> 666 Barolin Street, Bundaberg, Qld PO Box 2052 Bundaberg Qld 4670 T: 07 53444880 E: admin.cc@empireengineering.com.au</p> <p><b>GYMPIE</b> 3/19 Tozer Street, Gympie, Qld PO Box 2052 Bundaberg Qld 4670 T: 07 5477 6487 E: admin.cc@empireengineering.com.au</p> <p><b>SUNSHINE COAST</b> The Corporate Centre, 11 Norval Ct. Qld PO Box 102 Mooloolaba Qld 4557 T: 07 5477 6487 E: admin.cc@empireengineering.com.au</p>	CLIENT: OKARA PTY LTD PROJECT: PROPOSED BULK STORAGE FACILITY BUSS STREET BURNETT HEADS	DESIGNED: RAW DRAWN: LJM CHECKED: CPS APPROVED: ROSS WEGNER / RPEQ: 8042	TITLE: DETAIL LAYOUT PLAN SHEET 2 OF 2	DATE: JULY 2022 PROJECT NO: CC-5966 SCALE: AS SHOWN DRAWING NO: C41 REV: A
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STATUS **FOR APPROVAL**

ISSUE	AMENDMENT	DATE	DFT
A	FOR APPROVAL	08.04.22	LJM
DRT	DRAFT ONLY	05.07.22	LJM

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CLIENT: OKARA PTY LTD  
PROJECT: PROPOSED BULK STORAGE FACILITY  
BUSS STREET  
BURNETT HEADS

DESIGNED: RAW  
DRAWN: LJM  
CHECKED: CPS  
APPROVED:  
ROSS WEGNER / RPEQ: 8042

TITLE: DETAIL SECTIONS

DATE:	JULY 2022	SCALE:	AS SHOWN
PROJECT NO:	CC-5966	DRAWING NO:	C42
REV:			A

**CORE FUNCTIONAL BIORETENTION  
PLANT SPECIES LIST**

SPECIES NAME	COMMON NAME	TYPE
CAREX APPRESSA	TALL SEDGE	GROUND COVER
FICINIA NODOSA	KNOBBY CLUB-SEDGE	GROUND COVER - SEDGE
GAHNIA SIBERIANA	RED-FRUIT SAW-SEDGE	GROUND COVER - SEDGE
IMPERATA CYLINDRICA	BLADY GRASS	GROUND COVER - GRASS
LEPIDOSPERMA LATERALE	VARIABLE SWORD-SEDGE	GROUND COVER - SEDGE
LOMANDRA HYSTRIX	GREEN MAT-RUSH	GROUND COVER - HERB
LOMANDRA LONGIFOLIA	SPINY-HEADED MAT-RUSH	GROUND COVER - HERB
POA LABILLARDIERI	COMMON TUSsock GRASS	GROUND COVER - GRASS
THEMEDA AUSTRALIS	KANGAROO GRASS	GROUND COVER - GRASS
CALLISTEMON SIEBERI	RIVER BOTTLEBRUSH	SHRUB
LEPTOSPERMUM LIVERSIDGEI	OLIVE TEA-TREE	SHRUB
BANKSIA ROBUR	SWAMP BANKSIA	SMALL TREE
MELALEUCA LINARIIFOLIA	FLAX-LEAVED PAPERBARK	SMALL TREE
MELALEUCA VIRIDIFLORA	BORAD LEAVED TEA-TREE	SMALL TREE
CASUARINA GLAUCA	SWAMP OAK	TREE
CASUARINA CUNNINGHAMIANA	RIVER SHEOAK	TREE
LOPHOSTEMON SUAVEOLENS	SWAMP MAHOGANY	TREE
MELALEUCA BRACTEATA	BLACK TEA-TREE	TREE
MELALEUCA QUINQUENERVIA	BROAD-LEAVED PAPER BARK	TREE

<b>FILTER MEDIA</b> SANDY LOAM HYDRAULIC CONDUCTIVITY OF 200mm/HR
<b>TRANSITION LAYER</b> COARSE SAND AVERAGE PARTICLE SIZE 1mmØ, WITH LESS THAN 2% FINES
<b>SATURATED DRAINAGE LAYER</b> WASHED SCREENINGS 5mmØ PARTICLE SIZE 2% FINE STRAW (BY VOLUME) 5% HARDWOOD CHIPS (BY VOLUME)
<b>NOTE:</b> BIORETENTION MEDIA TO BE IN ACCORDANCE WITH SECTION 5.3.4 OF HEALTHY WATERWAYS "WSUD TECHNICAL GUIDELINES IN SEQ".

**APPROVED**

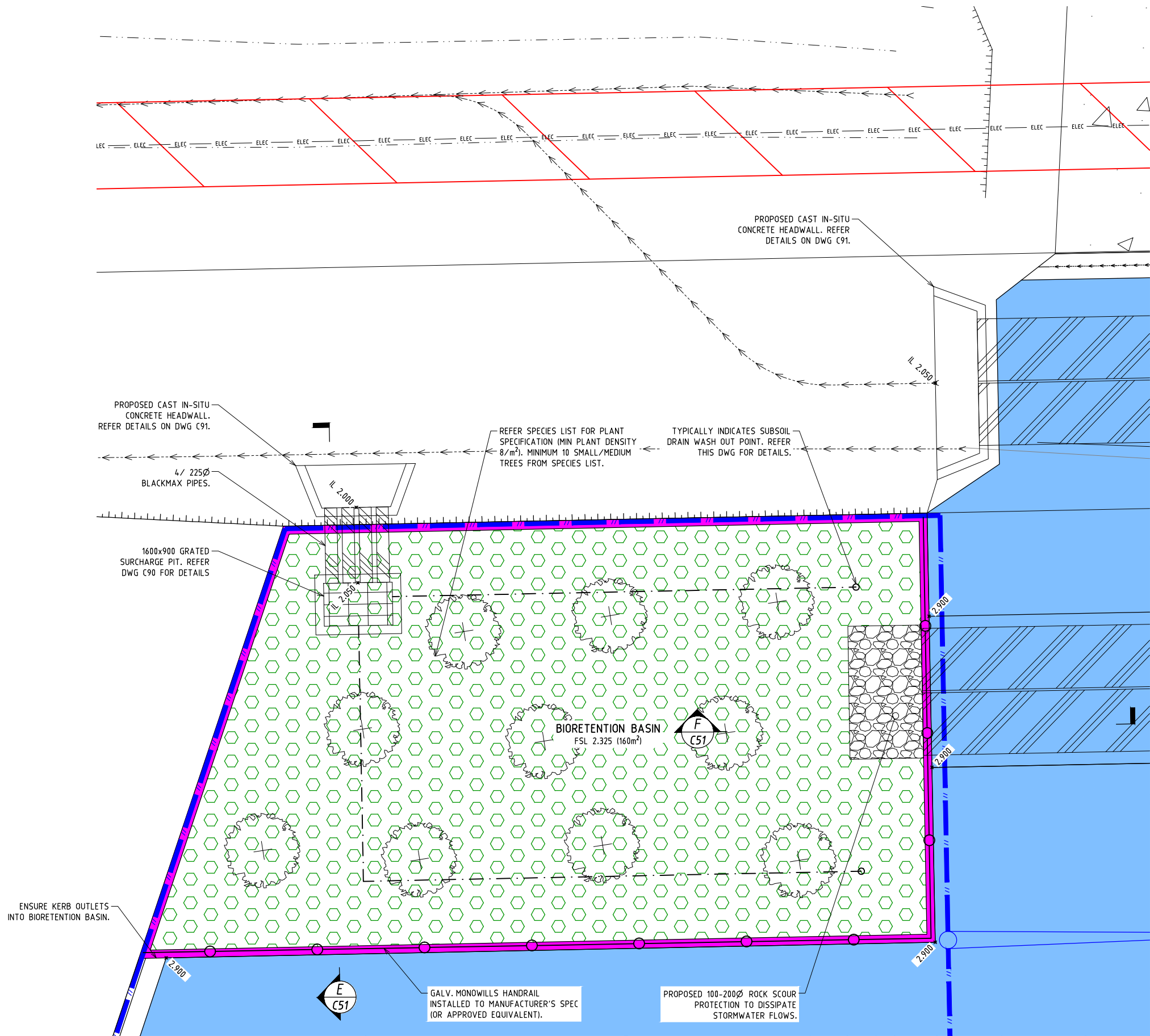
Name: Trudi Smith  
Date: 8:13am 22/11/2022

**LEGEND**

	PROPOSED SEALED PAVEMENT. REFER DETAILS ON DWG C90
	PROPOSED STORMWATER PIPE
	PROPOSED RETAINING WALL
✕ 0.000	PROPOSED FINISHED SURFACE LEVEL
✕ IL 0.000	PROPOSED INVERT LEVEL

**WARNING**

THE LOCATION OF ALL EXISTING SERVICES (E.G. TELSTRA, ELECTRICITY, SEWERAGE, WATER & GAS) ARE SHOWN SCHEMATICALLY ON THE DRAWINGS. PRIOR TO AND DURING CONSTRUCTION OBTAIN THE PRECISE LOCATION OF ALL SERVICES (UNDERGROUND & OVERHEAD) FROM THE RELEVANT AUTHORITY RESPONSIBLE FOR THE SERVICE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING SERVICES WHETHER SHOWN ON THE DRAWINGS OR NOT.



PROJECT NORTH

SCALES: 1:250 at A1, 1:500 at A3

STATUS

0 2.5 5 7.5 10 12.5m

**FOR APPROVAL**

ISSUE	AMENDMENT	DATE	DFT
A	FOR APPROVAL	08.08.22	LJM
DRT	DRAFT ONLY	05.07.22	LJM

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CLIENT: OKARA PTY LTD  
PROJECT: PROPOSED BULK STORAGE FACILITY  
BUSS STREET  
BURNETT HEADS

DESIGNED: RAW  
DRAWN: LJM  
CHECKED: CPS  
APPROVED:  
ROSS WEGNER / RPEQ: 8042

TITLE:  
**BIORETENTION BASIN DETAIL PLAN**

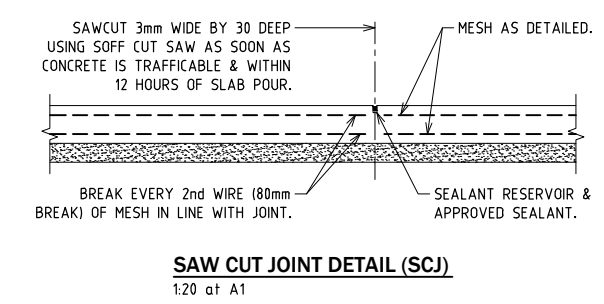
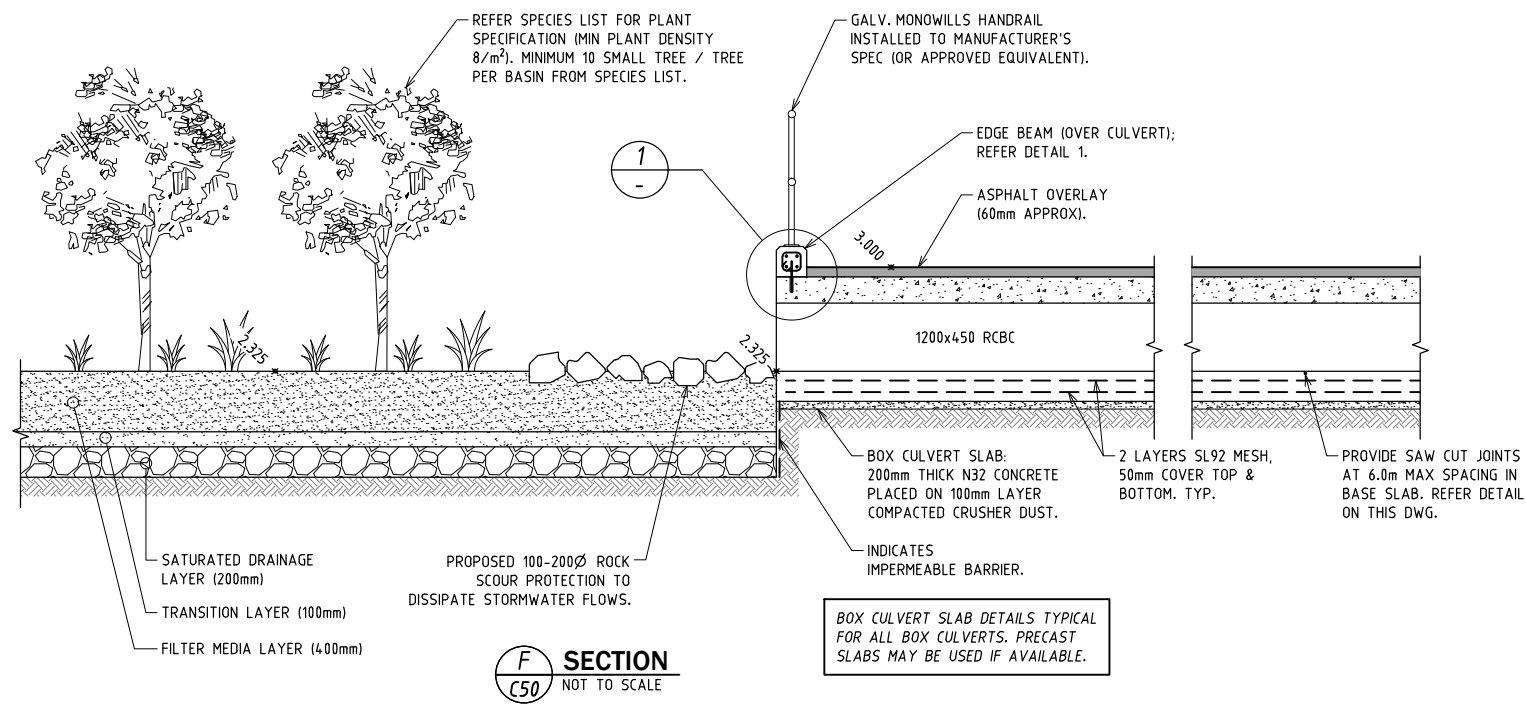
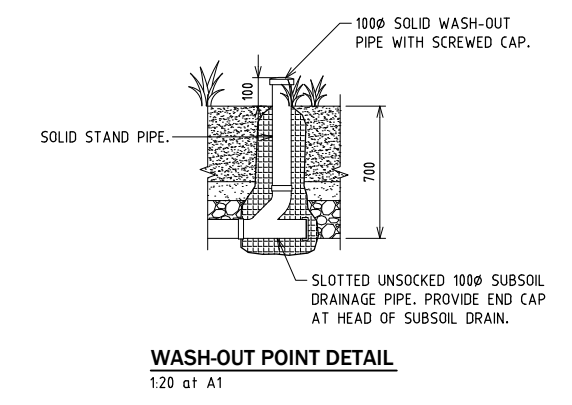
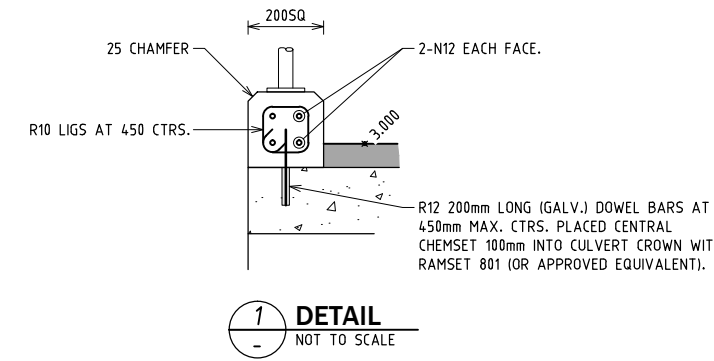
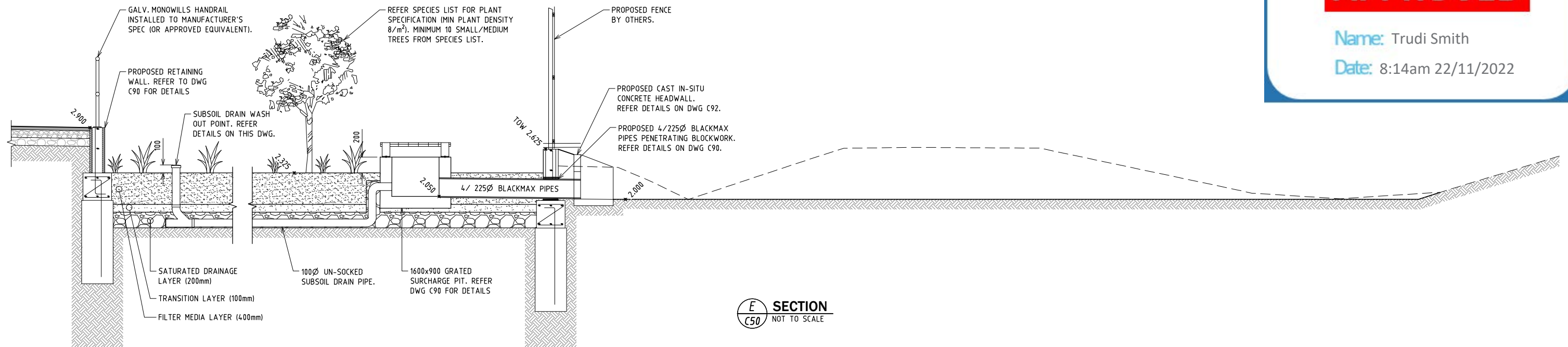
DATE: JULY 2022	SCALE: AS SHOWN
PROJECT NO: CC-5966	DRAWING NO: C50
REV: A	



**APPROVED**

Name: Trudi Smith

Date: 8:14am 22/11/2022



STATUS **FOR APPROVAL**

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FOR APPROVAL	08.04.22	LJM
DRAFT ONLY	05.07.22	LJM
ISSUE AMENDMENT	DATE	DFT

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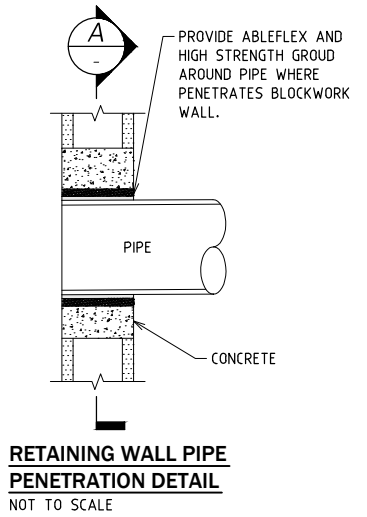
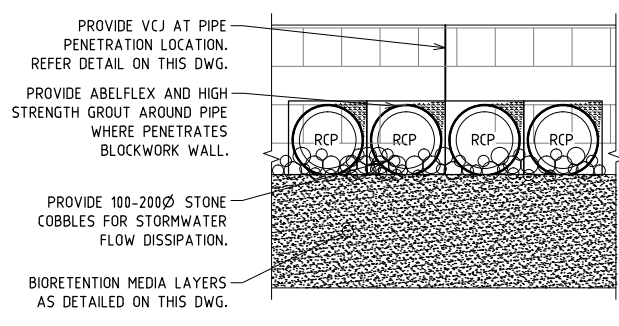
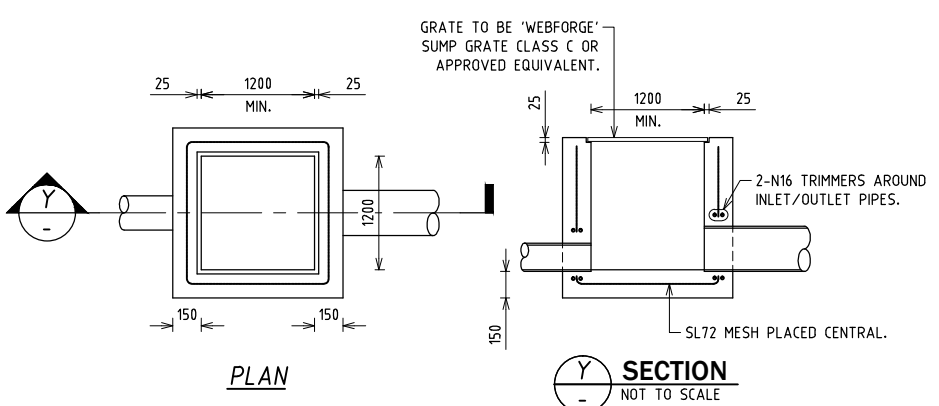
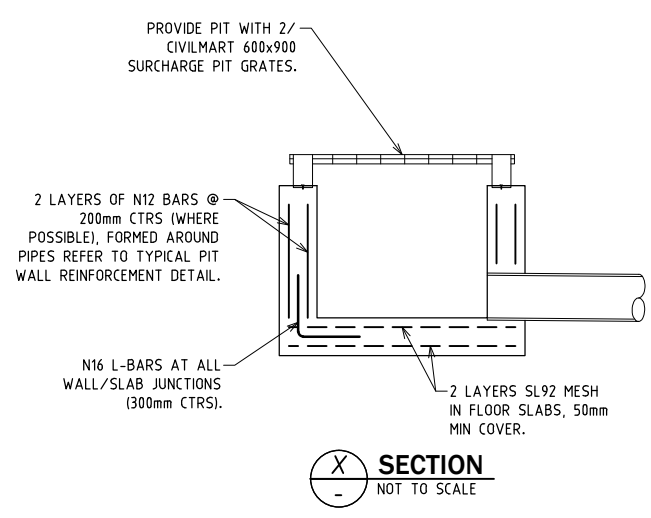
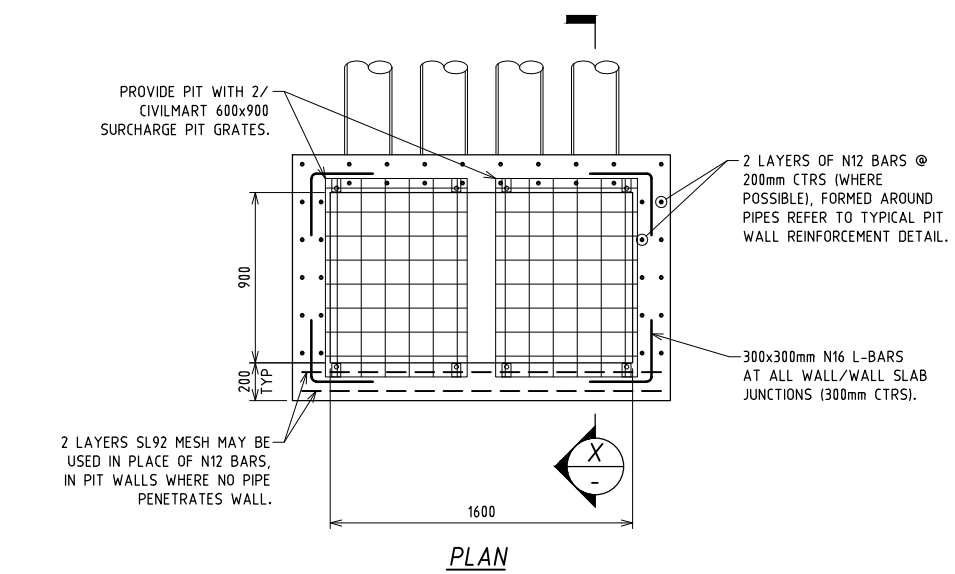
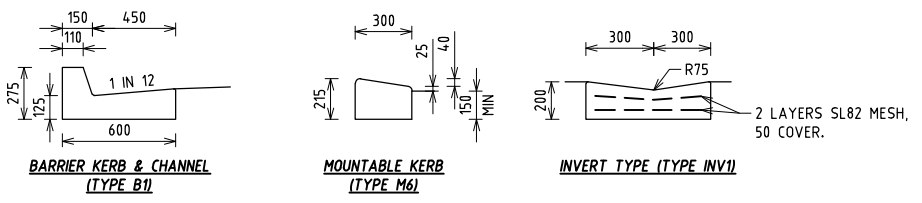
STANDARD DETAILS REFERENCE TABLE		
ALL REFERENCED STANDARD PLANS ARE AVAILABLE ON REQUEST		
ITEM	PLAN TYPE	PLAN No.
<b>ROAD WORKS</b>		
DRIVEWAYS - INDUSTRIAL AND COMMERCIAL	BRC	R-1012
<b>DRAINAGE WORKS</b>		
KERB AND CHANNEL	BRC	R-1020
EXCAVATION, BEDDING AND BACKFILL OF PIPES	IPWEA	D-0030
<b>MISCELLANEOUS</b>		
SEDIMENT CONTROL DEVICES	IPWEA	DS-040, DS-041
PUBLIC UTILITIES CONDUIT ALIGNMENTS	BRC	R1050
PUBLIC UTILITIES ROAD CROSSING DETAILS	BRC	R1051

**CONCRETE NOTES**

1. CONCRETE N32 FOR DRIVEWAYS. N25 FOR PATHWAYS. IN REFERENCE TO AS1379/AS3600
2. ALL CONCRETE TO BE BROOM FINISHED. FINISHES OTHER THAN BROOM CONCRETE ARE TO BE SPECIFICALLY APPROVED BY SUPERINTENDENT, WITH REGARDS FOR LONG TERM SKID RESISTANCE AND DURABILITY
3. PATTERN LINES TO BE SQUARE TO SIDES & FINISHED WITH APPROVED GROOVING TOOL
4. 3-N12 TRIMMER BARS 2.0m LONG TO BE PLACED AT ALL RE-ENTRANT CORNERS

**DRAINAGE PIT NOTES**

1. ALL PIT REINFORCEMENT INFORMATION AS DETAILED.
2. ALL CONCRETE TO BE N32 GRADE (min.) & GRATES TO BE HOT DIPPED GALVANIZED.



**PAVEMENT NOTES**

1. BASE & SUB BASE GRAVEL PAVEMENT TO BE COMPACTED IN 150mm (MAX) LAYERS.
2. GEOTECHNICAL TESTING TO BE COMPLETED DURING CONSTRUCTION TO SUPERINTENDENT SATISFACTION.
3. SUBGRADE TO BE INSPECTED AND APPROVED PRIOR TO PAVEMENT CONSTRUCTION.
4. FURTHER TREATMENT TO THE SUBGRADE MAY BE NEEDED TO ACHIEVE ADEQUATE BEARING/COMPACTION.

**ROADWORKS NOTES:**

(a) SUBGRADE  
SUBGRADE SHALL BE PROOF ROLLED AND COMPACTED TO 98% STANDARD MAX DRY DENSITY TO A DEPTH OF 300mm. ALL SUBGRADE AREAS BELOW SEALED ROADWAYS SHALL BE INSPECTED AND APPROVED BY THE SUPERINTENDENT PRIOR TO THE PLACEMENT OF PAVEMENT MATERIAL.

(b) GRAVEL PAVEMENT  
PAVEMENT MATERIAL SHALL COMPLY WITH DEPARTMENT OF MAIN ROADS SPECIFICATIONS FOR A BASE COURSE CLASS 2 MATERIAL. QUALITY OF MATERIALS AND COMPACTION TESTS SHALL BE CARRIED OUT AS SPECIFIED AT THE CONTRACTORS COST.

(c) PAVEMENT TESTING  
COMPACTION TESTS TO AS 1289 AND AS3798-1996, CLAUSE 7.4  
ROADWAY: TESTING TO BE CARRIED OUT GENERALLY EVERY 50m FOR EACH INDIVIDUAL LAYER WITH MINIMUM ONE TEST ON EACH LAYER PER ROAD U.N.O. (SUB-GRADE, SUB-BASE, BASE).  
LABORATORY REFERENCE DENSITY SAMPLE 1 PER 3 COMPACTION TESTS MAXIMUM. COMPACTION TEST RESULTS SHALL BE PROVIDED TO THE SUPERINTENDENT AND ACCEPTED BY BOTH SUPERINTENDENT AND DEPARTMENT OF MAIN ROADS.

(d) SURFACE LEVELS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION COMMENCING.

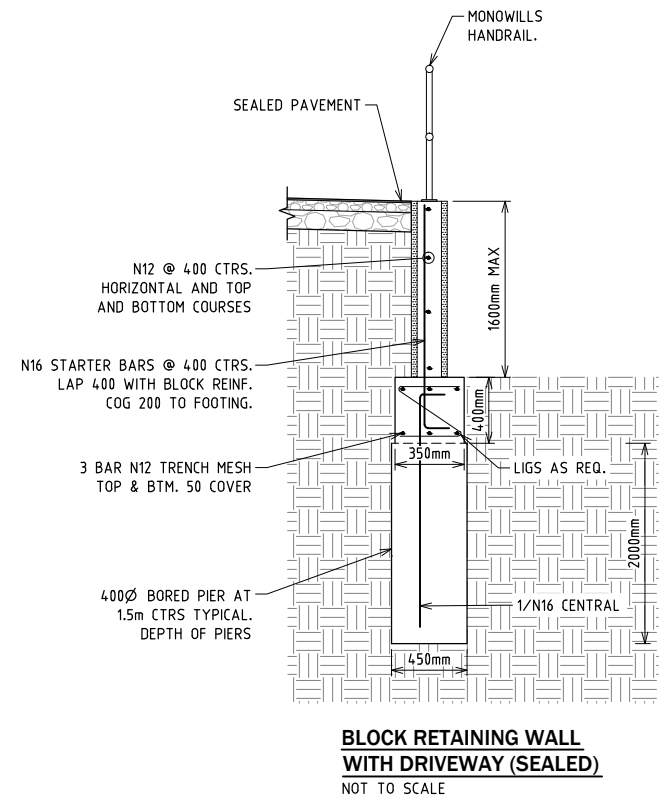
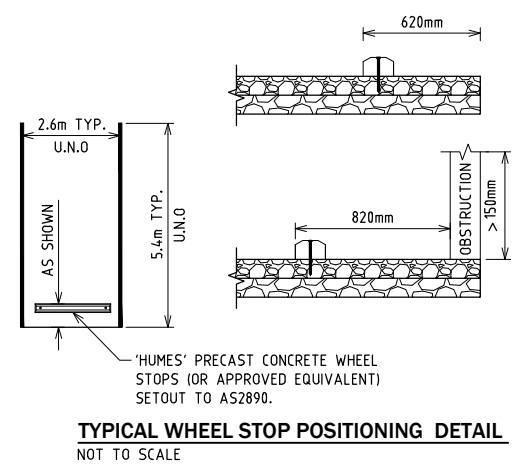
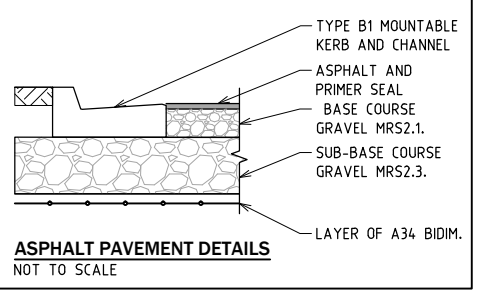
**ASPHALT SURFACING NOTES**

1. ASPHALT SURFACING SHALL BE IN ACCORDANCE WITH MRTS.30 THE SEAL SHALL CONSIST OF PRIMER AND ASPHALT SEAL.
2. PREPARE SURFACE FOR PRIME AND TACK COAT INCLUDING BROOMING AND WATERING.
3. SUPPLY, HEAT & SPRAY CUTBACK BITUMEN PRIMER, CLASS 170 BITUMEN/KEROSENE 100 PARTS TO 100 PARTS SPRAY RATE 1.0L/m<sup>2</sup>.

**SEALED PAVEMENT DESIGN**

40mm AC SURFACING  
140mm BASE COURSE MRS 2.1  
320mm SUB-BASE COURSE MRS TYPE 2.3  
LAYER A34 BINDER EXCLUDED ON AREAS OF SUITABLE SUBGRADE DETERMINED ON SITE BY SUPERINTENDENT

PAVEMENT DESIGN BASED ON:  
ROAD HIERARCHY - INDUSTRIAL ACCESS  
DESIGN TRAFFIC - 5x10<sup>6</sup> SA.  
DESIGN CBR - 5. (TO BE CONFIRMED ON SITE)



**Gladstone Ports Corporation**

**APPROVED**

Name: Trudi Smith  
Date: 8:14am 22/11/2022

**FOR APPROVAL**

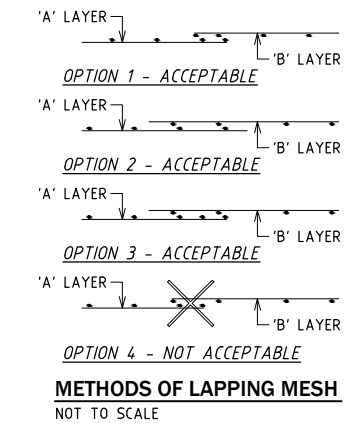
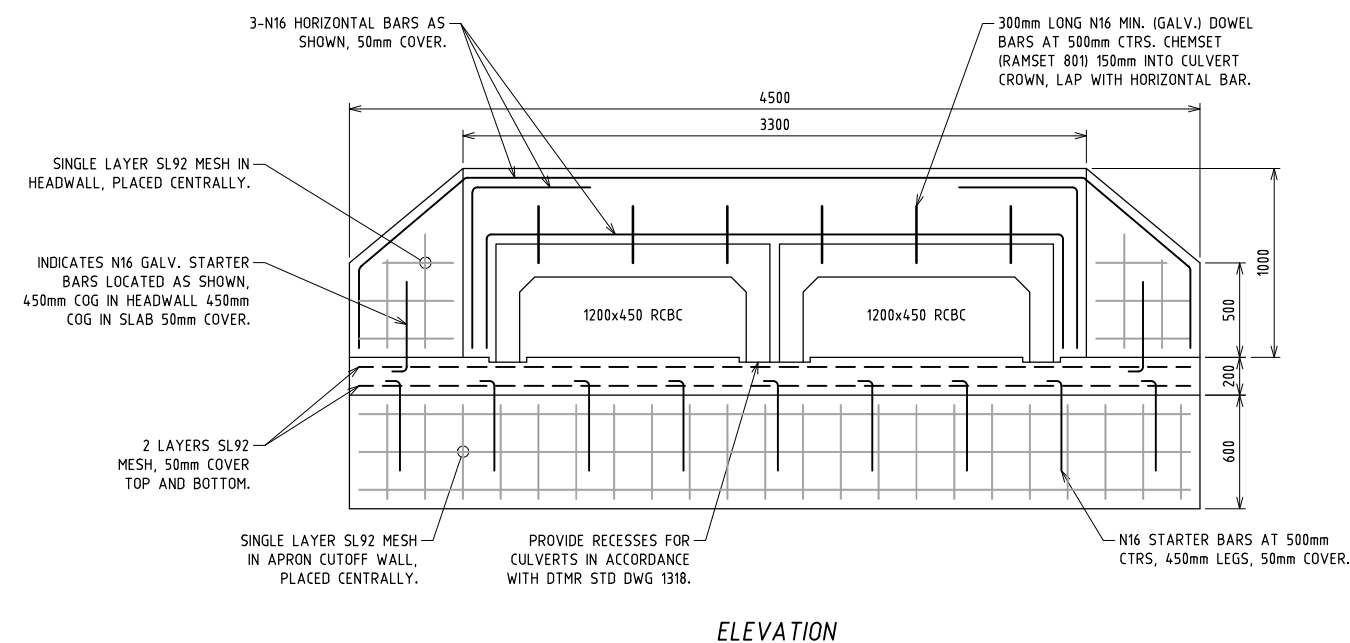
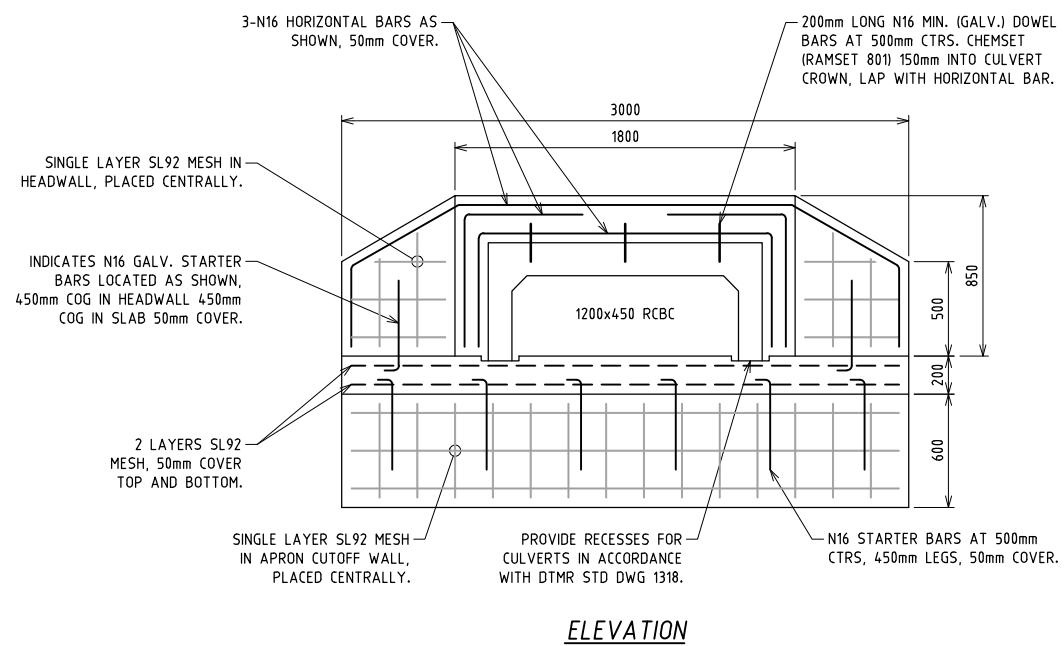
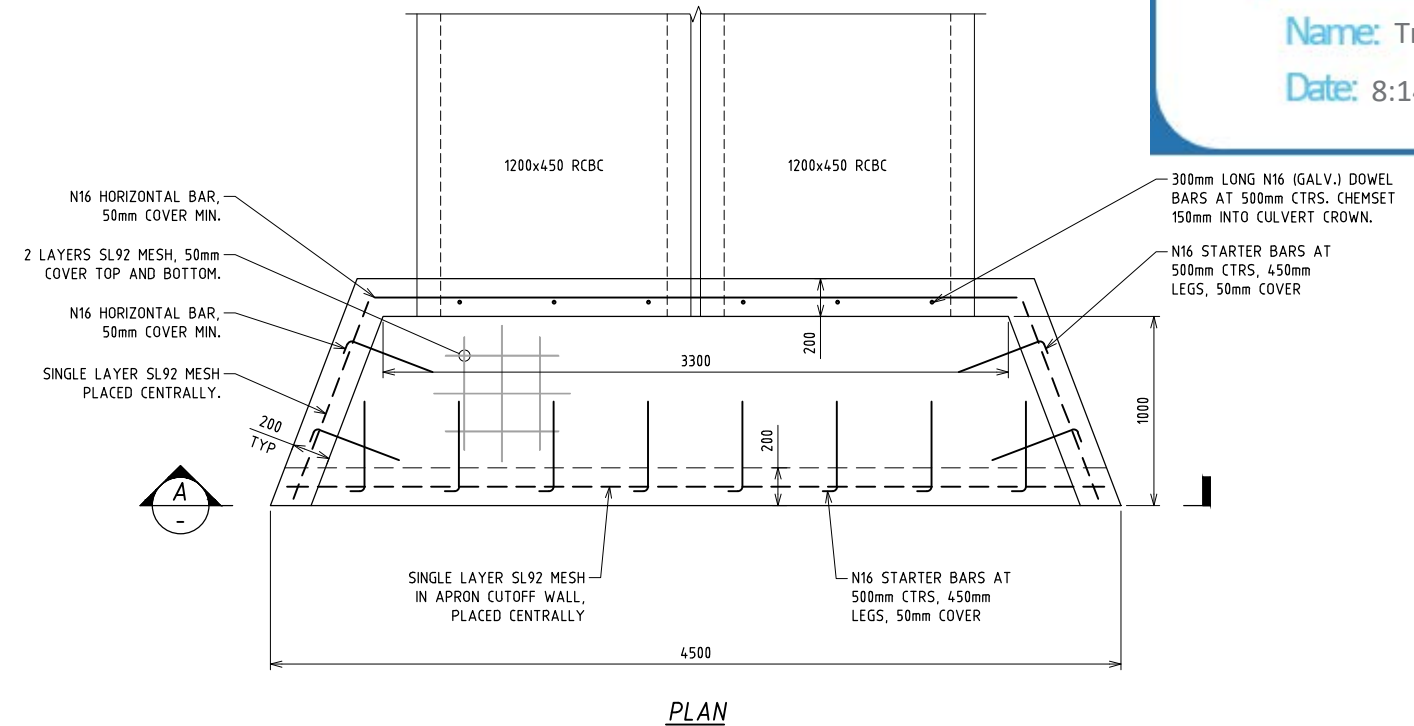
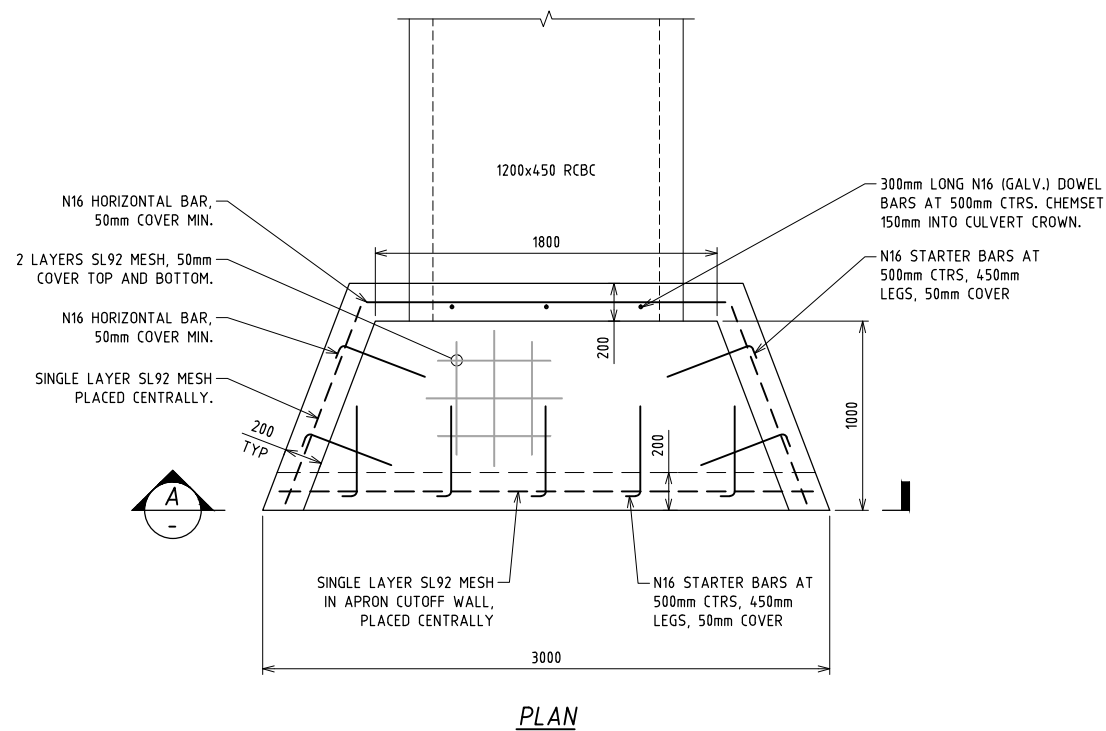
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**APPROVED**

Name: Trudi Smith

Date: 8:14am 22/11/2022



**TYPICAL SINGLE CELL 1200x450 CULVERT HEADWALL DETAILED PLAN VIEW**  
NOT TO SCALE  
HEADWALL REINFORCEMENT DETAILS ARE TO BE ADOPTED AT BOTH ENDS OF CULVERT.

**TYPICAL TWIN CELL 1200x450 CULVERT HEADWALL DETAILED PLAN VIEW**  
NOT TO SCALE  
HEADWALL REINFORCEMENT DETAILS ARE TO BE ADOPTED AT BOTH ENDS OF CULVERT.

ISSUE	AMENDMENT	DATE	DFT
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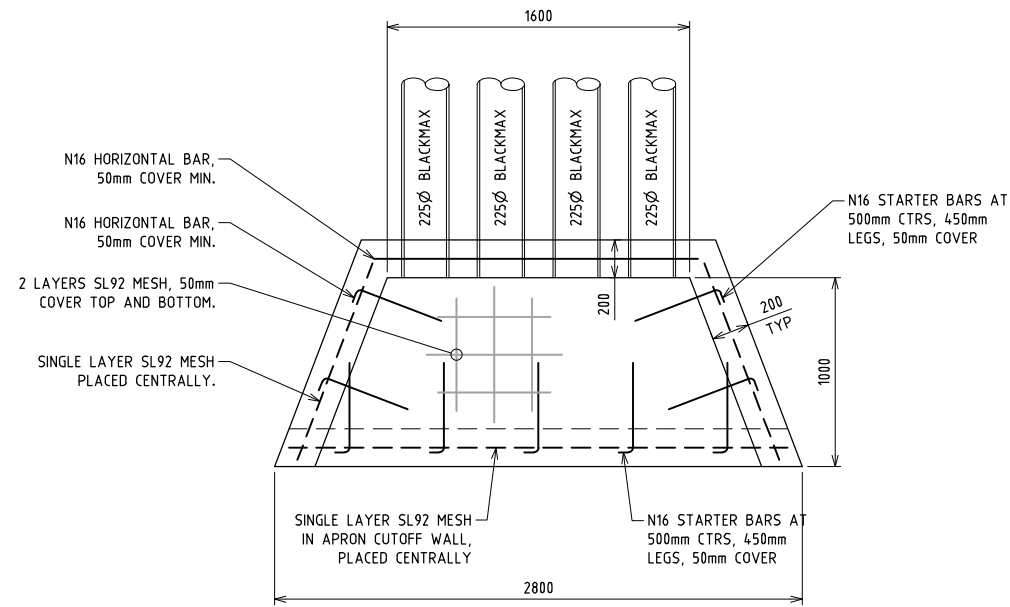
CLIENT: OKARA PTY LTD  
PROJECT: PROPOSED BULK STORAGE FACILITY  
BUSS STREET  
BURNETT HEADS

DESIGNED: RAW  
DRAWN: LJM  
CHECKED: CPS  
APPROVED:  
ROSS WEGNER / RPEQ: 8042

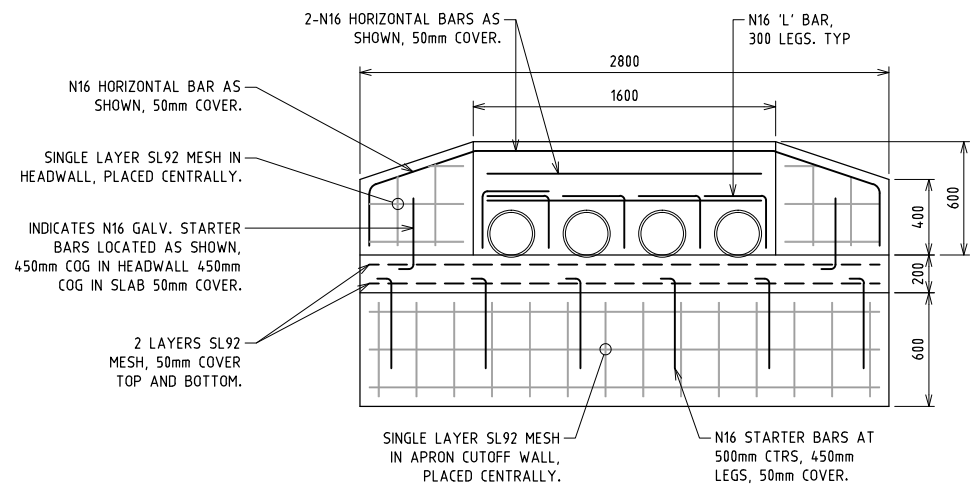
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STANDARD DETAILS PLAN  
SHEET 2 OF 3

DATE:	JULY 2022	SCALE:	AS SHOWN
PROJECT NO:	CC-5966	DRAWING NO:	C91
REV:			A

**FOR APPROVAL**

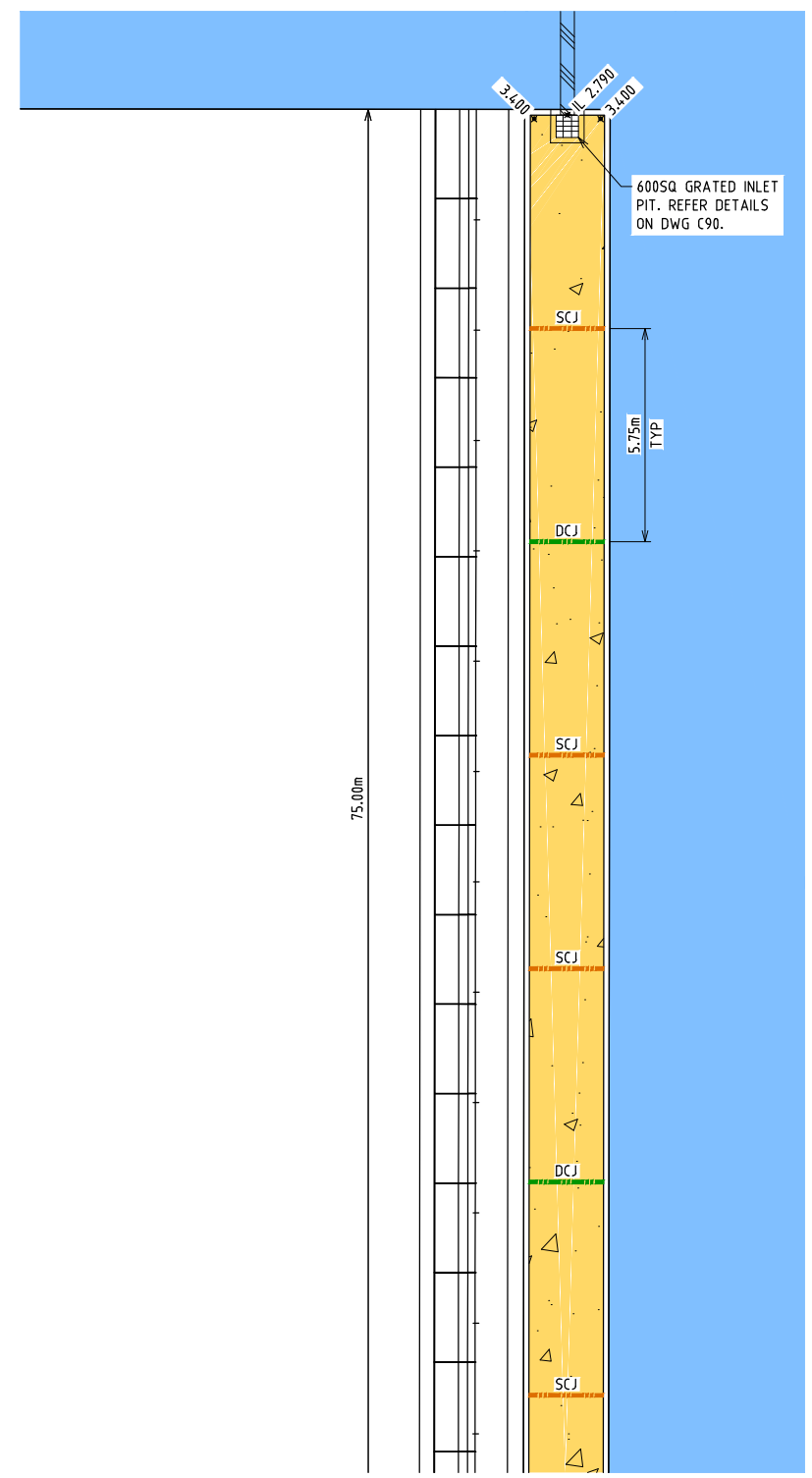


PLAN

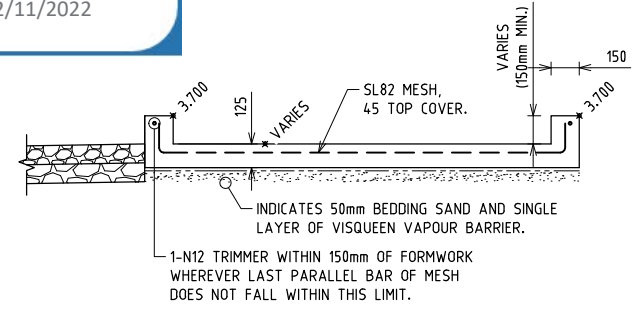
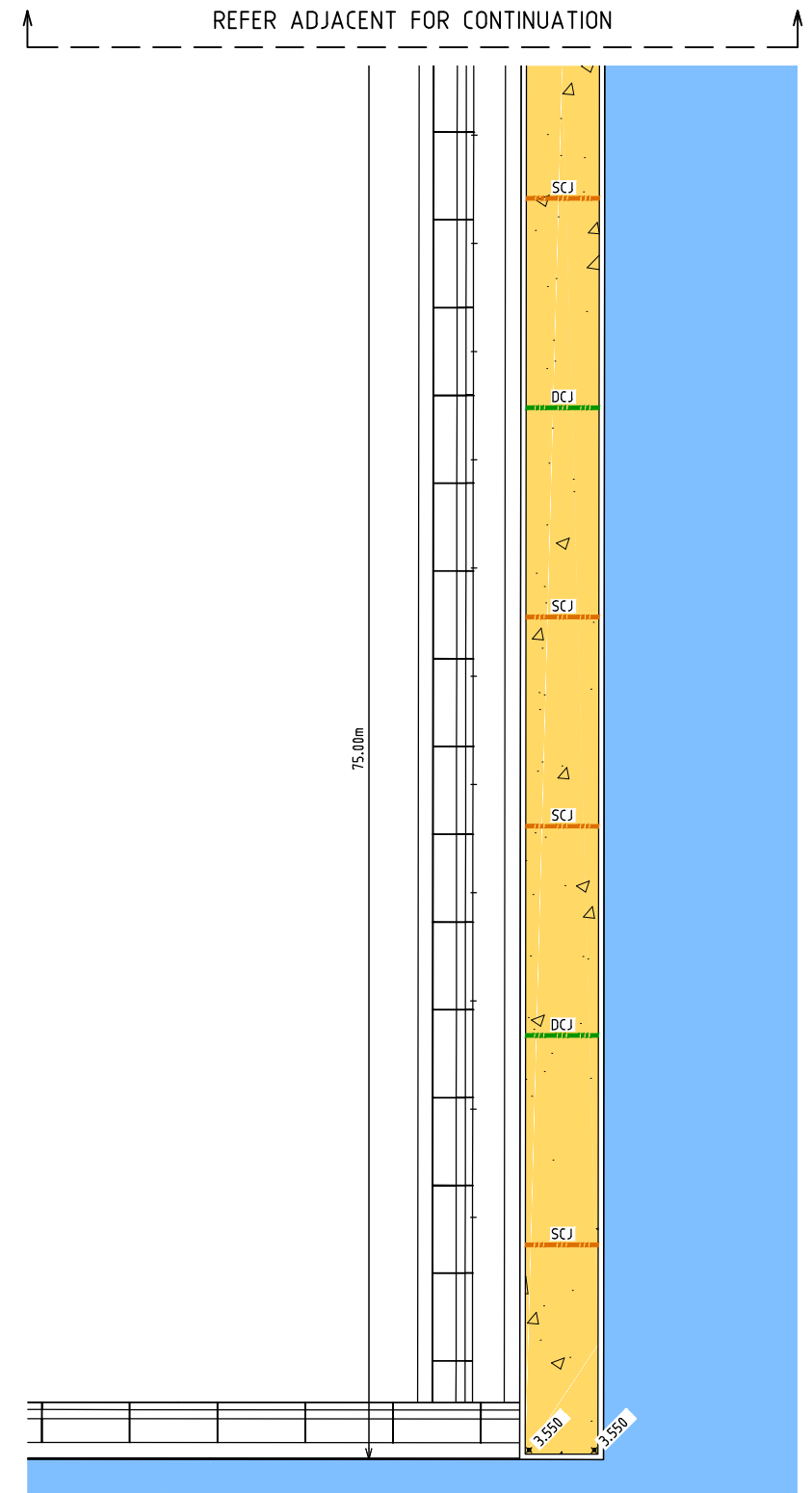


ELEVATION

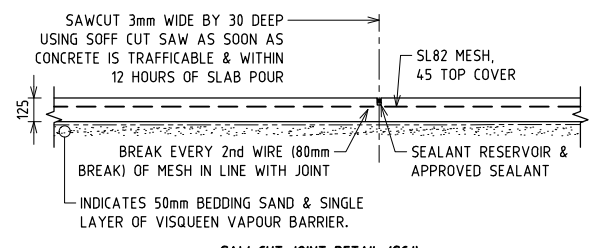
**BIORETENTION BASIN OUTLET HEADWALL DETAILED PLAN VIEW**  
 NOT TO SCALE  
 HEADWALL REINFORCEMENT DETAILS ARE TO BE ADOPTED AT BOTH ENDS OF CULVERT.



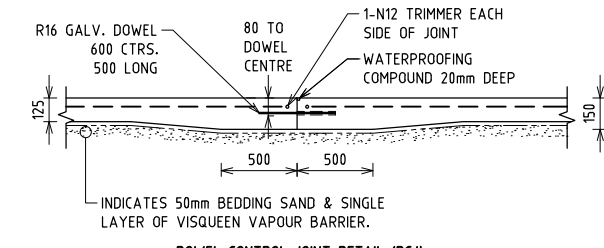
**CONCRETE DRAIN TYPICAL DETAIL PLAN**  
 1:10 at A1



**CONCRETE DRAIN TYPICAL SECTION**  
 1:20 at A1



**SAW CUT JOINT DETAIL (SCJ)**  
 1:20 at A1



**DOWEL CONTROL JOINT DETAIL (DCJ)**  
 1:20 at A1

**CONCRETE DRAIN JOINT DETAILS**  
 1:20 at A1

LEGEND		
	SCJ	PROPOSED DOWEL CONTROL JOINT. REFER DETAILS ON THIS
	DCJ	PROPOSED DOWEL CONTROL JOINT. REFER DETAILS ON THIS DWG

**GPC Gladstone Ports Corporation**

**APPROVED**

Name: Trudi Smith  
 Date: 8:16am 22/11/2022

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CLIENT: OKARA PTY LTD	DESIGNED: RAW	DRAWN: LJM	CHECKED: CPS
PROJECT: PROPOSED BULK STORAGE FACILITY BUSS STREET BURNETT HEADS	APPROVED:	ROSS WEGNER / RPEQ: 8042	

TITLE: STANDARD DETAILS PLAN  
 SHEET 3 OF 3

DATE: JULY 2022	SCALE: AS SHOWN
PROJECT NO: CC-5966	DRAWING NO: C92
REV: A	

**FOR APPROVAL**

## Attachment 3 Extract of Appeal Provisions

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## **Schedule 1      Appeals**

section 229

### **1      Appeal rights and parties to appeals**

- (1) Table 1 states the matters that may be appealed to—
  - (a) the P&E court; or
  - (b) a tribunal.
- (2) However, table 1 applies to a tribunal only if the matter involves—
  - (a) the refusal, or deemed refusal of a development application, for—
    - (i) a material change of use for a classified building; or
    - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
  - (b) a provision of a development approval for—
    - (i) a material change of use for a classified building; or
    - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
  - (c) if a development permit was applied for—the decision to give a preliminary approval for—
    - (i) a material change of use for a classified building; or
    - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
  - (d) a development condition if—
    - (i) the development approval is only for a material change of use that involves the use of a building classified under the Building Code as a class 2 building; and

- 
- (ii) the building is, or is proposed to be, not more than 3 storeys; and
    - (iii) the proposed development is for not more than 60 sole-occupancy units; or
  - (e) a decision for, or a deemed refusal of, an extension application for a development approval that is only for a material change of use of a classified building; or
  - (f) a decision for, or a deemed refusal of, a change application for a development approval that is only for a material change of use of a classified building; or
  - (g) a matter under this Act, to the extent the matter relates to the Building Act, other than a matter under that Act that may or must be decided by the Queensland Building and Construction Commission; or
  - (h) a decision to give an enforcement notice—
    - (i) in relation to a matter under paragraphs (a) to (g); or
    - (ii) under the *Plumbing and Drainage Act 2018*; or
  - (i) an infrastructure charges notice; or
  - (j) the refusal, or deemed refusal, of a conversion application; or
  - (l) a matter prescribed by regulation.
- (3) Also, table 1 does not apply to a tribunal if the matter involves—
- (a) for a matter in subsection (2)(a) to (d)—
    - (i) a development approval for which the development application required impact assessment; and
    - (ii) a development approval in relation to which the assessment manager received a properly made submission for the development application; or
  - (b) a provision of a development approval about the identification or inclusion, under a variation approval, of a matter for the development.

- (4) Table 2 states the matters that may be appealed only to the P&E Court.
- (5) Table 3 states the matters that may be appealed only to the tribunal.
- (6) In each table—
  - (a) column 1 states the appellant in the appeal; and
  - (b) column 2 states the respondent in the appeal; and
  - (c) column 3 states the co-respondent (if any) in the appeal; and
  - (d) column 4 states the co-respondents by election (if any) in the appeal.
- (7) If the chief executive receives a notice of appeal under section 230(3)(f), the chief executive may elect to be a co-respondent in the appeal.
- (8) In this section—
 

*storey* see the Building Code, part A1.1.

<b>Table 1</b> <b>Appeals to the P&amp;E Court and, for certain matters, to a tribunal</b>
<p>1. Development applications</p> <p>For a development application other than an excluded application, an appeal may be made against—</p> <ul style="list-style-type: none"> <li>(a) the refusal of all or part of the development application; or</li> <li>(b) the deemed refusal of the development application; or</li> <li>(c) a provision of the development approval; or</li> <li>(d) if a development permit was applied for—the decision to give a preliminary approval.</li> </ul>

<b>Table 1 Appeals to the P&amp;E Court and, for certain matters, to a tribunal</b>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant	The assessment manager	If the appeal is about a concurrence agency's referral response—the concurrence agency	<ol style="list-style-type: none"> <li>1 A concurrence agency that is not a co-respondent</li> <li>2 If a chosen assessment manager is the respondent—the prescribed assessment manager</li> <li>3 Any eligible advice agency for the application</li> <li>4 Any eligible submitter for the application</li> </ol>
<p><b>2. Change applications</b></p> <p>For a change application other than an excluded application, an appeal may be made against—</p> <p>(a) the responsible entity's decision on the change application; or</p> <p>(b) a deemed refusal of the change application.</p>			



<b>Table 1 Appeals to the P&amp;E Court and, for certain matters, to a tribunal</b>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 The applicant</p> <p>2 If the responsible entity is the assessment manager—an affected entity that gave a pre-request notice or response notice</p>	<p>The responsible entity</p>	<p>If an affected entity starts the appeal—the applicant</p>	<p>1 A concurrence agency for the development application</p> <p>2 If a chosen assessment manager is the respondent—the prescribed assessment manager</p> <p>3 A private certifier for the development application</p> <p>4 Any eligible advice agency for the change application</p> <p>5 Any eligible submitter for the change application</p>
<p>3. Extension applications</p> <p>For an extension application other than an extension application called in by the Minister, an appeal may be made against—</p> <p>(a) the assessment manager’s decision on the extension application; or</p> <p>(b) a deemed refusal of the extension application.</p>			

**Table 1**  
**Appeals to the P&E Court and, for certain matters, to a tribunal**

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
1 The applicant 2 For a matter other than a deemed refusal of an extension application—a concurrence agency, other than the chief executive, for the application	The assessment manager	If a concurrence agency starts the appeal—the applicant	If a chosen assessment manager is the respondent—the prescribed assessment manager

**4. Infrastructure charges notices**

An appeal may be made against an infrastructure charges notice on 1 or more of the following grounds—

(a) the notice involved an error relating to—

(i) the application of the relevant adopted charge; or

*Examples of errors in applying an adopted charge—*

- the incorrect application of gross floor area for a non-residential development
- applying an incorrect ‘use category’, under a regulation, to the development

(ii) the working out of extra demand, for section 120; or

(iii) an offset or refund; or

(b) there was no decision about an offset or refund; or

(c) if the infrastructure charges notice states a refund will be given—the timing for giving the refund; or

(d) for an appeal to the P&E Court—the amount of the charge is so unreasonable that no reasonable relevant local government could have imposed the amount.

<b>Table 1</b> <b>Appeals to the P&amp;E Court and, for certain matters, to a tribunal</b>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the infrastructure charges notice	The local government that gave the infrastructure charges notice	—	—
<p><b>5. Conversion applications</b> An appeal may be made against—</p> <p>(a) the refusal of a conversion application; or</p> <p>(b) a deemed refusal of a conversion application.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant	The local government to which the conversion application was made	—	—
<p><b>6. Enforcement notices</b> An appeal may be made against the decision to give an enforcement notice.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the enforcement notice	The enforcement authority	—	If the enforcement authority is not the local government for the premises in relation to which the offence is alleged to have happened—the local government

<b>Table 1</b>			
<b>Appeals to the P&amp;E Court and, for certain matters, to a tribunal</b>			
7. Enforcement notices under the <i>Plumbing and Drainage Act 2018</i>			
An appeal may be made against the decision to give an enforcement notice.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the enforcement notice	The local government that gave the enforcement notice	—	—

<b>Table 2</b>			
<b>Appeals to the P&amp;E Court only</b>			
1. Appeals from tribunal			
An appeal may be made against a decision of a tribunal, other than a decision under section 252, on the ground of—			
(a) an error or mistake in law on the part of the tribunal; or			
(b) jurisdictional error.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A party to the proceedings for the decision	The other party to the proceedings for the decision	—	—
2. Eligible submitter appeals			
For a development application or change application other than an excluded application, an appeal may be made against the decision to approve the application, to the extent the decision relates to—			
(a) any part of the development application or change application that required impact assessment; or			
(b) a variation request.			

<b>Table 2 Appeals to the P&amp;E Court only</b>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 For a development application—an eligible submitter for the development application</p> <p>2 For a change application—an eligible submitter for the change application</p>	<p>1 For a development application—the assessment manager</p> <p>2 For a change application—the responsible entity</p>	<p>1 The applicant</p> <p>2 If the appeal is about a concurrence agency’s referral response—the concurrence agency</p>	<p>Another eligible submitter for the application</p>
<p>3. Eligible submitter and eligible advice agency appeals</p> <p>For a development application or change application other than an excluded application, an appeal may be made against a provision of the development approval, or a failure to include a provision in the development approval, to the extent the matter relates to—</p> <p>(a) any part of the development application or change application that required impact assessment; or</p> <p>(b) a variation request.</p>			

<b>Table 2 Appeals to the P&amp;E Court only</b>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 For a development application—an eligible submitter for the development application</p> <p>2 For a change application—an eligible submitter for the change application</p> <p>3 An eligible advice agency for the development application or change application</p>	<p>1 For a development application—the assessment manager</p> <p>2 For a change application—the responsible entity</p>	<p>1 The applicant</p> <p>2 If the appeal is about a concurrence agency’s referral response—the concurrence agency</p>	<p>Another eligible submitter for the application</p>
<p>4. Compensation claims</p> <p>An appeal may be made against—</p> <p>(a) a decision under section 32 about a compensation claim; or</p> <p>(b) a decision under section 265 about a claim for compensation; or</p> <p>(c) a deemed refusal of a claim under paragraph (a) or (b).</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person dissatisfied with the decision	The local government to which the claim was made	—	—

<b>Table 2 Appeals to the P&amp;E Court only</b>			
<p>5. Registered premises</p> <p>An appeal may be made against a decision of the Minister under chapter 7, part 4.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 A person given a decision notice about the decision</p> <p>2 If the decision is to register premises or renew the registration of premises—an owner or occupier of premises in the affected area for the registered premises who is dissatisfied with the decision</p>	<p>The Minister</p>	<p>—</p>	<p>If an owner or occupier starts the appeal—the owner of the registered premises</p>
<p>6. Local laws</p> <p>An appeal may be made against a decision of a local government, or conditions applied, under a local law about—</p> <p>(a) the use of premises, other than a use that is the natural and ordinary consequence of prohibited development; or</p> <p>(b) the erection of a building or other structure.</p>			



<b>Table 2 Appeals to the P&amp;E Court only</b>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who— (a) applied for the decision; and (b) is dissatisfied with the decision or conditions.	The local government	—	—

<b>Table 3 Appeals to a tribunal only</b>			
<p>1. Building advisory agency appeals</p> <p>An appeal may be made against giving a development approval for building work to the extent the building work required code assessment against the building assessment provisions.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A building advisory agency for the development application related to the approval	The assessment manager	The applicant	<p>1 A concurrence agency for the development application related to the approval</p> <p>2 A private certifier for the development application related to the approval</p>

<b>Table 3 Appeals to a tribunal only</b>			
<p>2. Inspection of building work</p> <p>An appeal may be made against a decision of a building certifier or referral agency about the inspection of building work that is the subject of a building development approval under the Building Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant for the development approval	The person who made the decision	—	—
<p>3. Certain decisions under the Building Act and the <i>Plumbing and Drainage Act 2018</i></p> <p>An appeal may be made against—</p> <p>(a) a decision under the Building Act, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under that Act; or</p> <p>(b) a decision under the <i>Plumbing and Drainage Act 2018</i>, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under that Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who received, or was entitled to receive, an information notice about the decision	The entity that made the decision	—	—
<p>4. Failure to decide an application or other matter under the Building Act</p> <p>An appeal may be made against a failure to make a decision under the Building Act within the period required under that Act, other than a failure by the Queensland Building and Construction Commission to make a decision, if an information notice about the decision was required to be given under that Act.</p>			

<b>Table 3 Appeals to a tribunal only</b>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who was entitled to receive notice of the decision	The entity that failed to make the decision	—	—
<p>5. Failure to decide an application or other matter under the <i>Plumbing and Drainage Act 2018</i></p> <p>An appeal may be made against a failure to make a decision under the <i>Plumbing and Drainage Act 2018</i> within the period required under that Act, other than a failure by the Queensland Building and Construction Commission to make a decision, if an information notice about the decision was required to be given under that Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who was entitled to receive an information notice about the decision	The entity that failed to make the decision	—	—