

13 June 2023

Leis Family Superannuation Fund
Debbie Leis
PO Box 1773
BUNDABERG QLD 4670

Dear Ms Leis,

DECISION NOTICE – APPROVAL WITH CONDITIONS – DA2023/03/01

(GIVEN UNDER SECTION 48 AND 63 PLANNING ACT 2016 AND THE PROVISIONS OF GPC LAND USE PLAN 2012V2)

1. Application Details

This development application was **properly made** to the Gladstone Ports Corporation Limited on **13 March 2023**.

Application Number:	DA2023/03/01
Applicant Name:	Leis Family Superannuation Fund
Applicant Contact Details:	Debbie Leis Leis Family Superannuation Fund PO Box 1773 BUNDABERG QLD 4670 Email: leislife@tpg.com.au
Approvals Sought (Land Use Plan):	MCU – Marine Industry OPW – Tidal works for pontoon and gangway
Approval Sought (Port Overlay):	Not applicable
Approval Sought (SARA):	OPW that is tidal works in a coastal management district
Approval Sought (BRC):	MCU (Marine Industry) and OPW Tidal Works (pontoon and gangway)
Details of Proposed Development:	<ol style="list-style-type: none"> Material Change of Use Marine Industry and Operational Works tidal works (gangway and pontoon).

	Proposed construction of a floating pontoon and gangway.
Location Street Address:	7 Marina Drive, Burnett Heads
Location Real Property Description:	Lot 326 SP297896 and Lot 275 SP133684
Land Owner:	Gladstone Ports Corporation, Department of Resources and Leis Family Superannuation Fund
Land Use Plan Precinct:	Marina
Local Government Area:	Bundaberg

2. Details of Proposed Development

The development is described as assessable development on Strategic port land for:

1. Material Change of Use Marine Industry and
2. Operational Works tidal works (gangway and pontoon).

Proposed construction of a floating pontoon and gangway for the purpose of carrying out vessel refrigeration maintenance of vessels.

3. Details of Decision

This development application was **decided** on 13 June 2023.

A determination on 4 July 2019 was made by the Hon. Cameron Dick MP under Section 48 of the *Planning Act 2016* that Gladstone Ports Corporation Limited, as Port Authority for the Port of Bundaberg should be the Assessment manager for the proposed development.

This development application is **approved in full with conditions**. These conditions are set out in Attachment 1 and are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

4. Details of Approval

This development approval is a **Development Permit** given for:

- (a) Material Change of Use for Marine Industry and Operational Works for tidal works (gangway and pontoon) (*Planning Regulation 2017* reference Schedule 10, part 13, division 5, subdivision 1);

5. Conditions

This development approval is subject to the conditions in Attachment 1 - Part 1 and Part 2.

6. Further Development Permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

- (a) Building and Plumbing works
- (b) Works on Road

7. Properly made submissions

Not applicable – No part of the application required public notification.

8. Referral Agencies for the Application

The referral agencies for this application are:

For an application involving	Name of referral agency	Address
<p><i>Planning Regulation 2017</i> Schedule 10, part 17, division 1, s 28 assessable development – operational work that is tidal works and works within a coastal management district.</p>	State Assessment Referral Agency - Department of State Development, Infrastructure, Local Government and Planning	<p>Wide Bay Burnett State Assessment Referral Agency (SARA) PO Box 979 BUNDABERG QLD 4670</p> <p>WBBSARA@dsgmip.qld.gov.au</p>
<p><i>Planning Act 2016</i> Chapter 3, Part 2, Division 1, Section 48(7) (a) Minister decides that a person who could also have been the assessment manager is instead to be a referral agency for the application</p>	Bundaberg Regional Council	<p>190 Bourbong Street BUNDABERG QLD 4670</p>

9. Approved Plans and Specifications

Copies of the following plans, specifications and/or drawings are approved and enclosed in Attachment 2:

Drawing/report title	Prepared by	Date	Reference No.	Version
Site Plan	Brian O'Sullivan Design & Drafting	04/12/2022	221204	Sheet 1 of 2
General Notes and Locality Plan	International Marina Consultants	18/05/2023	6027-01/B	-
General Arrangement	International Marina Consultants	18/05/2023	6027-02/B	-

Gladstone Ports Corporation Limited

T: +61 7 4976 1333 • Fax: +61 7 4972 3045 • 40 Goondoon St/PO Box 259, Gladstone QLD, 4680, AUSTRALIA • www.gpcl.com.au
ACN 131 965 896 ABN 96 263 788 242

Drawing/report title	Prepared by	Date	Reference No.	Version
Elevations	International Marina Consultants	18/05/2023	6027/03/C	-
Pile Setout Details	International Marina Consultants	18/05/2023	6027-04/B	-
Waler Connections Detail	International Marina Consultants	18/05/2023	6027-05/B	-
1.8m Clear Width x 14.0m Long Aluminium Hinged Gangway	International Marina Consultants	18/05/2023	6027-06/B	-
Gangway Concrete Abutment	International Marina Consultants	19/05/2023	6027/07/B	-
1.8m Clear Width x 14.0m Long Aluminium Hinged Gangway	International Marina Consultants	25/02/2023	6027-300	-
Heavy Duty Tread Plate Detail sheet 1	International Marina Consultants	25/02/2023	6027-302	-
Heavy Duty Tread Plate Detail Sheet 2	International Marina Consultants	25/02/2023	6027-303	-
Gangway Mounting Bracket	International Marina Consultants	16/03/2023	6027-301	-

10. Currency Period for the Approval

Pursuant to section 85 of the Planning Act, this development approval will lapse at the end of the periods set out below:

- (a) For Material Change of Use this approval lapses if the first change of use does not happen within 6 years after the approval has effect.
- (b) For approvals other than a Material Change of Use or Reconfiguring a Lot, the approval lapses if the development does not substantially start within 2 years of this approval taking effect.

11. Rights of Appeal

The rights of applicants to appeal to a tribunal or the Planning and Environment Court against decisions about a development application are set out in chapter 6, part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).

Attachment 3 is an extract from the *Planning Act 2016* that sets down the applicant's appeal rights and the appeal rights of a submitter.

For further information please contact Trudi Smith, Planning Specialist, on 07 4976 1314 or via email planning@gpcl.com.au .

Yours sincerely,



Craig Haymes
Chief Executive Officer

Cc: State Assessment and Referral Agency (SARA)
Bundaberg Regional Council

Enc. Attachment 1: Conditions of Approval
Part 1 – Conditions imposed by the assessment manager
Part 2 – Conditions required by the referral agency response
(SARA dated 17 April 2023)
(BRC dated 9 May 2023)

Attachment 2: Approved plans and specifications

Attachment 3: Extract of appeal provisions

Attachment 1 Conditions of Approval

PART 1: ASSESSMENT MANAGER CONDITIONS

In general the development proposal is in compliance with the requirements of Gladstone Ports Corporation Limited (GPC). This development approval is subject to each the following conditions which are stated by GPC, the Assessment Manager.

Part 1a: Approval sought under Planning Act 2016 – Material Change of Use on Strategic Port Land and Strategic Port Land tidal area and Operational works that is tidal works on Strategic Port Land / Strategic Port land tidal area.

CONDITIONS
GENERAL
1. Development must be carried out generally in accordance with the Approved plans, except where modified by conditions of this permit.
2. Unless otherwise stated, all conditions must be complied with and completed prior to the commencement of the development.
3. Where additional “approval” is required under these conditions by the Assessment Manager (Gladstone Ports Corporation Limited [GPC]) for drawings or documentation the proponent must submit for review, amend to the satisfaction of, and obtain written approval from the Assessment Manager. Furthermore, the Assessment Manager will require no less than 20 business days, unless otherwise conditioned by the Assessment Manager, to initially assess the drawings or documentation provided prior to the commencement of the development.
4. The proponent must at its cost and expense, keep and maintain the development footprint, including existing services, in a neat and tidy state that is satisfactory to the Assessment Manager.
PLANNING
5. The street address of the development must be clearly visible and discernible from the primary frontage of the site by the provision of a street name and number and, where appropriate, the building/business name (i.e. 7 Marina Drive, Burnett Heads).
6. At all times, the approved tidal structure (Lot 275 SP133684) is to be used in conjunction with the approved uses on the adjoining parcel of land (Lot 326 SP297896).
7. The hours for the operation of the facility (i.e. operation of any machinery and/or other equipment) are limited to <ul style="list-style-type: none"> • 7:00am to 6:30pm Monday to Friday; • 8:00am to 2:30pm Saturday; • No work on Sunday or public holidays; Any variations to these times will be subject to the written approval of the Assessment Manager.

CONDITIONS
8. Noise generating plant and equipment is to be appropriately enclosed, shielded or acoustically treated and operated (e.g. during the hours of operation).
9. On site signage is not to exceed 4m in height and not exceed a total surface of 8m ² .
10. Signage is not to include any third party advertising and is not to include any illumination.
11. Prior to the use commencing, provide to the Assessment Manager for approval, a Safety and Design report, that demonstrates that the risk of operation of equipment (e.g. forklift) on the pontoon structure has been adequately controlled in accordance with the relevant Australian Standards and Work Place Health and Safety requirements.
12. An adequate connection to Bundaberg Regional Council's water infrastructure must be established prior to the commencement of the use. <i>Note: Bundaberg Regional Council permits only one water service for each property. This means only one connection to the water main although there may be a potable and fire service feeding from that connection.</i>
13. An appropriate fire service on the pontoon must be established and maintained to the satisfaction of the relevant authority.
14. Landscaping is to be carried out and maintained in accordance with approved plans. The proponent must maintain the property frontage in a clean and tidy manner, and mow any grassed areas regularly.
15. Prior to commencement of the use, prepare and submit for approval to the Assessment Manager a landscape plan. The plan must be prepared in accordance with the applicable codes and guidelines of the land use plan, and the conditions of this approval. The plan is to include, but not be limited to the following: <ul style="list-style-type: none"> a. Location and name of existing trees; b. 2m wide landscaped strip along the entire front boundary excluding the access/egress for the site.
ENGINEERING
16. Prior to commencement of the use, design and construct the site access and driveways in accordance with the Approved plans, and the Bundaberg Regional Council's standard drawing Industrial and Commercial Driveway Slab, Drawing No. RR1011, Revision A.
17. Prior to commencement of the use, an Erosion Control Management Plan is to be prepared and implemented to maintain compliance with the IECA guidelines, with all exposed soil areas to be permanently stabilised (e.g. turfed, hydro-mulched, concreted, landscaped).
INFRASTRUCTURE
18. The applicant must notify the Assessment Manager (GPC) of damage caused to any port or port user infrastructure or services including, but not limited to, security related devices, buildings, fences, lighting etc., roads, walkways and underground services or infrastructure,

CONDITIONS

as a result of the approved use or during construction. The proponent must undertake necessary repairs at their expense and to the satisfaction of the Assessment Manager (GPC) or the Bundaberg Regional Council (BRC) where applicable.

WASTE MANAGEMENT

19. At all times, maintain and operate an adequate waste disposal service, including the maintenance of refuse bins and associated storage areas so as not to cause an environmental nuisance.

20. Ensure all material removed from the site complies with the *Environmental Protection (Waste Management) Regulation 2000* and the Bundaberg Regional Council's waste disposal procedures.

TIDAL WORKS

21. Upon completion of the works, the proponent must supply the Assessment Manager with RPEQ certified "As Constructed" plans in both hard copy (2 of) and electronic (CAD format) which illustrate all infrastructure and services installed on, under or over Port land associated with the activity unless otherwise approved in writing by the Assessment Manager.

22. Evidence is to be included on the submitted RPEQ certified plans to demonstrate that the gangway and pontoon structures have been designed and constructed to withstand the relevant hydrostatic and hydrodynamic forces for the location.

Note: this certification can also accompany the plans if not notated on the plans.

23. The proponent must also certify that the development is constructed as per design and that the development has been constructed generally in accordance with the approved plans prior to the use commencing.

24. Any site lighting used during construction / operation should not negatively impact on the visibility of Navigational Aids utilised for the primary shipping channels nor illuminate a landward glare beyond the site boundary. Lighting must be reviewed during construction and operations with respect to navigation. Where an issue is identified or a validated complaint received, the proponent must immediately rectify to the satisfaction of the Assessment Manager.

25. Prior to works commencing, the proponent must ensure all details of proposed mitigation measure/s to reduce skyglow from all external lighting associated with the development has been documented and are available for review by the Assessment Manager for review.

26. Any material which is deposited or any debris which falls or is deposited on tidal lands or into tidal waters during the construction of the approved development shall be removed by the applicant at their cost and expense. The applicant is to notify the Assessment Manager if any material or debris is deposited.

27. Upon completion of construction, the applicant shall provide the Assessment Manager with written confirmation that the seabed is clear of foreign materials.

CONDITIONS

28. If, as a result of the works, or other cause attributable to the proponent, any Port bank or tidal structure is displaced, the proponent at its cost and expense shall restore the bank or structure to its former condition and take such other action as is necessary to ensure the stability of the bank or structure to the satisfaction of the Regional Harbour Master and/or Assessment manager.

CONSTRUCTION MANAGEMENT

29. The hours for the construction of the facility (i.e. operation of any machinery and/or other equipment) are limited to

- 7:00am to 6:30pm Monday to Friday;
- 8:00am to 2:30pm Saturday;
- No work on Sunday or public holidays;
- Noisy piling works to take place between 8:00am and 4:00 pm.

Any variations to these times will be subject to the written approval of the Assessment Manager.

30. The proponent is required to apply for and obtain from GPC a Permit to Dig/Excavate prior to commencing works by contacting, GPC's Port Infrastructure Asset Manager, including for any landscaping, services or infrastructure outside of the lease area.

31. In the event a construction compound is required on port land outside the project lease area for offices, laydown areas, employee car parking or stockpiling areas etc., the proponent or their contractor must obtain a Consent to Enter from the Assessment Manager's Property Specialist prior to works commencing. The construction compound, including offices, laydown areas and employee car parking, is to be contained within the nominated area unless otherwise approved in writing by the Assessment Manager.

32. No mud, dirt or other debris is to be tracked onto public roads during construction and operation of development.

33. Repair any damaged kerb and channel footpath or road (including removal of concrete slurry from footpath, roads, kerb and channel and stormwater gullies and drain lines) and reinstate existing traffic signs and pavement markings that have been removed or damaged during any works carried out in association with the approved development.

34. Construction fill material must be uncontaminated and reused from onsite or sourced from a licensed quarry. *Note: Additional approval may be required and advice should be sought.*

Vessel Management

35. Prior to works within Port Limits commencing, supply to the Assessment manager, a Marine Execution Plan that has been approved by the Regional Harbour Master.

36. Refuelling of vessels used in construction must be carried out by a licenced bunkers provider only on site, or off site at a licenced refuelling facility.

37. All waste generated on vessels in carrying out the works must be disposed of at a proper and appropriate facility.

CONDITIONS

ACID SULPHATE SOILS

38. In the event acid sulphate soils are disturbed/excavated and require treatment on site or any land owned by GPC, a site specific acid sulphate management plan, including treatment locality and volumes and disposal locality, must be submitted to the Assessment Manager for approval prior to such works commencing.

Upon approval of the management plan, the works must be carried out in accordance with this plan and the plan will form part of the Approved plans.

ENVIRONMENT

Construction Environmental Management Plan

39. Prior to construction works commencing on site for either use, a Construction Environmental Management Plan (CEMP) specific to these works, is to be submitted to the Assessment Manager (the Assessment Manager) for approval.

The construction must be undertaken in accordance with the approved CEMP that ensures:

- a. environmental risks, including but not limited to, noise, odour, lighting, dust, are identified, managed and continually assessed in relation to the construction activity ;
- b. that staff are trained, aware and competency assessed of their obligations under the EMP, including a copy of the management plan and development approval available on site at all times;
- c. that reviews of environmental performance are undertaken at least annually; and
- d. any amendments to the EMP are to be submitted to the Assessment Manager for review and approval.

Once approved by the Assessment Manager, the construction activity must be carried out in accordance with this CEMP.

Note: the Assessment Manager has a guideline for the development of environmental management plans that may be utilised in meeting the requirements of this condition.

Operational Environmental Management Plan

40. At least 10 days prior to the commencement of the use, an Operational Environmental Management Plan (OEMP) is to be submitted to the Assessment Manager (GPC) for approval, specific to the development that ensures:

- a) environmental risks are identified, managed and continually assessed; and
- b) that staff are trained, aware and competency assessed of their obligations under the EMP, including a copy of the management plan and development approval available on site at all times; and
- c) that reviews of environmental performance are undertaken at least annually; and
- d) any amendments to the EMP are to be submitted to the Assessment Manager for review and approval; and

CONDITIONS

- e) any rehabilitation and decommissioning works where required.

Once approved by the Assessment Manager, the approved development must be carried out in accordance with this EMP.

Note: the Assessment Manager has a guideline for the development of environmental management plans that may be utilised in meeting the requirements of this condition.

INCIDENT NOTIFICATION

41. At all times, Gladstone Ports Corporation Environment Hotline (07) 4976 1617 is to be notified of the occurrence of any:

- a. release / spill of contaminants (e.g. fuels / chemicals / sewerage) greater than 20L to land;
- b. release / spill of contaminants (e.g. fuels / chemicals / sewerage) of any amount to water;
- c. any environmental complaints received by the holder of this approval; and
- d. non-compliance with environment related conditions of this approval, or any other environmental approval obtained in relation to the approved activity.

Note: 'land' is to be defined as where not within a containment system.

42. Any spillage of sediment, wastes, fuels, chemicals, contaminants, or other materials at the storage site, on port roads or on the wharf must be cleaned immediately. Such spillage must not be cleaned up by hosing, sweeping or otherwise releasing such materials to any stormwater drainage system, roadside gutters or waters.

43. Environmental incident notification must be included in any Environmental Management Plans for the premises/development.

Part 1b: Advice Notes

1. All other relevant approvals/permits must be obtained before commencement of the development or operation of the development, including any Building works, Plumbing and drainage works, or works on road.
2. Where works are proposed to be carried out within the road area, an 'Application to carry out works within Council's Road Reserve' form (FM-7-003) for work within the road reserve is to be submitted to the Bundaberg Regional Council.
3. Where a Permit to Dig/Excavate prior to commencing excavation or digging for the development, the proponent or their contractor is required to apply for and obtain the permit by contacting the Port Infrastructure Asset Manager on 4976 1332 or bartono@gpcl.com.au.
4. Where a construction compound or laydown area is required, the proponent or their contractor is required to apply for and obtain a Consent to Enter from the Assessment Manager's Property Specialist via 07 4976 1334 or property@gpcl.com.au prior to works commencing.

5. Where activities or works are to be undertaken outside tenured areas, the proponent or their contractor is required to apply for and obtain a Consent to Enter from GPC's Property Specialist via 07 4976 1334 or property@gpcl.com.au prior to works commencing.
6. The *Environmental Protection Act 1994* states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks, construction, and operational phases of this development, are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm.
7. Where the Applicant is required to submit further documentation to the Assessment Manager, this is to be directed to the Planning section at planning@gpcl.com.au, including reference to the allocated development application number.
8. For the purpose of providing street addresses for deliveries and emergency vehicles, the street addresses for the premises are:
 - a. 7 Marina Drive, Burnett Heads
9. Where communication with GPC Port Security is required e.g. for schedules or service requests, direct communication to the following: pfso@gpcl.com.au, contracted_security@gpcl.com.au and gpcsupervisor@diamondprotection.com.

PART 2: REFERRAL AGENCY CONDITIONS

Referral Agency Name: Department of State Development, Infrastructure, Local Government and Planning

Our reference: 2303-33768 SRA
Your reference: DA/2023/03/01

17 April 2023

Chief Executive Officer
Gladstone Ports Corporation
PO Box 259
GLADSTONE QLD 4680
development@gcpl.com.au

Attention: Ms Trudi Smith

Dear Ms Smith

SARA Response – 7 Marina Drive, BURNETT HEADS (Lot 326 on SP297896 and Lot 275 on SP133684)

(Given under Section 56 of the *Planning Act 2016*)

The development application described below was confirmed as being properly referred to the State Assessment and Referral Agency (SARA) on 17 March 2023.

Response

Outcome:	Referral Agency Response under Section 56(1)(b) of the <i>Planning Act 2016</i>
Date of response:	17 April 2023
Conditions:	The approval is subject to the conditions in Attachment 1
Advice:	Advice to the applicant is in Attachment 2
Reasons:	The reasons for the referral agency response are in Attachment 3

Development Details

Description:	Development Permit for Material Change of Use (MCU) – Marine Industry Development Permit for Operational Works (OW) – Tidal works (pontoon and gangway)
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SARA role: Referral agency

SARA triggers: Schedule 10, Part 17, Division 3, Table 1, Item 1– Tidal works or works in a coastal management district (Planning Regulation 2017)

Schedule 10, Part 17, Division 3, Table 2, Item 1 – Maritime safety (Planning Regulation 2017)

SARA reference: 2303-33768 SRA

Assessment Manager: Gladstone Ports Corporation (GPC)

Street address: 7 Marina Drive, BURNETT HEADS

Real property description: Lot 326 on SP297896 and Lot 275 on SP133684

Applicant name: Leis Family Superannuation Fund

Applicant contact details: PO Box 1773
BUNDABERG QLD 4670
leislife@tpg.com.au

Human Rights Act 2019 considerations: A consideration of the 23 fundamental human rights protected under the *Human Rights Act 2019* has been undertaken as part of this decision. It has been determined that this decision does not limit human rights.

Representations

An applicant may make representations to a concurrence agency, at any time before the application is decided, about changing a matter in the referral agency response (section 30 of the Development Assessment Rules).

Copies of the relevant provisions are in **Attachment 4**.

A copy of this response has been sent to the applicant for their information.

For further information please contact Peter Mulcahy, Principal Planning Officer, on (07) 3307 6152 or via email WBBSARA@dspdilgp.qld.gov.au who will be pleased to assist.

Yours sincerely



Luke Lankowski
Manager, Planning – Wide Bay Burnett

enc Attachment 1 – Referral agency conditions
Attachment 2 – Advice to the applicant
Attachment 3 – Reasons for referral agency response
Attachment 4 – Representations about a referral agency response
Attachment 5 – Approved plans and specifications

cc Leis Family Superannuation Fund

leislife@tpg.com.au

Maritime Safety Queensland
MSQ_IDAS_Gladstone@msq.qld.gov.au

Department of Environment and Science
sara.coastalwetlands@des.qld.gov.au

Attachment 1—Referral agency conditions

(Under Section 56(1)(b)(i) of the *Planning Act 2016* the following conditions must be attached to any development approval relating to this application) (Copies of the plans and specifications referenced below are found at **Attachment 5**)

No.	Conditions	Condition timing
Development Permit for Operational Works (OW) – Tidal works (pontoon and gangway)		
Schedule 10, Part 17, Subdivision 3, Table 1, Item 1 of the Planning Regulation 2017—The Chief Executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of Environment and Science to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following conditions:		
1.	<p>The construction of the pontoon and gangway must be undertaken generally in accordance with the following plans:</p> <ul style="list-style-type: none"> - <i>General Arrangement</i> prepared by International Marina Consultants Pty Ltd dated 17 March 2022, Reference 6027-02, Revision A - <i>Elevations</i> prepared by International Marina Consultants Pty Ltd dated 17 March 2022, Reference: 6027-03, Revision B - <i>Pile Setout Details</i> prepared by International Marina Consultants Pty Ltd dated 17 March 2022, Reference: 6027-04, Revision A - 1.8m clear width x 14.0m long aluminium hinged gangway prepared by International Marina Consultants Pty Ltd dated 25 February 2022, Reference: 6027-300 - <i>Gangway Concrete Abutment</i> prepared by International Marina Consultants Pty Ltd dated 17 March 2022, dated 17 March 2022, Reference: 6027-07, Revision A 	For the duration of the works
2.	Maintain the development in accordance with the plans reference in Condition No. 1, and the requirements of any conditions included in this referral agency response.	At all times.
3.	For the construction and installation of the pontoon and gangway, only use clean materials which are free from prescribed water contaminants.	For the duration of the works.
4.	Development must prevent the release of sediment to tidal waters by installing and maintaining erosion and sediment control measures in accordance with the Best Practice Erosion and Sediment Control (BPESC) guidelines for Australia (International Erosion Control Association).	For the duration of the works.
5.	<p>Submit “As constructed drawings” to palm@des.qld.gov.au or mail to:</p> <p style="padding-left: 40px;">Department of Environment and Science Permit and Licence Management PO Box 2454 BRISBANE QLD 4001</p>	Within 20 business days of completion of the works.
6.	(a) In the event that the works cause disturbance or oxidisation or acid sulfate soil, the affected soil must be treated and thereafter managed (until affected soil has been neutralised or contained) in accordance with the current Queensland Acid	(b) Upon disturbance or oxidisation until the affected soil has been

	<p>Sulfate Soil Technical Manual: Soil Management Guidelines, prepared by the Department of Science, Information Technology, Innovation and the Arts, 2014.</p> <p>(b) Submit certification from an appropriately qualified person on acid sulfate soil, confirming that the affected soil has been neutralised or contained in accordance with (a) above to palm@des.qld.gov.au or mail to:</p> <p style="padding-left: 40px;">Department of Environment and Science Permit and Licence Management GPO Box 2454 BRISBANE QLD 4001</p> <p><i>Note: For this condition 'appropriately qualified person(s)' means a person or persons who has professional qualifications, training, skills and experience relevant to soil chemistry or acid sulfate soil management and can give authoritative assessment, advice and analysis in relation to traffic management using the relevant protocols, standards, methods or literature.</i></p>	<p>neutralised or contained</p> <p>(c) At the time the soils have been neutralised or contained</p>
<p>Schedule 10, Part 17, Subdivision 3, Table 2, Item 1 of the Planning Regulation 2017—The Chief Executive administering the <i>Planning Act 2016</i> nominates the General Manager of Maritime Safety Queensland (MSQ) to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following conditions:</p>		
7.	<p>(a) The construction, operation and maintenance of the development must not interfere (physically or by electrical or electro-magnetic emissions) with any aid to navigation.</p> <p>(b) Should damage or interference be caused to any aid to navigation, repair, replace or remove interference at the registered landowners' expense.</p> <p>(c) Notify the Gladstone Regional Harbour Master when:</p> <ol style="list-style-type: none"> i. any damage or interference occurs ii. the damage or interference is rectified <p>Each notice must state 2303-33768 SRA, the location and name of the registered place and the condition number under which the notice is given.</p>	<p>(a) At all times</p> <p>(b) As soon as reasonably practicable subsequent to the damage or interference</p> <p>(c) Within one business day of:</p> <ol style="list-style-type: none"> i. the damage of interference occurring; and ii. the damage or interference being rectified
8.	<p>(a) Light/mark all vessels, structures, plant and equipment associated with:</p> <ol style="list-style-type: none"> i. the works, in accordance with the following specifications: such that it does not cause a risk to the safe navigation of other ships ii. operations, in accordance with the following specifications: such that it does not cause a risk to the safe navigation of other ships 	<p>For the duration of the works and for operations to be maintained at all times.</p>

	(b) Lighting provided must not obscure, disguise or otherwise interfere with the safe navigation of other vessels, including the effectiveness of navigational lighting.	
9.	<p>(a) Prepare a Marine Execution Plan (MEP) by an appropriately qualified person(s), the includes, but not limited to the following:</p> <ul style="list-style-type: none"> i. demonstrating that the construction and operation of the development will not impede the safe navigation of other vessels or restrict safe access to or from neighbouring structures; ii. is consistent with any requirements of Maritime Safety Queensland (MSQ) guidelines for major development proposals; iii. lighting/markings requirements (by specific about the location and type of requirement). For example, any anchors deployed must be marked with yellow buoys and fitted with FL yellow lights fitted OR marking of navigation hazards <p>(b) Submit the Marine Execution Plan (MEP) prepared by accordance with part (a) of this condition to MSQ (Glastone.RHM@msq.qld.gov.au).</p> <p>(c) Carry out the construction and/or dredging as applicable in accordance with the Marine Execution Plan (MEP) and in accordance with part (a) of this condition.</p> <p><i>Note: For this condition 'appropriately qualified person(s)' means a person or persons who has professional qualifications, training, skills and experience relevant to maritime traffic management and can give authoritative assessment, advice and analysis in relation to traffic management using the relevant protocols, standards, methods or literature.</i></p>	<p>(a) At least 20 business days prior to the commencement of works</p> <p>(b) At least 20 business days prior to the commencement of works</p> <p>(c) For the duration of works</p>

Attachment 2—Advice to the applicant

General advice	
1.	Terms and phrases used in this document are defined in the <i>Planning Act 2016</i> its regulation or the State Development Assessment Provisions (SDAP) v3.0. If a word remains undefined it has its ordinary meaning.

Attachment 3—Reasons for referral agency response

(Given under Section 56(7) of the *Planning Act 2016*)

The reasons for the SARA decision are:

The proposed development complies with the assessment benchmarks and purpose statement within State Code 1: Development in a state-controlled road environment of the *State Development Assessment Provisions*, as the proposed development is not considered to:

- adversely impact on the safe operational of vessels within navigable waterways
- adversely impact on coastal processes and coastal resources
- adversely impact Matters of State Environmental Significance (MSES)

Conditions have been applied to ensure compliance with State Code 7 and State Code 8.

Material used in the assessment of the application:

- The development application material
- *Planning Act 2016*
- Planning Regulation 2017
- The *State Development Assessment Provisions* (Version 3.0) as published by the SARA
- The Development Assessment Rules (DA Rules)
- SARA DA Mapping system
- SARA SPP Mapping system
- *Human Rights Act 2019*

Attachment 4—Representations about a referral agency response

Development Assessment Rules—Representations about a referral agency response

The following provisions are those set out in sections 28 and 30 of the Development Assessment Rules¹ regarding **representations about a referral agency response**

Part 6: Changes to the application and referral agency responses

28 Concurrence agency changes its response or gives a late response

- 28.1. Despite part 2, a concurrence agency may, after its referral agency assessment period and any further period agreed ends, change its referral agency response or give a late referral agency response before the application is decided, subject to section 28.2 and 28.3.
- 28.2. A concurrence agency may change its referral agency response at any time before the application is decided if—
- (a) the change is in response to a change which the assessment manager is satisfied is a change under section 26.1; or
 - (b) the Minister has given the concurrence agency a direction under section 99 of the Act; or
 - (c) the applicant has given written agreement to the change to the referral agency response.²
- 28.3. A concurrence agency may give a late referral agency response before the application is decided, if the applicant has given written agreement to the late referral agency response.
- 28.4. If a concurrence agency proposes to change its referral agency response under section 28.2(a), the concurrence agency must—
- (a) give notice of its intention to change its referral agency response to the assessment manager and a copy to the applicant within 5 days of receiving notice of the change under section 25.1; and
 - (b) the concurrence agency has 10 days from the day of giving notice under paragraph (a), or a further period agreed between the applicant and the concurrence agency, to give an amended referral agency response to the assessment manager and a copy to the applicant.

¹ Pursuant to Section 68 of the *Planning Act 2016*

² In the instance an applicant has made representations to the concurrence agency under section 30, and the concurrence agency agrees to make the change included in the representations, section 28.2(c) is taken to have been satisfied.

Part 7: Miscellaneous

30 Representations about a referral agency response

30.1. An applicant may make representations to a concurrence agency at any time before the application is decided, about changing a matter in the referral agency response.³

³ An applicant may elect, under section 32, to stop the assessment manager's decision period in which to take this action. If a concurrence agency wishes to amend their response in relation to representations made under this section, they must do so in accordance with section 28.

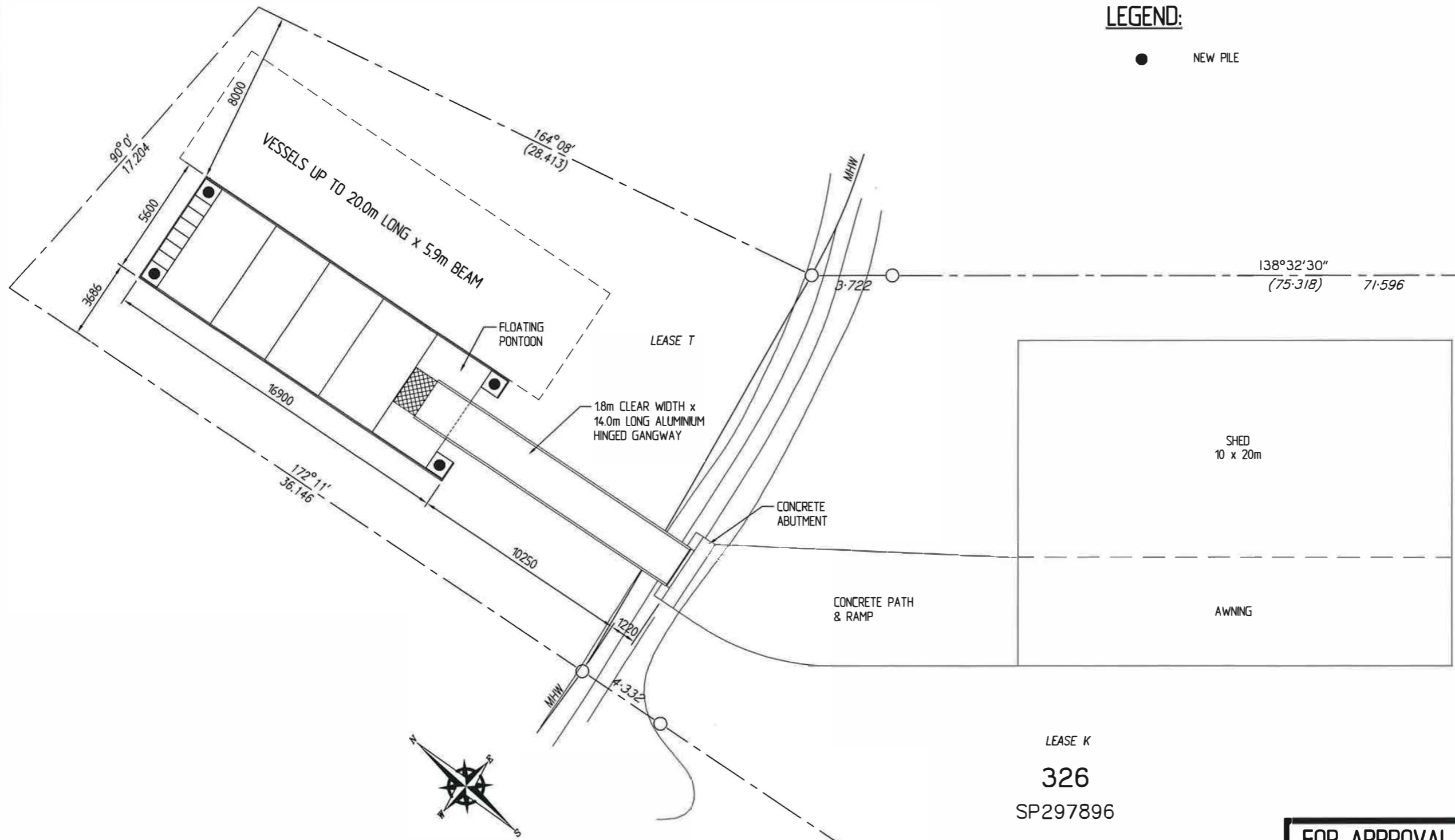
Attachment 5—Approved plans and specifications

NOTES:

1. FOR GENERAL NOTES REFER TO DRAWING 6027-01.
2. ON SHORE LAYOUT, BOUNDARY LINES AND CONTOURS PROVIDED BY McDONALD-SMITH MARINE DESIGNERS DWG FILE DRAWING No. FL100 Rev D.
3. BOUNDARY DISTANCES ARE SHOWN IN METERS.

LEGEND:

● NEW PILE



A 17/3/22 NOTE 3 ADDED & ISSUED FOR APPROVAL

Revisions

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A.C.N. 079 905 481

5/26 Brandl Street
EIGHT MILE PLAINS QLD 4113
AUSTRALIA
Phone (07)3892 5711 Fax (07)3892 5611
Email : imc@imc-marinas.com

CLIENT:
FRANK LEIS REFRIGERATION

PROJECT:
NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

TITLE:
GENERAL ARRANGEMENT


FOR APPROVAL

J. M. LEMAN
REGISTERED PROFESSIONAL ENGINEER
OF QUEENSLAND NUMBER : 2938

PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE

SARA ref: 2303-33768 SRA

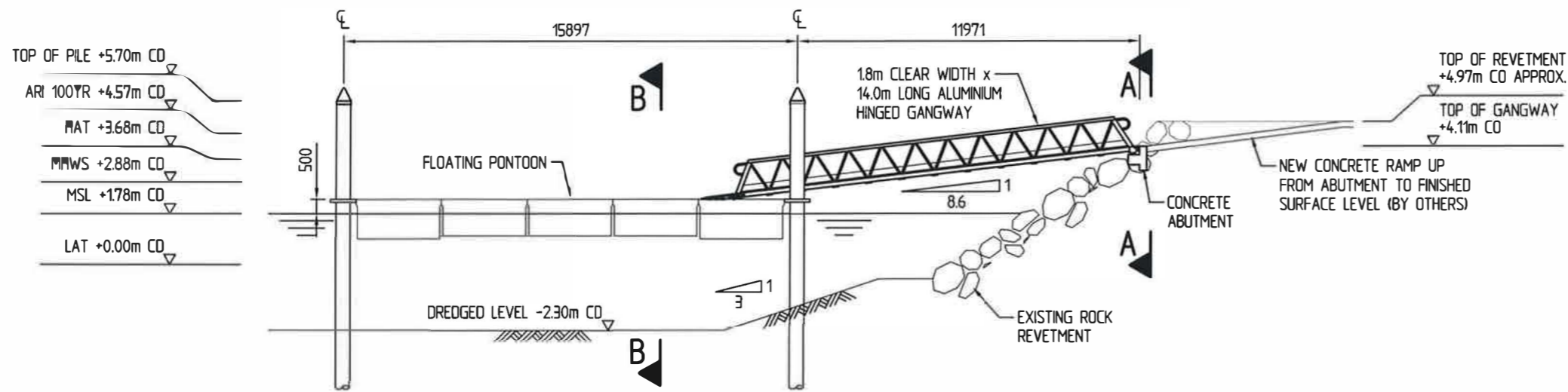
Date: 17 April 2023




Date: 08/02/2022
Drawing No.: 6027-02/A
Scale: AS SHOWN
Drawn By: A.L.F. Checked By:
Approved By:

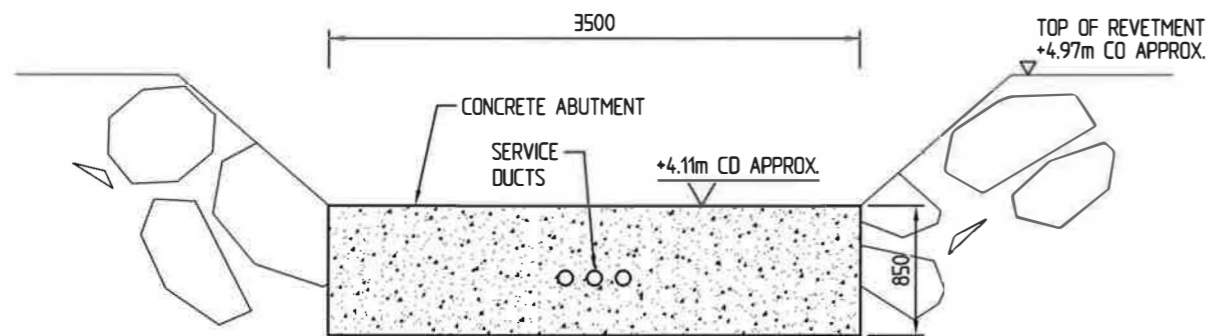
NOTES:

1. FOR GENERAL NOTES REFER TO DRAWING 6027-01.
2. GRADIENT OF GANGWAY AT L.A.T. IS 1 : 4.
3. LOCATION & PROFILE OF REVETMENT TO BE CONFIRMED ON SITE.
4. MAINTENANCE DREDGE TO MINIMUM DEPTH OF 1.2m UNDER THE PONTOON AT L.A.T. AND 2.3m IN BERTHING AREA.



ELEVATION AT M.S.L.

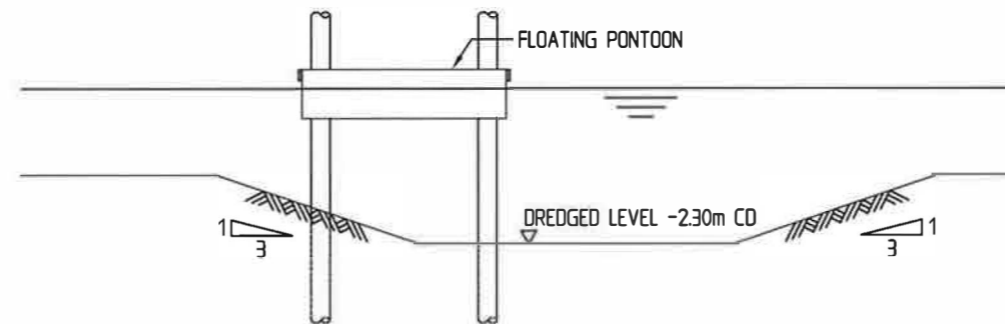
SCALE 1 : 200 (A3)



SECTION A - A

SCALE 1 : 50 (A3)

(GANGWAY NOT SHOWN FOR CLARITY)



SECTION B - B

SCALE 1 : 200 (A3)

FOR APPROVAL

J. M. LEMAN
J. M. LEMAN
 REGISTERED PROFESSIONAL ENGINEER
 OF QUEENSLAND NUMBER : 2938

B 17/3/22 NOTE 4 & TOP OF PILE ADDED. SECTION A-A & B-B REVISED. ARI 100 LEVEL INCREASED AND ISSUED FOR APPROVAL. A 8/3/22 GRADIENT OF ROCK REVETMENT AND DREDGE BATTER REVISED.

Revisions

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International Marina Consultants Pty. Ltd.
 A.C.N. 079 905 481

5/26 Brandt Street
 EIGHT MILE PLAINS QLD 4113
 AUSTRALIA
 Phone (07)3892 5711 Fax (07)3892 5611
 Email : imc@imc-marinas.com

CLIENT:
FRANK LEIS REFRIGERATION

PROJECT:
NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

TITLE:
ELEVATIONS

Date: 08/02/2022

Drawing No.: 6027-03/B

Scale: AS SHOWN

Drawn By: A.L.F. **Checked By:**

Approved By:

PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE



SARA ref: 2303-33768 SRA

Date: 17 April 2023

SETOUT NOTE:

PILING CONTRACTOR'S SURVEYOR IS TO OBTAIN AND REVIEW AN AUTOCAD COPY OF THIS DRAWING TO CONFIRM THE PILE SETOUT DIMENSIONS ALONG WITH BEARINGS TO THE SETOUT POINT. ALL BEARINGS AND DISTANCES ARE TO BE CONFIRMED ON SITE PRIOR TO PILE INSTALLATION.

PILE SCHEDULE				
PILE No.	BED LEVEL (m CD)	PILE TYPE & CAPACITY	MINIMUM EMBEDMENT (m)	ESTIMATED PILE LENGTH (m)
P1	-2.3	457 DIA. x 9.5 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	9.0	17.0
P2	-2.3	457 DIA. x 9.5 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	9.0	17.0
P3	-2.3	457 DIA. x 9.5 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	9.0	17.0
P4	-2.3	457 DIA. x 9.5 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	9.0	17.0

NOTES:

- FOR GENERAL NOTES REFER TO DRAWING No. 6027-01.
- ALL STEEL PILES SHALL BE CORROSION PROTECTED WITH HOPE SLEEVES FROM TOP OF PILE TO 1.5m BELOW BED LEVEL. THE ANNULUS BETWEEN THE PILES AND HOPE SLEEVES IS TO BE FILLED WITH WATER TO HAT AND THE SLEEVES SEALED AIR TIGHT AFTER FILLING.
- ALL DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO PILE INSTALLATION.
- ON SHORE LAYOUT, BOUNDARY LINES AND CONTOURS PROVIDED BY MCDONALD-SMITH MARINE DESIGNERS DWG FILE DRAWING No. FL100 Rev D.
- BOUNDARY DISTANCES ARE SHOWN IN METERS.

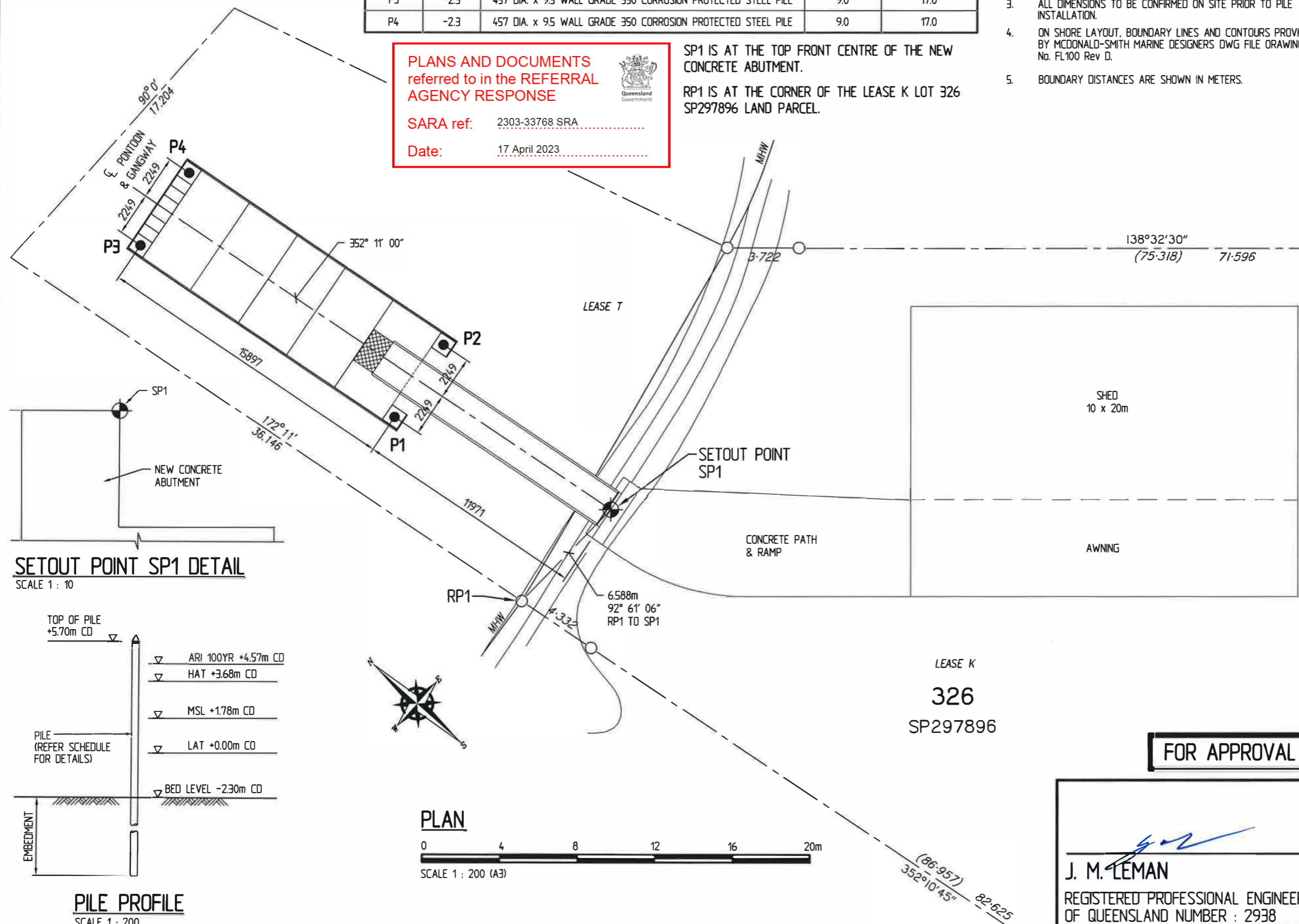
PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE

SARA ref: 2303-33768 SRA

Date: 17 April 2023

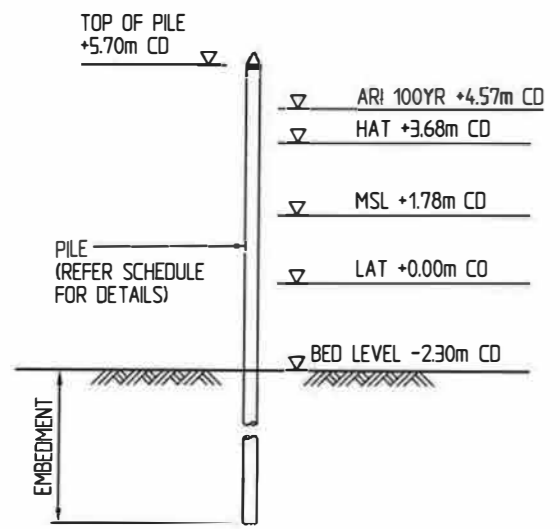
SP1 IS AT THE TOP FRONT CENTRE OF THE NEW CONCRETE ABUTMENT.

RP1 IS AT THE CORNER OF THE LEASE K LOT 326 SP297896 LAND PARCEL.



SETOUT POINT SP1 DETAIL

SCALE 1 : 10



PILE PROFILE

SCALE 1 : 200

PLAN



FOR APPROVAL

J. M. LEMAN
J. M. LEMAN
 REGISTERED PROFESSIONAL ENGINEER
 OF QUEENSLAND NUMBER : 2938

A 17/3/22 NOTE 5 AND TOP OF PILE ADDED. ARI 100 LEVEL INCREASED AND ISSUED FOR APPROVAL.

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International Marina Consultants Pty. Ltd.
 A.C.N. 079 905 481
 5/26 Brandt Street
 EIGHT MILE PLAINS QLD 4113
 AUSTRALIA
 Phone (07)3892 5711 Fax (07)3892 5611
 Email : imc@imc-marinas.com

CLIENT:
FRANK LEIS REFRIGERATION

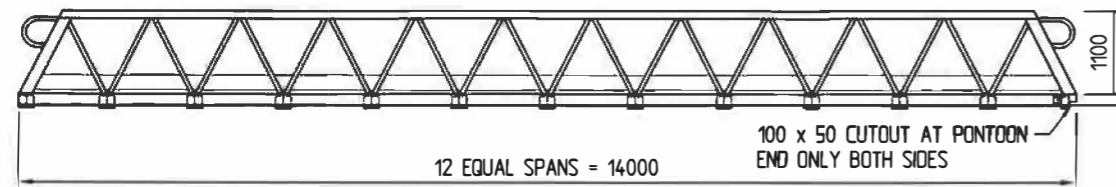
PROJECT:
NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

TITLE:
PILE SETOUT DETAILS

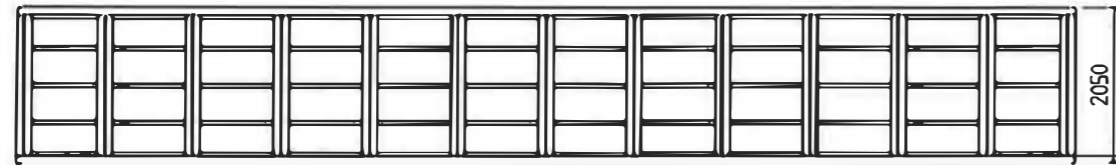
Date: 08/02/2022
 Drawing No.: 6027-04/A
 Scale: AS SHOWN
 Drawn By: A.L.F. Checked By:
 Approved By:

NOTES:

1. FOR GENERAL NOTES REFER TO DRAWING 6027-01.



ELEVATION

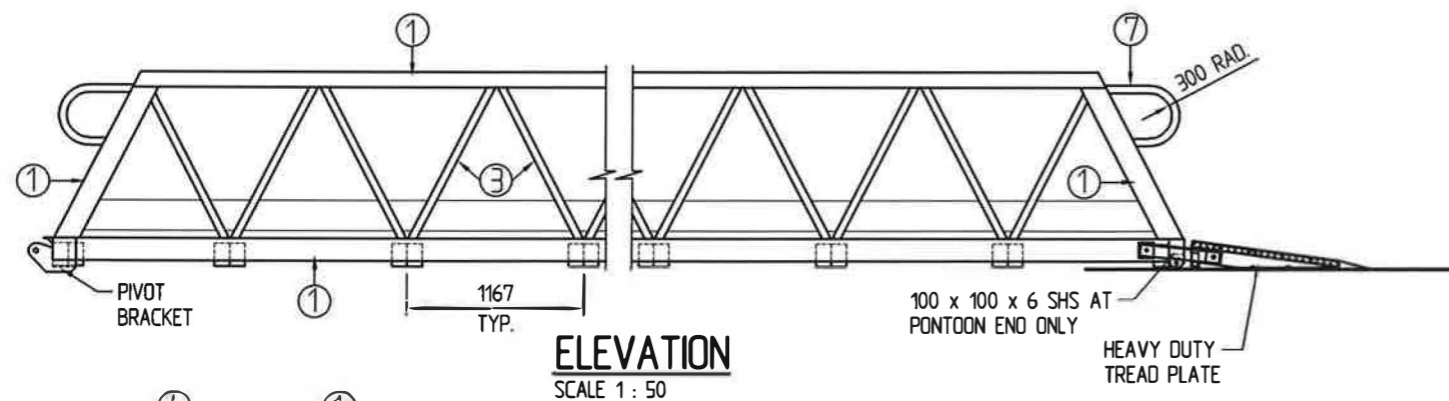


PLAN

GENERAL ARRANGEMENT

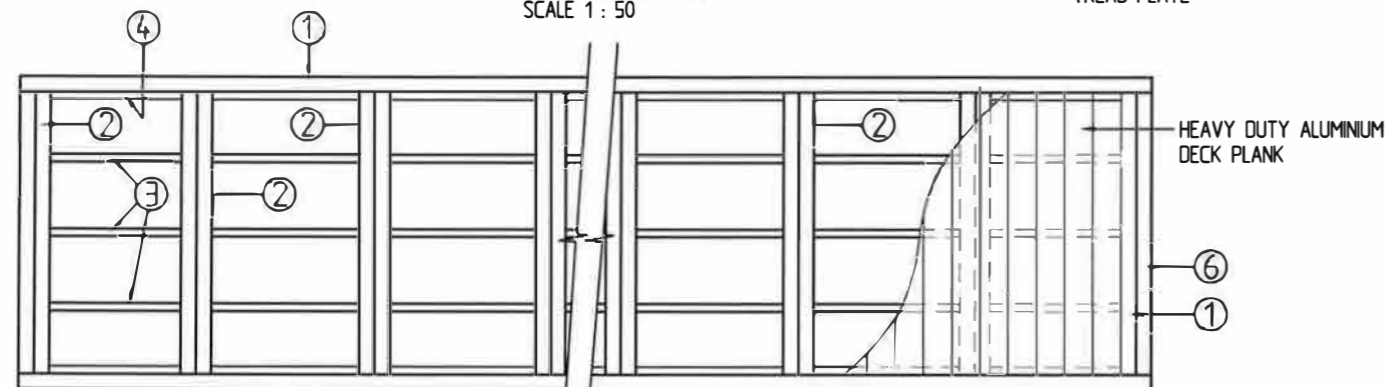
SCALE 1 : 100

ITEM	DESCRIPTION
1	RHS 150 x 100 x 5
2	2 x RHS 150 x 100 x 5
3	RHS 100 x 50 x 6
4	ANGLE 50 x 25 x 3
5	200 x 50 TIMBER KERB
6	SHS 100 x 100 x 6
7	CHS 50 x 3



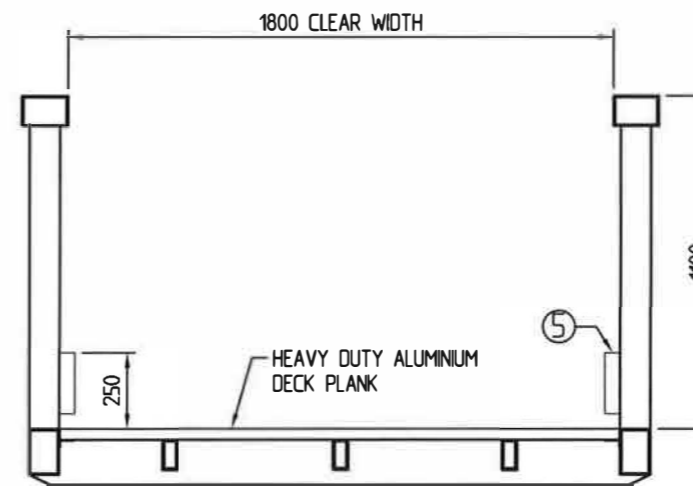
ELEVATION

SCALE 1 : 50



PLAN VIEW BOTTOM CHORD

SCALE 1 : 50



TYPICAL SECTION

SCALE 1 : 25

FOR APPROVAL

J. M. LEMAN
J. M. LEMAN
 REGISTERED PROFESSIONAL ENGINEER
 OF QUEENSLAND NUMBER : 2938

A 17/3/22 ISSUED FOR APPROVAL.

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International Marina Consultants Pty. Ltd.
 A.C.N. 079 905 481

5/26 Brandt Street
 EIGHT MILE PLAINS QLD 4113
 Australia
 Phone (07)3892 5711 Fax (07)3892 5611
 Email : imc@imc-marinas.com

CLIENT:
FRANK LEIS REFRIGERATION

PROJECT:
NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

TITLE:
1.8m CLEAR WIDTH x 14.0m LONG ALUMINIUM HINGED GANGWAY

Date: 08/02/2022

Drawing No.: 6027-06/A

Scale: AS SHOWN

Drawn By: A.L.F. **Checked By:**

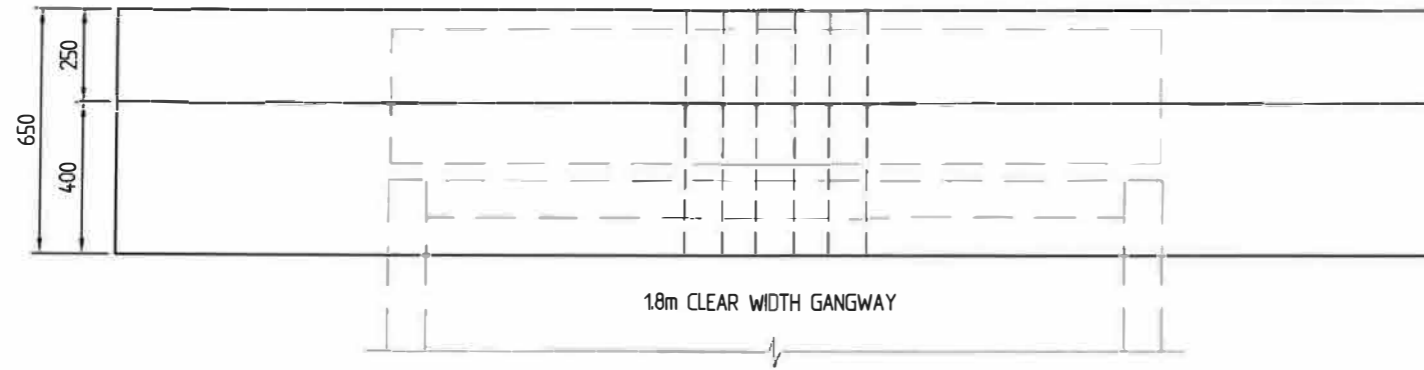
Approved By:

PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE



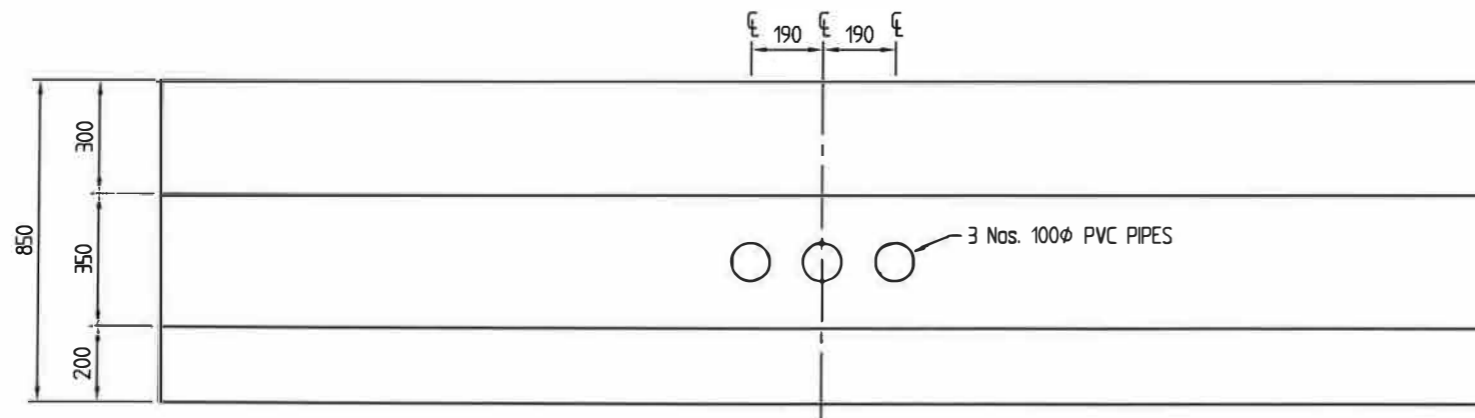
SARA ref: 2303-33768 SRA

Date: 17 April 2023



PLAN

SCALE 1 : 20



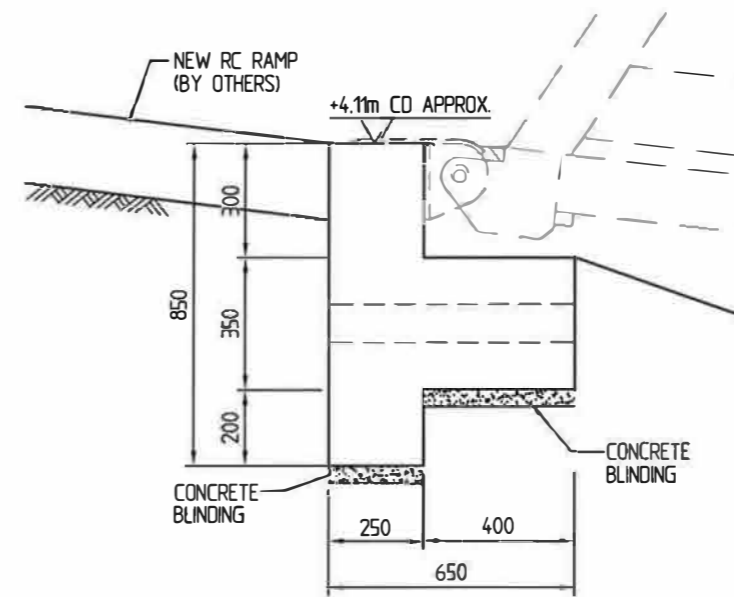
(GANGWAY NOT SHOWN FOR CLARITY)

ELEVATION

SCALE 1 : 20

NOTES:

- FOR GENERAL NOTES REFER TO DRAWING No. 6027-01.
- UNFACTORED GANGWAY LOADS PER HINGE
 DL 5.1 kN VERTICAL
 DL 2.5 kN HORIZONTAL PARALLEL TO GANGWAY
 DL 15 kN HORIZONTAL PERPENDICULAR TO GANGWAY
 LL 21.0 kN VERTICAL
 LL 10.5 kN HORIZONTAL PARALLEL TO GANGWAY
 LL 6.3 kN HORIZONTAL PERPENDICULAR TO GANGWAY
- THE ABUTMENT FOUNDATION BEARING CAPACITY AND SLOPE STABILITY OF REVETMENT TO BE CHECKED AND CONFIRMED BY A GEOTECHNICAL ENGINEER.



ELEVATION

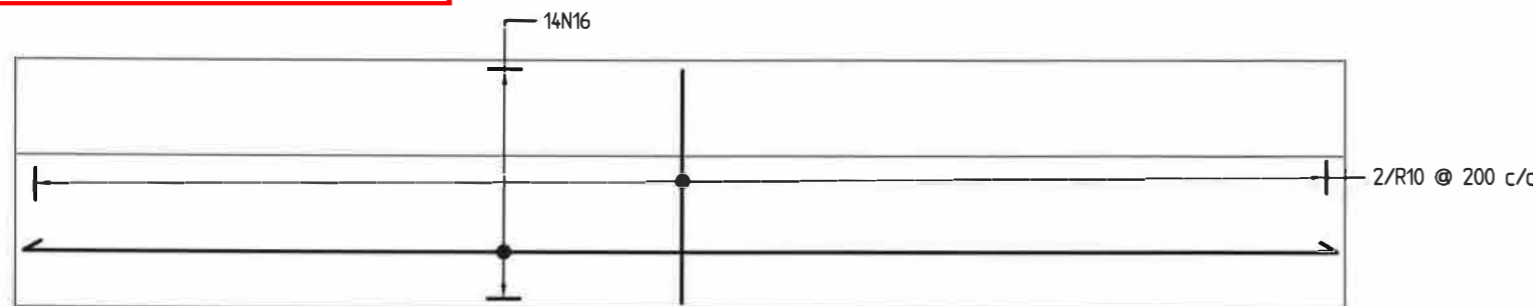
SCALE 1 : 20

PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE



SARA ref: 2303-33768 SRA

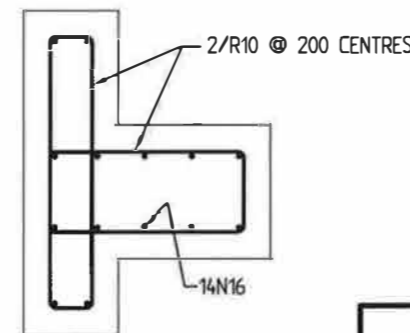
Date: 17 April 2023



PLAN

REINFORCEMENT DETAILS

SCALE 1 : 20



TYPICAL SECTION

FOR APPROVAL

J. M. LEMAN

REGISTERED PROFESSIONAL ENGINEER OF QUEENSLAND NUMBER : 2938

A 17/3/22 NOTES REVISED, CONDUITS RELOCATED AND ISSUED FOR APPROVAL.

Revisions

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International Marina Consultants Pty. Ltd.
A.C.N. 079 905 481

5/26 Brandl Street
EIGHT MILE PLAINS QLD 4113
Australia
Phone (07)3892 5711 Fax (07)3892 5611
Email : imc@imc-marinas.com

CLIENT:

FRANK LEIS REFRIGERATION

PROJECT:

NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

TITLE:

GANGWAY CONCRETE ABUTMENT

Date: 08/02/2022

Drawing No.: 6027-07/A

Scale: AS SHOWN

Drawn By: A.L.F. Checked By:

Approved By:

Referral Agency Name: Bundaberg Regional Council

9 May 2023

Leis Family Super Fund
PO Box 1773
BUNDABERG QLD 4670
via email: leislife@tpg.com.au

Attention: Debbie Leis

Dear Mrs Leis

Referral Agency Response

(Given under section 56(4) of the Planning Act 2016)

Thank you for your Referral Agency referral for the following premises which was properly referred on 3 April 2023. The Bundaberg Regional Council has assessed the referral against the relevant matters of its jurisdiction and has made a decision as follows:

Applicant details

Name: Leis Family Super Fund
Postal Address: PO Box 1773
BUNDABERG QLD 4670
Email: leislife@tpg.com.au
Phone No.: 0419 535 722

Application details

Application number: 532.2023.2377.1
Details of proposed development: Concurrence Request for Referral Agency

Location details

Property Address: 7 Marina Drive Burnett Heads
Real property description: Lot 326 on SP297896

Referral triggers

The request for a Development Application was referred to the Bundaberg Regional Council under the following provisions of the Planning Act:

- Section 48 (7) of the *Planning Act 2016*

Decision

Decision details: The Bundaberg Regional Council advises the assessment manager that:

- 1) any development approval must be subject to the conditions set out in Schedule 1.

Conditions

This approval is subject to the conditions in Schedule 1.

The Bundaberg Regional Council advises the Assessment manager that the conditions be attached to any development approval for the application in accordance with section 56 of the *Planning Act 2016* and that under section 62(b) of the *Planning Act 2016* the assessment manager must attach this response to any approval for the development.

Approved plans and specifications

Copies of the following plans, specifications and/or drawings are enclosed.

Drawing/report title	Prepared by	Date	Reference no.	Version/issue
General Notes and Locality Plan	International Marina Consultants	08/02/2022	6027-01/A	N/A
General Arrangement	International Marina Consultants	08/02/2022	6027-02/A	N/A
Elevations	International Marina Consultants	08/02/2022	6027-03/B	N/A
Piles Setout Plan	International Marina Consultants	08/02/2022	6027-04/A	N/A
Waler Connections Detail	International Marina Consultants	09/02/2022	6027-05/A	N/A
1.8m Clear width x 14.0m long aluminium hinged gangway	International Marina Consultants	08/02/2022	6027-06/A	N/A
Gangway Concrete abutment	International Marina Consultants	08/02/2022	6027-07/A	N/A
1.8m Clear width x 14.0m long aluminium hinged gangway	International Marina Consultants	25/02/2022	6027-300	N/A

Drawing/report title	Prepared by	Date	Reference no.	Version/issue
Heavy duty tread plate detail Sheet 1	International Marina Consultants	25/02/2022	6027-302	N/A
Heavy duty tread plate detail Sheet 2	International Marina Consultants	25/02/2022	6027-303	N/A
Gangway Mounting Bracket	International Marina Consultants	16/03/2022	6027-301	N/A

Please quote Council's application number: 532.2023.2377.1 in all subsequent correspondence relating to this development application. Should you require any clarification regarding this matter or wish to schedule a meeting, please contact Scott Irwin on telephone 1300 883 699.

Yours sincerely

Hugh Byrnes
Principal Planner

CC: Gladstone Ports Corporation limited
Via email: planning@gpcl.com.au

ENCL.

- SCHEDULE 1—Conditions and Advice
- APPROVED PLANS



SCHEDULE 1 – Conditions and Advice

PART 1A – CONDITIONS IMPOSED BY THE REFERRAL AGENCY

NO.	CONDITION	TIMING
EARTHWORKS		
1.	Ensure all material removed from the site complies with the <i>Environmental Protection (Waste Management) Regulation 2000</i> and Council's waste disposal procedures where within the local government area.	At all times
2.	Undertake appropriate investigations to ascertain the presence or absence of Acid Sulfate Soil (ASS) anywhere within the work zone. If Acid Sulfate Soil is identified, prepare an Acid Sulfate Soil Management Plan.	Prior to the commencement of works
ENVIRONMENTAL – DUST AND NOISE		
3.	Hours of operation/construction must be limited to the following: <ul style="list-style-type: none"> a. Monday to Friday 7am to 6:30pm b. Saturday 8am to 2:30pm c. no work on Sunday or Public holidays Unless approved in writing by the Referral Manager.	At all times
4.	Implement and modify as necessary the Erosion control management plan for the duration of the operational works to maintain compliance with the IECA guidelines, and until all exposed soil areas are permanently stabilised (e.g. turfed, hydro-mulched, concreted, landscaped). The prepared plan must be available on-site for inspection by Council Officers during these works.	At all times
WORKS ACCEPTANCE		
5.	In order to achieve acceptance of the work, the applicant must provide applicable appropriately certified tidal work documentation in accordance with the Coastal Protection and Management Regulation 2017, Schedule 3 – Code for assessable development that is prescribed tidal work – Part 2 section 5.	Prior to commencement of use.
LIGHTING		
6.	All lighting other than for navigational aid is to be hooded and directed downward.	Prior to work commencing on site

PART 1B – ADVICE NOTES

NO.	ADVICE	TIMING
GENERAL		
1.	<p>An audit check of the Operational Works drawings has been undertaken in relation to the proposed works. A detailed check of the calculations and drawings has not been undertaken, as they have been certified by a Registered Professional Engineer of Queensland (RPEQ).</p> <p>The RPEQ bears full responsibility for all aspects of the engineering design, including the identification and resolution of any design faults that may arise throughout the course of the Operational works. The Assessment Manager reserves the right to require further amendments and/or additions at a later date should design errors become apparent.</p>	At all times
2.	<p>Inspections by Council are independent of, and do not negate, the Registered Professional Engineer of Queensland (RPEQ) inspections that ensure compliance with the decision notice for Operational work.</p>	At all times
ENVIRONMENTAL HARM		
3.	<p>The <i>Environmental Protection Act 1994</i> states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks, construction, and operational phases of this development, are to adhere to their ‘general environmental duty’ to minimise the risk of causing environmental harm. Environmental harm is defined by the Act as any adverse effect, or potential adverse effect whether temporary or permanent and of whatever magnitude, duration or frequency on an environmental value and includes environmental nuisance. Therefore, no person should cause any interference with the environment or amenity of the area by reason of the emission of noise, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, wastewater, waste products, grit, sediment, oil, or otherwise, or cause hazards likely in the opinion of the administering authority to cause undue disturbance or annoyance to persons or affect property no connected with the use.</p>	At all times
ABORIGINAL CULTURAL HERITAGE		
4.	<p>All development should proceed in accordance with the Duty of care guidelines under the <i>Aboriginal Cultural Heritage Act 2003</i>. Penalties may apply where duty of care under that act has been breached.</p>	At all times

GENERAL NOTES:

- 1.0 ALL DIMENSIONS AND LEVELS ARE TO BE VERIFIED ON SITE.
- 2.0 WHEN IN DOUBT 'ASK' DO NOT SCALE.
- 3.0 ALL DIMENSIONS ARE SHOWN IN MILLIMETRES U.N.O.
- 4.0 ALL LEVELS ARE SHOWN IN METRES AND ARE REDUCED TO CHART DATUM.
- 5.0 PILES
 - TOLERANCE FOR DRIVING IN PLAN +/- 50 mm, MEASURED AS THE WORST COMBINATION OF PLAN DEVIATION AND OUT OF PLUMB OVER FULL TIDAL RANGE. VERTICAL = 1 IN 150 MAX OUT OF PLUMB
 - CONTRACTOR TO ADVISE ENGINEER IF BED LEVELS DIFFER FROM DESIGN LEVELS BY MORE THAN 300mm.
- 6.0 PONTOON DIMENSIONS ARE NOMINAL
 - DIMENSIONS ARE MEASURED WALER TO WALER
- 7.0 PONTOONS ARE TO BE CONNECTED TOGETHER WITH TIMBER WALERS.
- 8.0 ALL THROUGH-RODS ARE TO BE 20 DIA. GALV. STEEL OR 316 GRADE STAINLESS STEEL
- 9.0 ALL TIMBER DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH AS 1720.1
 - WALER SIZES
 - 5.4m WIDE PONTOON
 - 2/50 x 300 GRADE F17 HARDWOOD TIMBER WALERS EACH SIDE
 - ALL TIMBER TO BE SEASONED AND TREATED IN ACCORDANCE WITH AS 1604.
 - STRUCTURAL TIMBER MUST NOT BE CUT OR DRILLED FOR ANY REASON OTHER THAN SHOWN ON THESE DRAWINGS.
- 10.0 ALL WELDS TO BE COMPLETE PENETRATION BUTT WELD OR 6mm FILLET WELD AS REQUIRED U.N.O.
- 11.0 ALL ALUMINIUM WORK TO BE IN ACCORDANCE WITH AS 1664.
 - ALL EXTRUSIONS TO BE TYPE 6061-T6 OR 6082-T5 U.N.O.
 - PLATES TO BE TYPE 5083 TEMPER H321.
 - ALL WELDS SHALL BE INERT GAS WELD USING PULSE M.I.G. OR T.I.G. FUSION WELDING PROCESS.
- 12.0 ALL STEEL AND ALUMINIUM WORKS SHALL BE NEATLY FINISHED WITH ALL SHARP EDGES GROUND SMOOTH.
- 13.0 PILE GUIDE BLOCKS ARE TO BE ADJUSTED AS REQUIRED TO SUIT PILE SIZE AND POSITION ON SITE.
 - CLEARANCE MUST BE PROVIDED BETWEEN PILE AND GUIDE TO PREVENT "HANGING" OF PONTOON UNDER FULL TIDAL RANGE.
- 14.0 CONCRETE ABUTMENT
 - ALL CONCRETE WORKS SHALL COMPLY WITH AS 3600
 - MINIMUM CONCRETE STRENGTH $f'c = 50MPa$
 - MINIMUM COVER TO STRUCTURAL REINFORCEMENT = 65mm
- 15.0 WALKING SURFACES SHALL BE FINISHED IN ACCORDANCE WITH AS4586.
 - NON-SLIP P4 (R11)

- 16.0 INSULATION
ALL DISSIMILAR METALS SHALL BE INSULATED.

BOLTED MATERIAL	INSULATING MATERIAL
ALUMINIUM / GALV. STEEL	DURALAC ANTI CORROSION COMPOUND OR NYLON SEPARATION WASHERS
ALUMINIUM / CONCRETE	3mm NEOPRENE
STEEL / CONCRETE	3mm NEOPRENE

- 17.0 DESIGN PARAMETERS
- WIND
 - BASIC WIND SPEED $V_u = 62$ m/s
 - TERRAIN CATEGORY $TC = 2$
 - GUST DURATION = 30sec
- WAVE
 - $H_s = 0.4m$ $T_p = 1.75$
- VESSEL WAKE
 - $H_{max} = 0.4m$
- LIVE LOAD ON PONTOON
 - MAX. UNIFORMLY DISTRIBUTED LOAD 3.0 kPa
 - CONCENTRATED LOAD 4.5kN
 - FREEBOARD UNDER DEAD LOAD 500mm APPROX.
- BERTHING IMPACT
 - $v = 0.3m/s$
- DESIGN VESSEL (MONO)

VESSEL LENGTH (m)	WIND PROFILE AREA (m ²)		DISPLACEMENT (t)
	BEAM	HEAD	
20	76.0	24.0	100.0

- 18.0 THE WORKS WILL BE STRUCTURALLY ADEQUATE FOR ANTICIPATED USAGE.
- 19.0 THE WORKS COMPLY WITH ALL RELEVANT CODES - INCLUDING THE DEHP'S OPERATIONAL POLICY - BUILDING AND ENGINEERING STANDARDS FOR TIDAL WORKS.
- 20.0 DREDGING TO BE IN ACCORDANCE WITH EXISTING APPROVALS (REFER TO APPROVAL 806321 DATED 22 DEC 1994).



SITE PLAN
SCALE N.T.S.

FOR APPROVAL

J. McEEMAN
J. MCEEMAN
 REGISTERED PROFESSIONAL ENGINEER
 OF QUEENSLAND NUMBER : 2938

APPROVED PLAN
 Date: 08/05/2023
 Application No.: 532.2023.2377.1



A 17/3/22 NOTES 18, 19 & 20 REVISED AND ISSUED FOR APPROVAL.

Revisions

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International Marina Consultants
 Consultants to the Marina Industry.
International Marina Consultants Pty. Ltd.
 A.C.N. 079 905 481
 5/26 Brandt Street
 EIGHT MILE PLAINS QLD 4113
 AUSTRALIA
 Phone (07)3892 5711 Fax (07)3892 5611
 Email : imc@imc-marinas.com

CLIENT:
FRANK LEIS REFRIGERATION

PROJECT:
NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

TITLE:
GENERAL NOTES AND LOCALITY PLAN

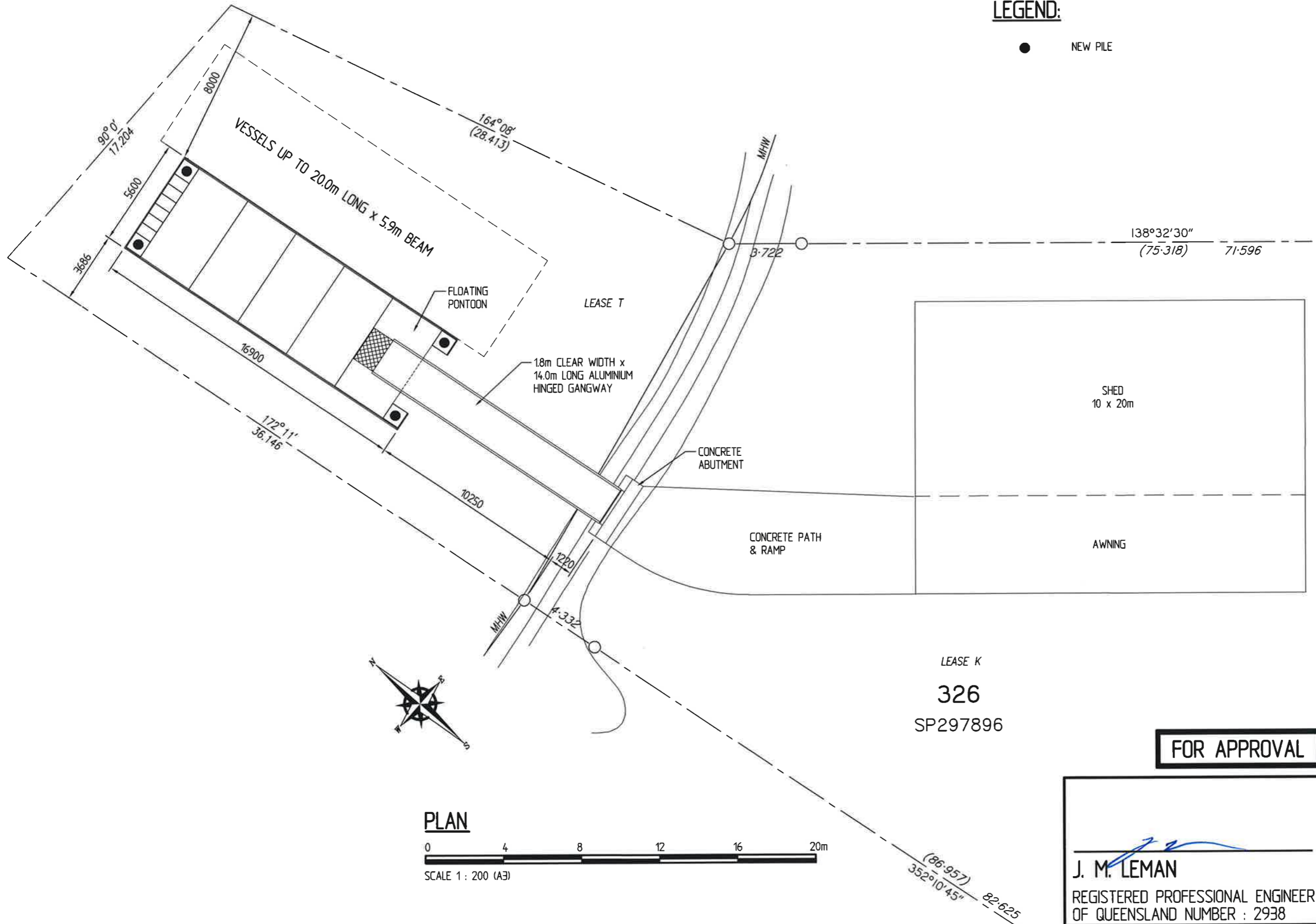
Date: 08/02/2022
 Drawing No.: 6027-01/A
 Scale: N.T.S.
 Drawn By: A.L.F. Checked By:
 Approved By:

NOTES:

1. FOR GENERAL NOTES REFER TO DRAWING 6027-01.
2. ON SHORE LAYOUT, BOUNDARY LINES AND CONTOURS PROVIDED BY McDONALD-SMITH MARINE DESIGNERS DWG FILE DRAWING No. FL100 Rev D.
3. BOUNDARY DISTANCES ARE SHOWN IN METERS.

LEGEND:

● NEW PILE



PLAN



FOR APPROVAL

J. M. LEMAN
J. M. LEMAN
 REGISTERED PROFESSIONAL ENGINEER
 OF QUEENSLAND NUMBER : 2938

APPROVED PLAN
 Date: 08/05/2023
 Application No.: 532.2023.2377.1

A 17/3/22 NOTE 3 ADDED & ISSUED FOR APPROVAL.

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Consultants to the Marina Industry.
International Marina Consultants Pty. Ltd.
 A.C.N. 079 905 481
 5/26 Brandl Street
 EIGHT MILE PLAINS QLD 4113
 AUSTRALIA
 Phone (07)3892 5711 Fax (07)3892 5611
 Email : imc@imc-marinas.com

CLIENT:
FRANK LEIS REFRIGERATION

PROJECT:
NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

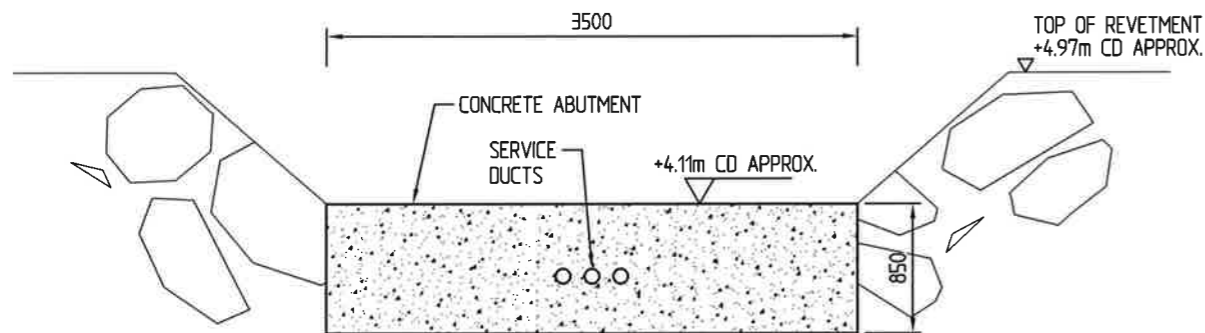
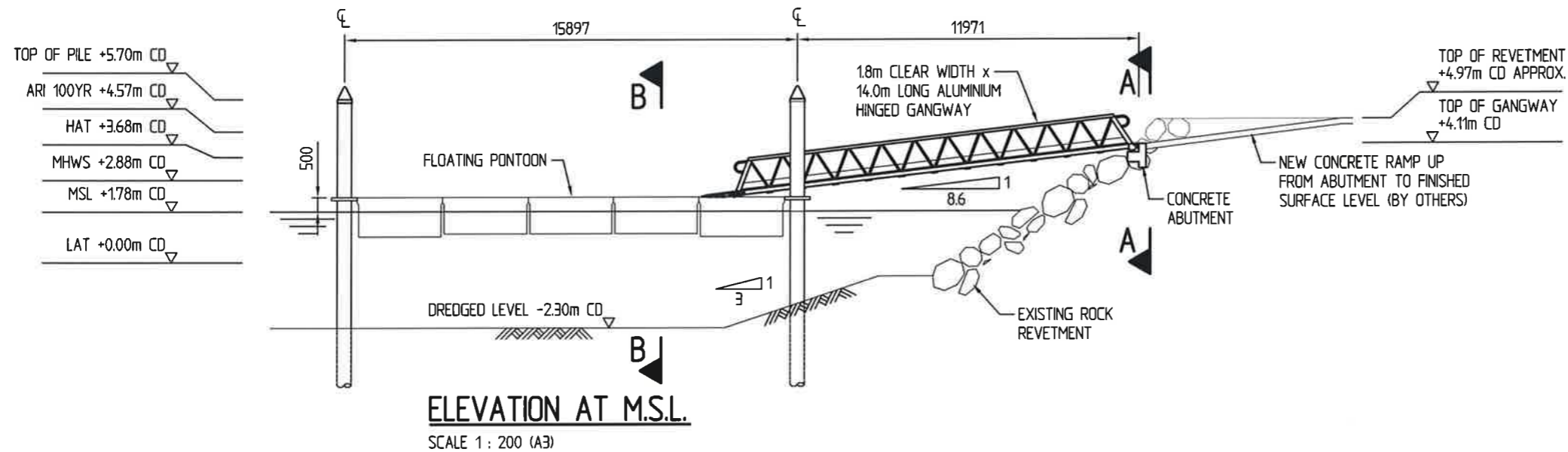
TITLE:
GENERAL ARRANGEMENT

Date:	08/02/2022
Drawing No.:	6027-02/A
Scale:	AS SHOWN
Drawn By: A.L.F.	Checked By:
Approved By:	

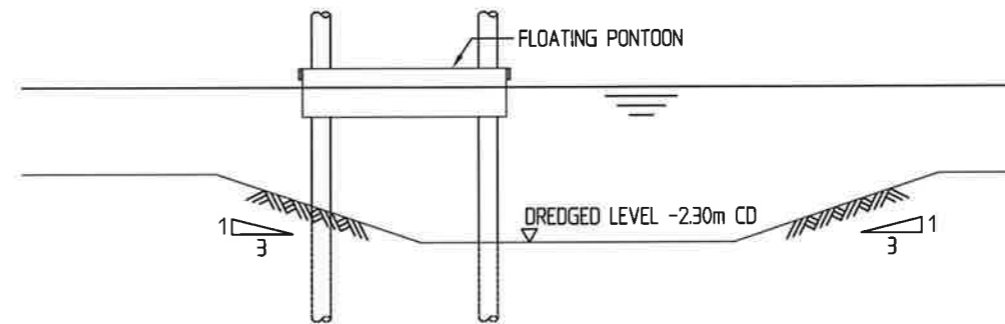
NOTES:

1. FOR GENERAL NOTES REFER TO DRAWING 6027-01.
2. GRADIENT OF GANGWAY AT L.A.T. IS 1 : 4.
3. LOCATION & PROFILE OF REVETMENT TO BE CONFIRMED ON SITE.
4. MAINTENANCE DREDGE TO MINIMUM DEPTH OF 1.2m UNDER THE PONTOON AT L.A.T. AND 2.3m IN BERTHING AREA.

APPROVED PLAN
 Date: 08/05/2023
 Application No.: 532.2023.2377.1

SECTION A - A
 SCALE 1 : 50 (A3)
 (GANGWAY NOT SHOWN FOR CLARITY)



SECTION B - B
 SCALE 1 : 200 (A3)

FOR APPROVAL

J. M. LEMAN
J. M. LEMAN
 REGISTERED PROFESSIONAL ENGINEER
 OF QUEENSLAND NUMBER : 2938

B 17/3/22 NOTE 4 & TOP OF PILE ADDED. SECTION A-A & B-B REVISED. ARI 100 LEVEL INCREASED AND ISSUED FOR APPROVAL. A 8/3/22 GRADIENT OF ROCK REVETMENT AND DREDGE BATTER REVISED.

Revisions
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 Consultants to the Marina Industry.
International Marina Consultants Pty. Ltd.
 A.C.N. 079 905 481
 5/26 Brandt Street
 EIGHT MILE PLAINS QLD 4113
 AUSTRALIA
 Phone (07)3892 5711 Fax (07)3892 5611
 Email : imc@imc-marinas.com

CLIENT:
FRANK LEIS REFRIGERATION

PROJECT:
NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

TITLE:
ELEVATIONS

Date:	08/02/2022
Drawing No.:	6027-03/B
Scale:	AS SHOWN
Drawn By: A.L.F.	Checked By:
Approved By:	

SETOUT NOTE:

PILING CONTRACTOR'S SURVEYOR IS TO OBTAIN AND REVIEW AN AUTOCAD COPY OF THIS DRAWING TO CONFIRM THE PILE SETOUT DIMENSIONS ALONG WITH BEARINGS TO THE SETOUT POINT. ALL BEARINGS AND DISTANCES ARE TO BE CONFIRMED ON SITE PRIOR TO PILE INSTALLATION.

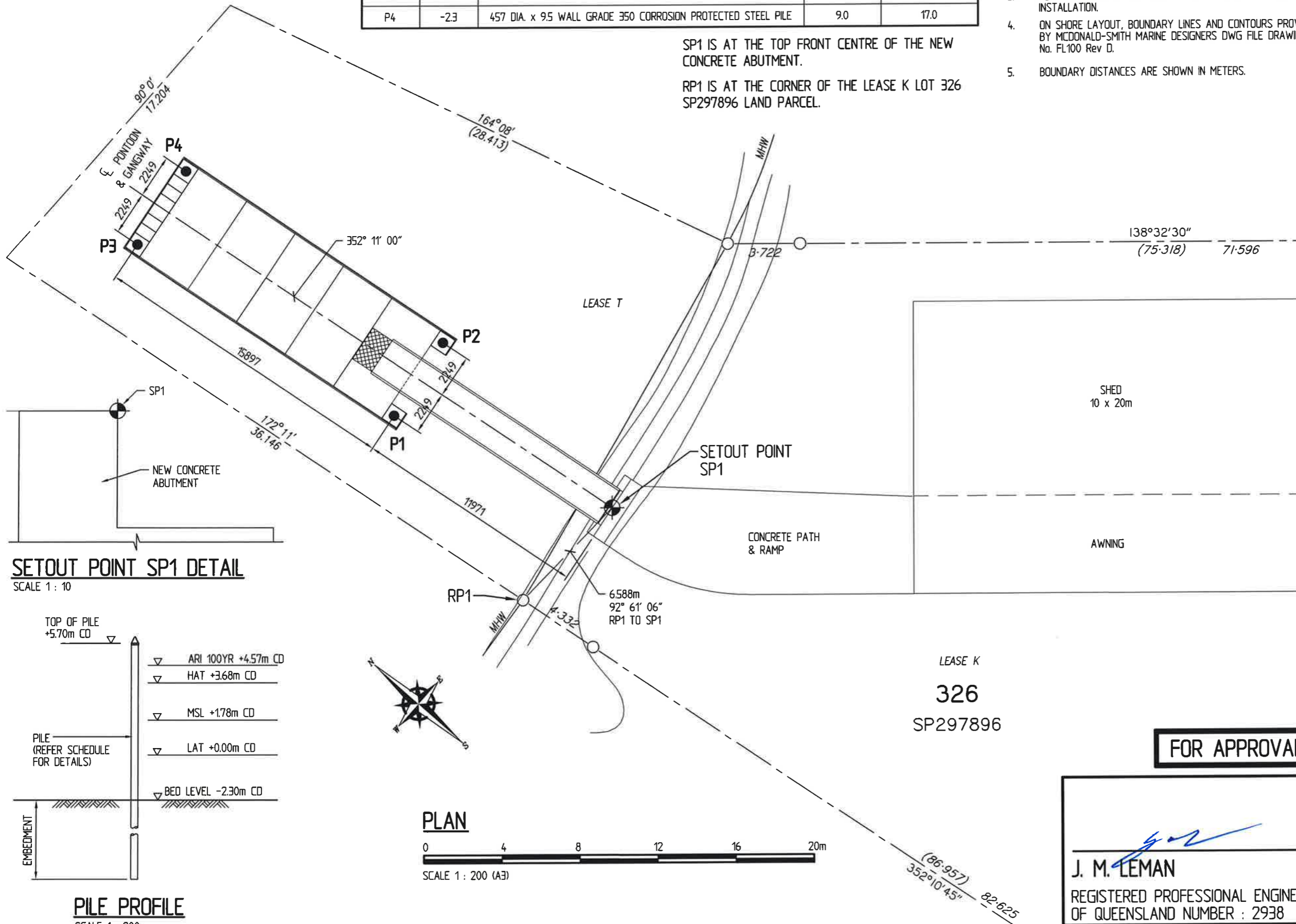
PILE SCHEDULE				
PILE No.	BED LEVEL (m CD)	PILE TYPE & CAPACITY	MINIMUM EMBEDMENT (m)	ESTIMATED PILE LENGTH (m)
P1	-2.3	457 DIA. x 9.5 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	9.0	17.0
P2	-2.3	457 DIA. x 9.5 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	9.0	17.0
P3	-2.3	457 DIA. x 9.5 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	9.0	17.0
P4	-2.3	457 DIA. x 9.5 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	9.0	17.0

NOTES:

- FOR GENERAL NOTES REFER TO DRAWING No. 6027-01.
- ALL STEEL PILES SHALL BE CORROSION PROTECTED WITH HDPE SLEEVES FROM TOP OF PILE TO 15m BELOW BED LEVEL. THE ANNULUS BETWEEN THE PILES AND HDPE SLEEVES IS TO BE FILLED WITH WATER TO HAT AND THE SLEEVES SEALED AIR TIGHT AFTER FILLING.
- ALL DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO PILE INSTALLATION.
- ON SHORE LAYOUT, BOUNDARY LINES AND CONTOURS PROVIDED BY McDONALD-SMITH MARINE DESIGNERS DWG FILE DRAWING No. FL100 Rev D.
- BOUNDARY DISTANCES ARE SHOWN IN METERS.

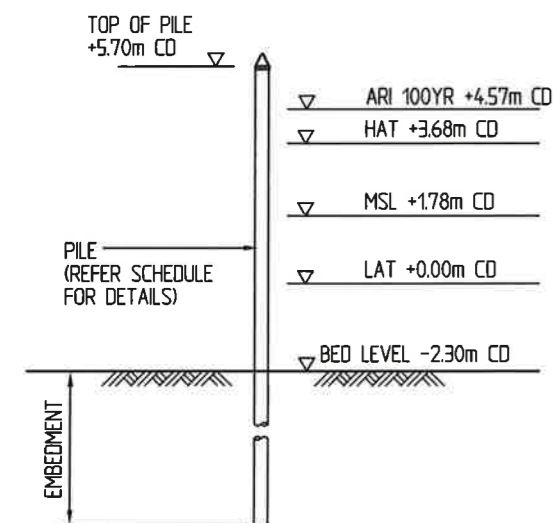
SP1 IS AT THE TOP FRONT CENTRE OF THE NEW CONCRETE ABUTMENT.

RP1 IS AT THE CORNER OF THE LEASE K LOT 326 SP297896 LAND PARCEL.



SETOUT POINT SP1 DETAIL

SCALE 1 : 10



PILE PROFILE

SCALE 1 : 200

PLAN



FOR APPROVAL

J. M. LEMAN
J. M. LEMAN
 REGISTERED PROFESSIONAL ENGINEER
 OF QUEENSLAND NUMBER : 2938

APPROVED PLAN
 Date: 08/05/2023
 Application No.: 532.2023.2377.1

A 17/3/22 NOTE 5 AND TOP OF PILE ADDED. ARI 100 LEVEL INCREASED AND ISSUED FOR APPROVAL.

Revisions

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Consultants to the Marina Industry.
International Marina Consultants Pty. Ltd.
 A.C.N. 079 905 481
 5/26 Brandt Street
 EIGHT MILE PLAINS QLD 4119
 AUSTRALIA
 Phone (07)3892 5711 Fax (07)3892 5611
 Email : imc@imc-marinas.com

CLIENT:
FRANK LEIS REFRIGERATION

PROJECT:
NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

TITLE:
PILE SETOUT DETAILS

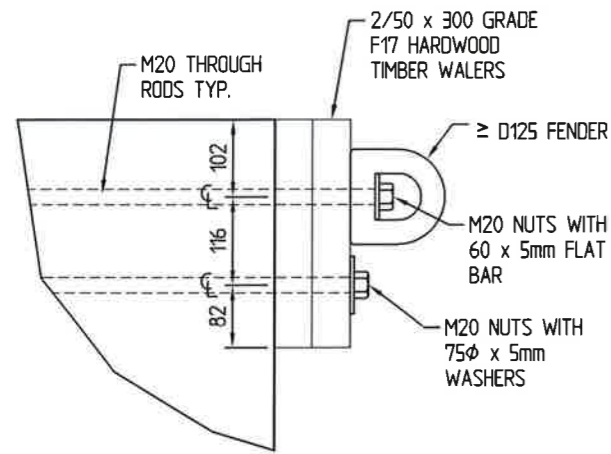
Date:	08/02/2022
Drawing No.:	6027-04/A
Scale:	AS SHOWN
Drawn By: A.L.F.	Checked By:
Approved By:	

NOTES:

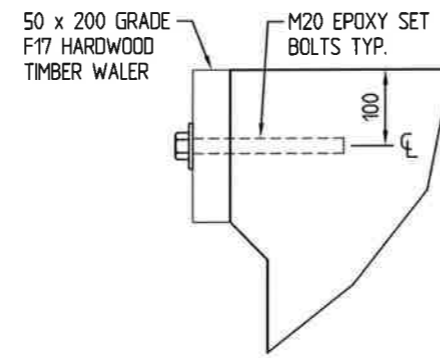
1. FOR GENERAL NOTES REFER TO DRAWING 6027-01.

LIST OF MATERIAL

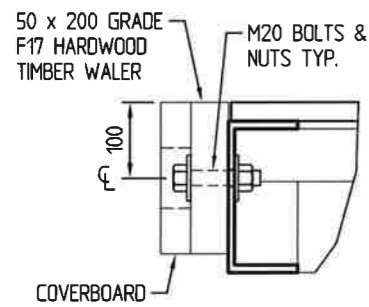
No.	MATERIAL DESCRIPTION	LENGTH (mm)	HOLE SIZE (mm)	No. OF HOLES
1	50 x 200 GRADE F17 HARDWOOD TIMBER	1003	22φ	3
2	50 x 200 GRADE F17 HARDWOOD TIMBER	3594	22φ	6
3	50 x 200 GRADE F17 HARDWOOD TIMBER	5600	22φ	12
4	50 x 300 GRADE F17 HARDWOOD TIMBER	2400	22φ	9
5	50 x 300 GRADE F17 HARDWOOD TIMBER	5400	22φ	21
6	50 x 300 GRADE F17 HARDWOOD TIMBER	6000	22φ	24



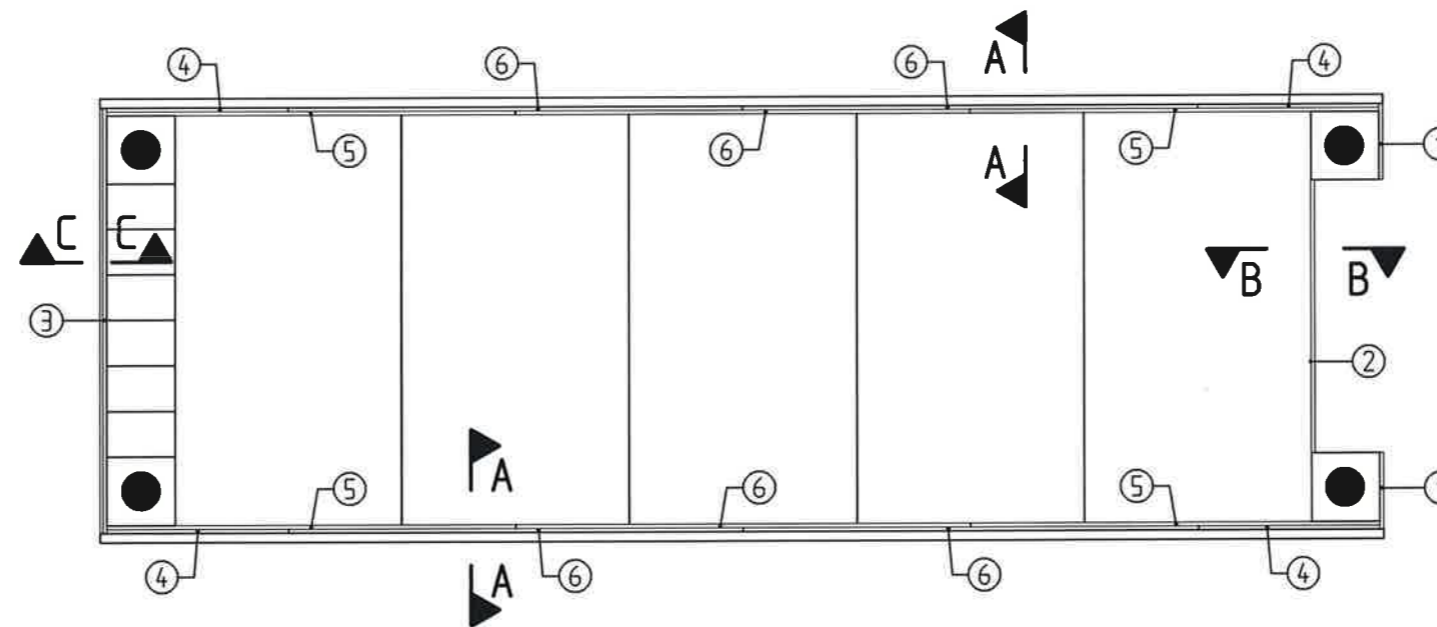
SECTION A - A
SCALE 1 : 10 (A3)



SECTION B - B
SCALE 1 : 10 (A3)



SECTION C - C
SCALE 1 : 10 (A3)



PLAN
SCALE 1 : 100 (A3)

FOR APPROVAL

J. M. LEMAN
J. M. LEMAN
 REGISTERED PROFESSIONAL ENGINEER
 OF QUEENSLAND NUMBER : 2938

APPROVED PLAN
 Date: 08/05/2023
 Application No.: 532.2023.2377.1

A 17/3/22 SECTION C-C ADDED AND ISSUED FOR APPROVAL.

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International Marina Consultants Pty. Ltd.
 A.C.N. 079 905 481

5/26 Brandl Street
 EIGHT MILE PLAINS QLD 4113
 AUSTRALIA
 Phone (07)3892 5711 Fax (07)3892 5611
 Email : imc@imc-marinas.com

CLIENT:
FRANK LEIS REFRIGERATION

PROJECT:
NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

TITLE:
WALER CONNECTIONS DETAIL

Date: 09/02/2022

Drawing No.: 6027-05/A

Scale: AS SHOWN

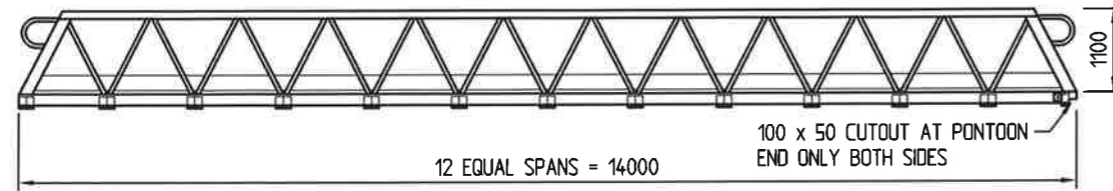
Drawn By: A.L.F. **Checked By:**

Approved By:

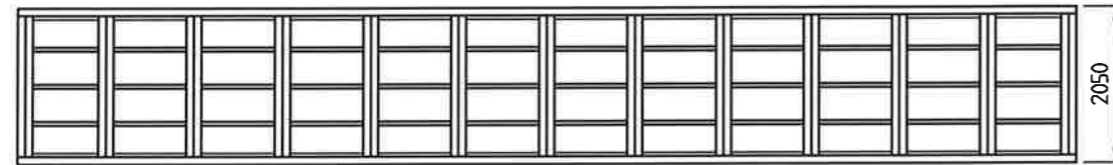
NOTES:

1. FOR GENERAL NOTES REFER TO DRAWING 6027-01.

ITEM	DESCRIPTION
1	RHS 150 x 100 x 5
2	2 x RHS 150 x 100 x 5
3	RHS 100 x 50 x 6
4	ANGLE 50 x 25 x 3
5	200 x 50 TIMBER KERB
6	SHS 100 x 100 x 6
7	CHS 50 x 3

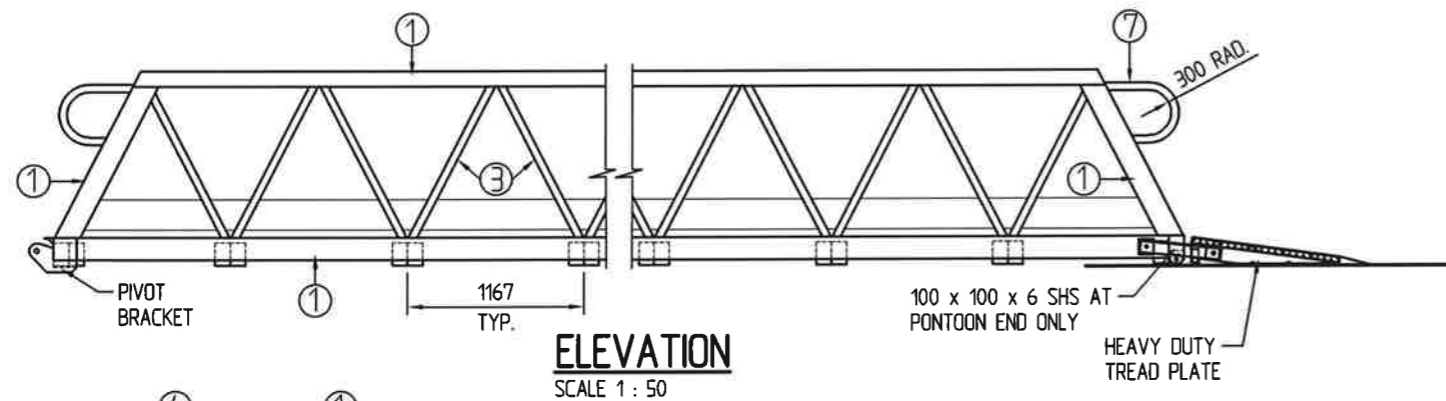


ELEVATION



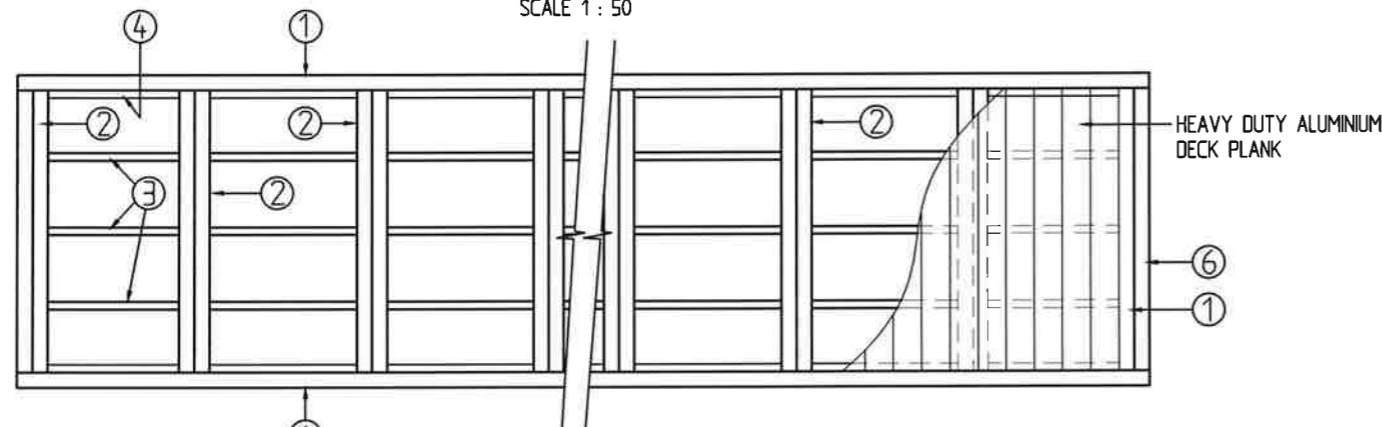
PLAN
GENERAL ARRANGEMENT

SCALE 1 : 100



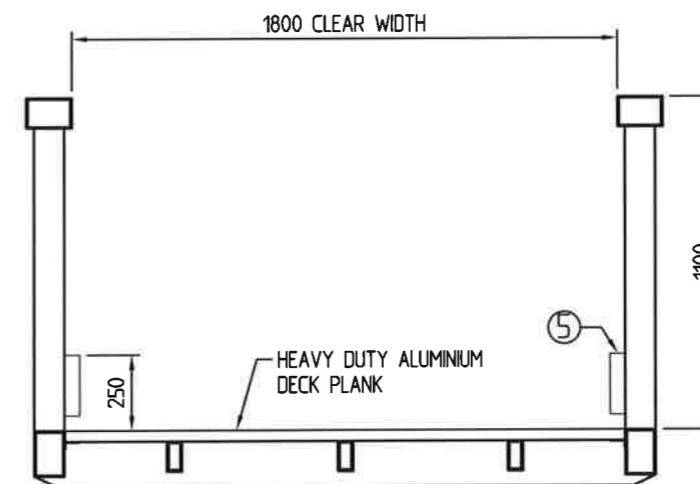
ELEVATION

SCALE 1 : 50



PLAN VIEW BOTTOM CHORD

SCALE 1 : 50



TYPICAL SECTION

SCALE 1 : 25

FOR APPROVAL

J. M. LEMAN
J. M. LEMAN
 REGISTERED PROFESSIONAL ENGINEER
 OF QUEENSLAND NUMBER : 2938

APPROVED PLAN
 Date: 08/05/2023
 Application No.: 532.2023.2377.1

A 17/3/22 ISSUED FOR APPROVAL.

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Consultants to the Marina Industry.

International Marina Consultants Pty. Ltd.
 A.C.N. 079 905 481

5/26 Brandt Street
 EIGHT MILE PLAINS QLD 4113
 Australia
 Phone (07)3892 5711 Fax (07)3892 5611
 Email : imc@imc-marinas.com

CLIENT:

FRANK LEIS REFRIGERATION

PROJECT:

NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

TITLE:

1.8m CLEAR WIDTH x 14.0m LONG ALUMINIUM HINGED GANGWAY

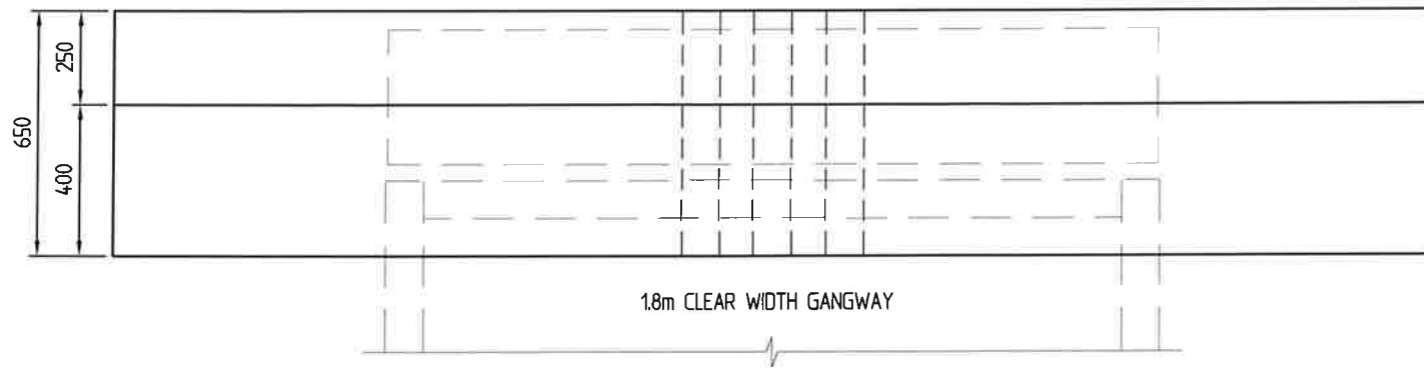
Date: 08/02/2022

Drawing No.: 6027-06/A

Scale: AS SHOWN

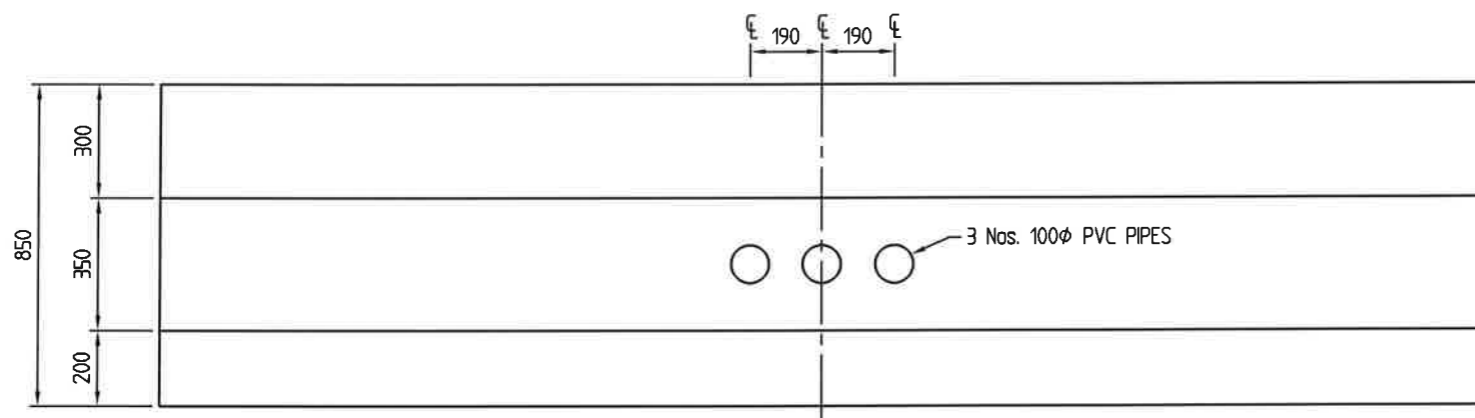
Drawn By: A.L.F. Checked By:

Approved By:



PLAN

SCALE 1 : 20



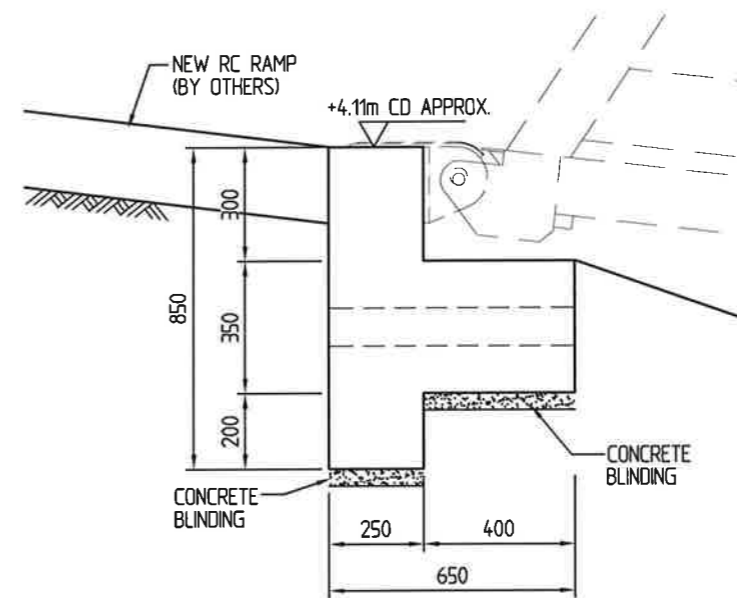
(GANGWAY NOT SHOWN FOR CLARITY)

ELEVATION

SCALE 1 : 20

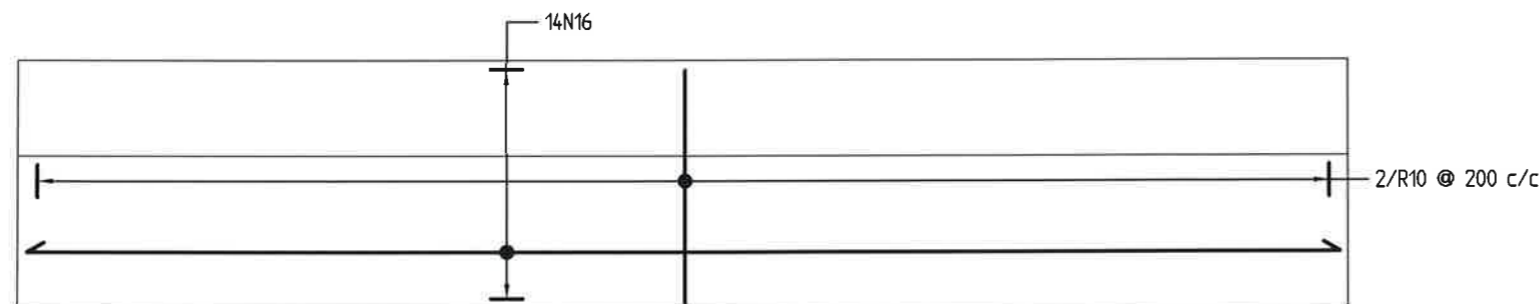
NOTES:

1. FOR GENERAL NOTES REFER TO DRAWING No. 6027-01.
2. UNFACTORED GANGWAY LOADS PER HINGE
 - DL 5.1 kN VERTICAL
 - DL 2.5 kN HORIZONTAL PARALLEL TO GANGWAY
 - DL 1.5 kN HORIZONTAL PERPENDICULAR TO GANGWAY
 - LL 21.0 kN VERTICAL
 - LL 10.5 kN HORIZONTAL PARALLEL TO GANGWAY
 - LL 6.3 kN HORIZONTAL PERPENDICULAR TO GANGWAY
3. THE ABUTMENT FOUNDATION BEARING CAPACITY AND SLOPE STABILITY OF REVETMENT TO BE CHECKED AND CONFIRMED BY A GEOTECHNICAL ENGINEER.



ELEVATION

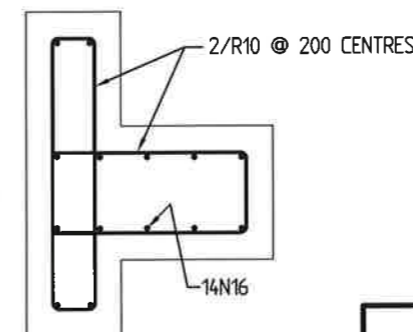
SCALE 1 : 20



PLAN

REINFORCEMENT DETAILS

SCALE 1 : 20



TYPICAL SECTION

FOR APPROVAL

J. M. LEMAN
 REGISTERED PROFESSIONAL ENGINEER
 OF QUEENSLAND NUMBER : 2938

APPROVED PLAN

Date: 08/05/2023

Application No.: 532.2023.2377.1



A 17/3/22 NOTES REVISED, CONDUITS RELOCATED AND ISSUED FOR APPROVAL.

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Consultants to the Marina Industry.

International Marina Consultants Pty. Ltd.
 A.C.N. 079 905 481

5/26 Brandl Street
 EIGHT MILE PLAINS QLD 4113
 Australia
 Phone (07)3892 5711 Fax (07)3892 5611
 Email : imc@imc-marinas.com

CLIENT:

FRANK LEIS REFRIGERATION

PROJECT:

NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

TITLE:

GANGWAY CONCRETE ABUTMENT

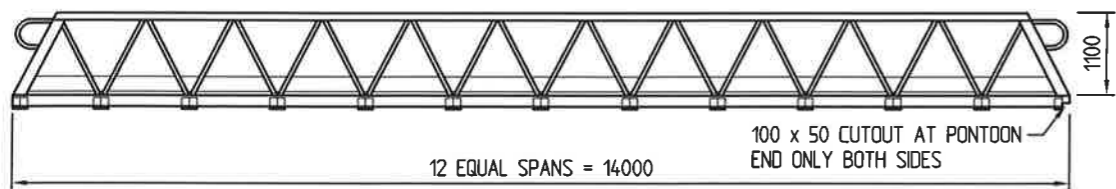
Date: 08/02/2022

Drawing No.: 6027-07/A

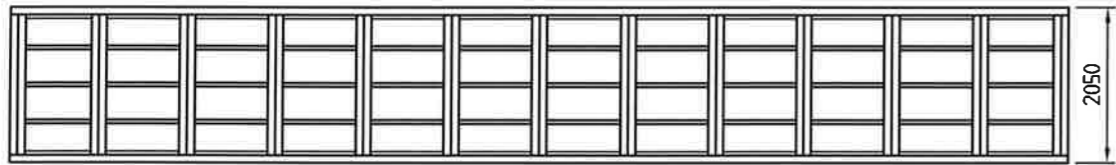
Scale: AS SHOWN

Drawn By: A.L.F. Checked By:

Approved By:

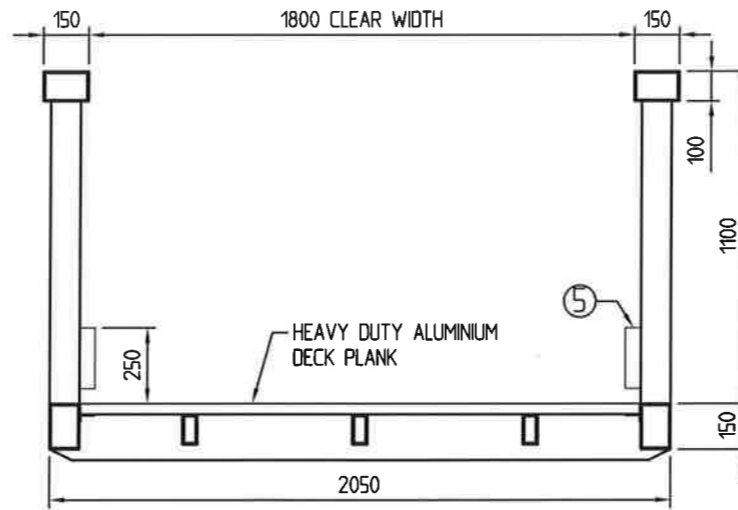


ELEVATION



PLAN
GENERAL ARRANGEMENT

SCALE 1 : 100



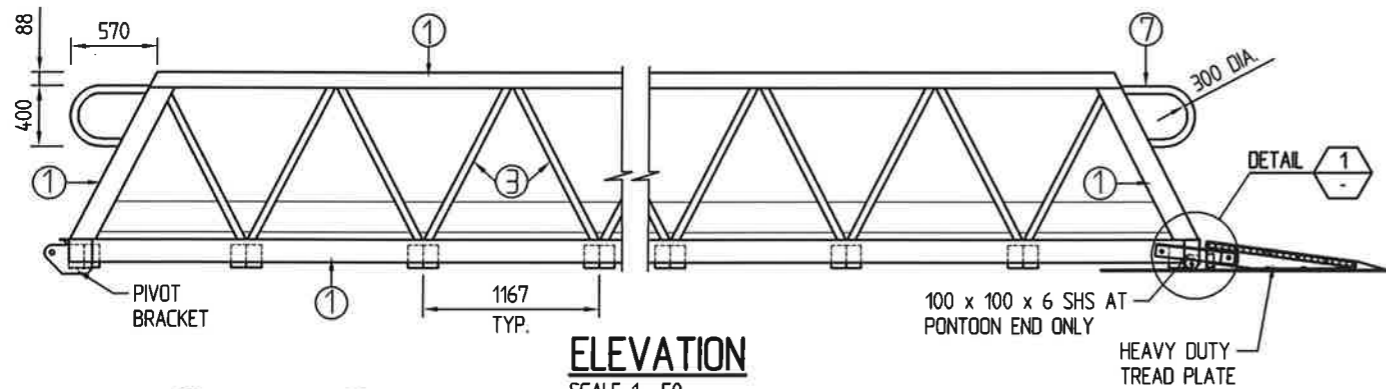
TYPICAL SECTION

SCALE 1 : 25

NOTES:

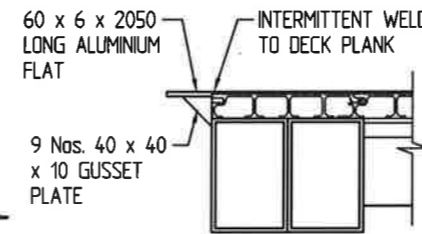
1. FOR GENERAL NOTES REFER TO DRAWING 6027-01.

ITEM	DESCRIPTION
1	RHS 150 x 100 x 5
2	2 x RHS 150 x 100 x 5
3	RHS 100 x 50 x 6
4	ANGLE 50 x 25 x 3
5	200 x 50 TIMBER KERB
6	SHS 100 x 100 x 6
7	CHS 50 x 3



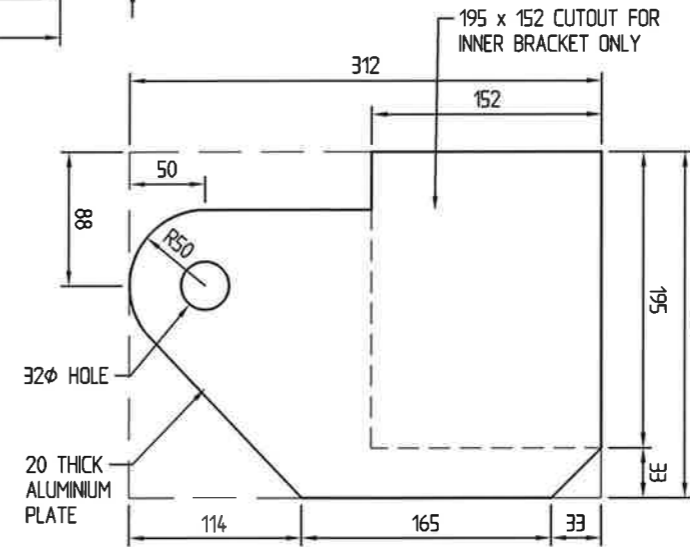
ELEVATION

SCALE 1 : 50



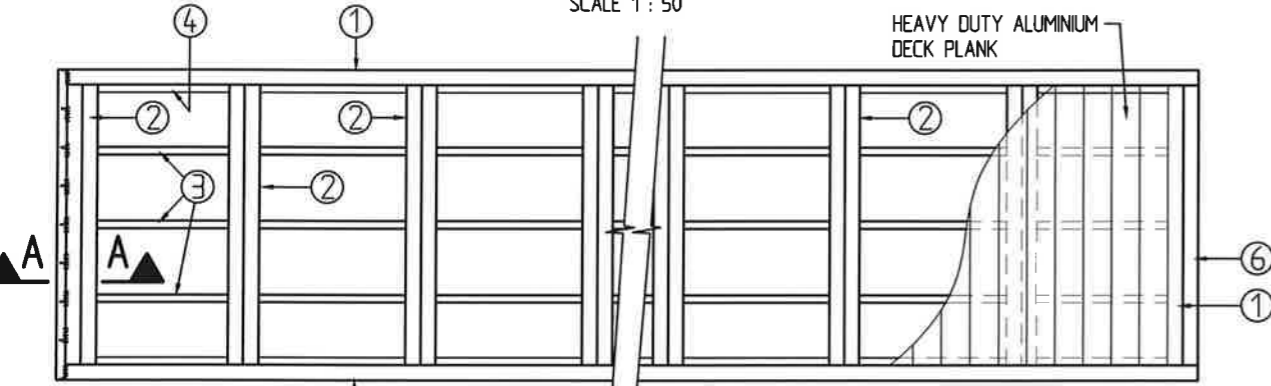
SECTION A - A

SCALE 1 : 10



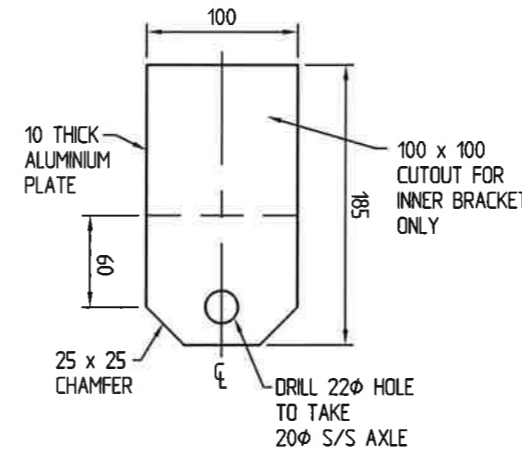
PIVOT BRACKET

SCALE 1 : 5



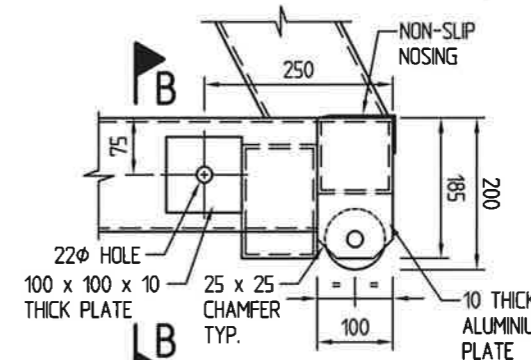
PLAN VIEW BOTTOM CHORD

SCALE 1 : 50



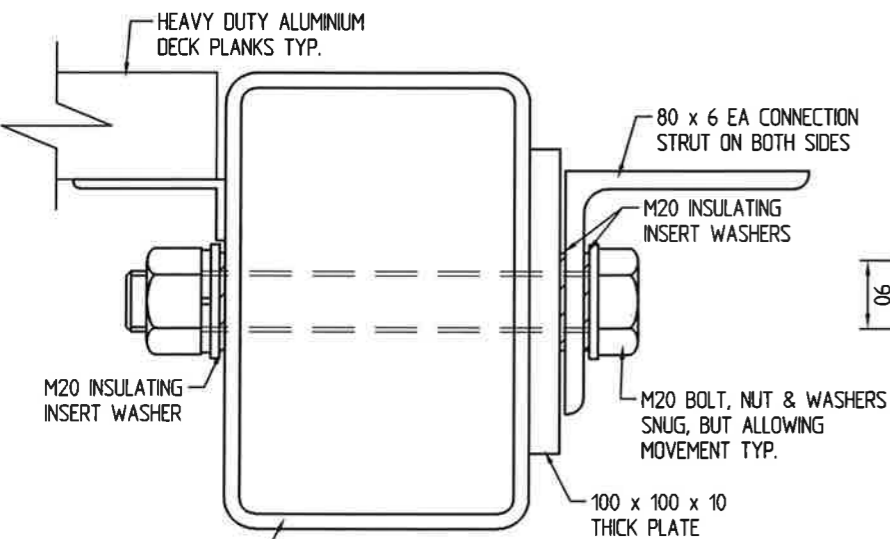
ROLLER BRACKET DETAILS

SCALE 1 : 5



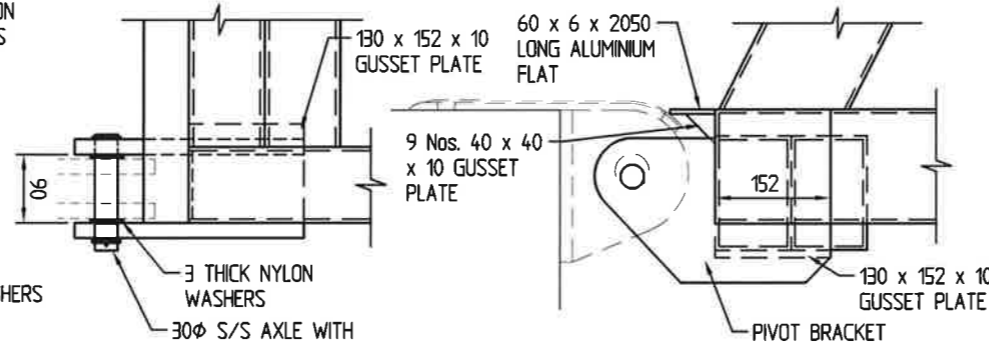
SIDE ELEVATION

(TREAD PLATE CONNECTION OMITTED FOR CLARITY)



SECTION B - B

SCALE 1 : 25 (A3)

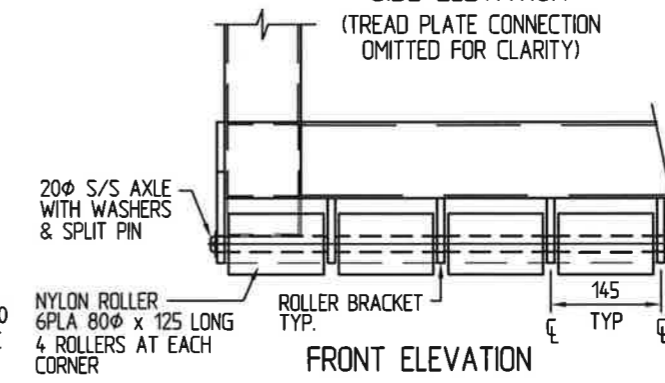


SIDE ELEVATION

FRONT ELEVATION

HINGED BRACKET DETAILS

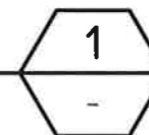
SCALE 1 : 10



FRONT ELEVATION

DETAIL

SCALE 1 : 10



PRELIMINARY

APPROVED PLAN
Date: 08/05/2023
Application No.: 532.2023.2377.1



Revisions

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Consultants Pty. Ltd.
A.C.N. 079 905 481

5/26 Brandl Street
EIGHT MILE PLAINS QLD 4113
Australia
Phone (07)3892 5711 Fax (07)3892 5611
Email : imc@imc-marinas.com

CLIENT:
FRANK LEIS
REFRIGERATION

PROJECT:
NEW FLOATING PONTOON,
GANGWAY AND ABUTMENT

TITLE:
1.8m CLEAR WIDTH x 14.0m
LONG ALUMINIUM HINGED
GANGWAY

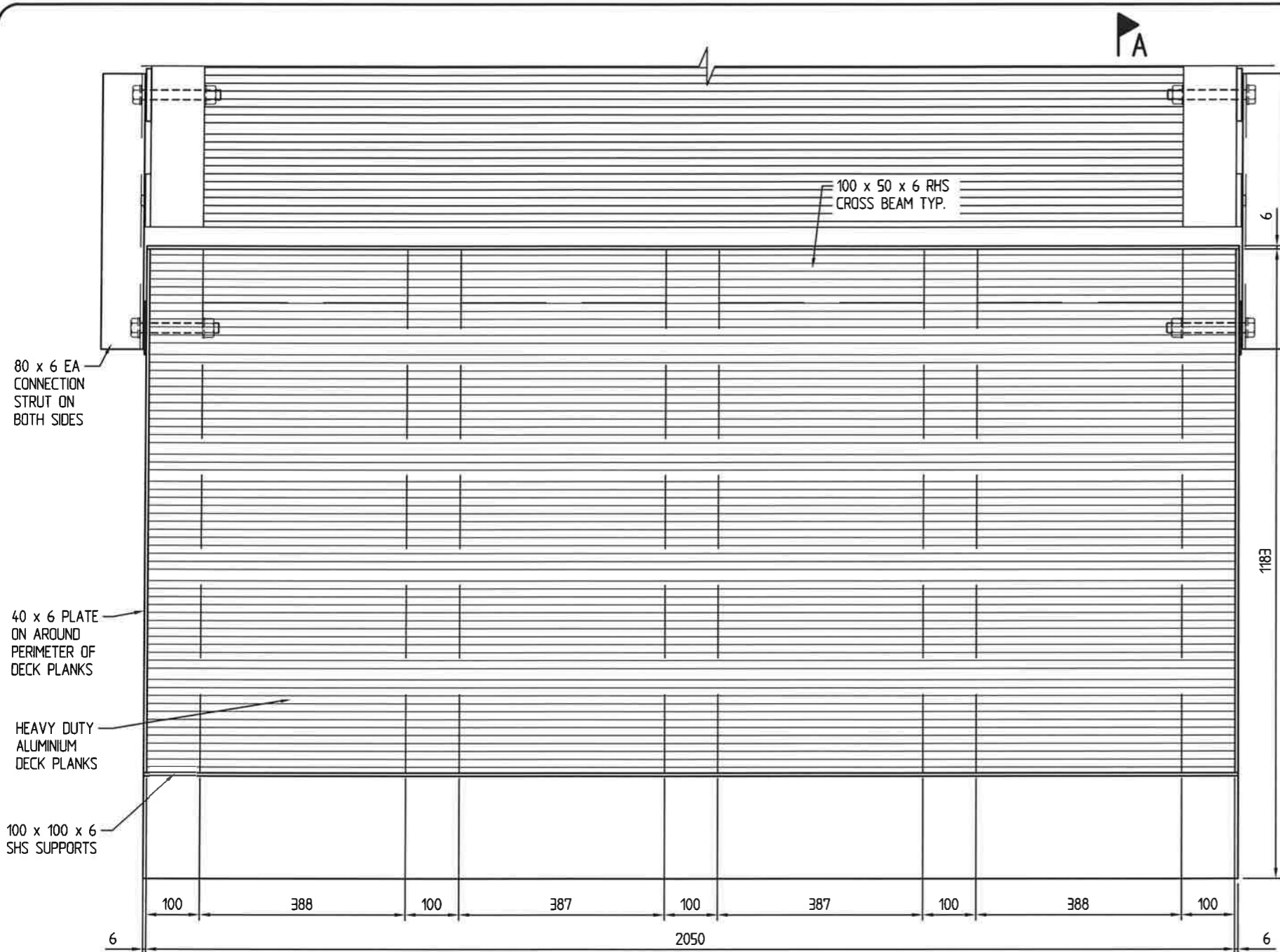
Date: 25/02/2022

Drawing No.: 6027-300

Scale: AS SHOWN

Drawn By: A.L.F. Checked By:

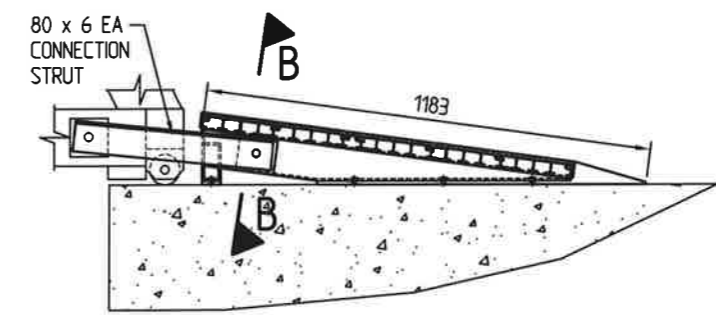
Approved By:



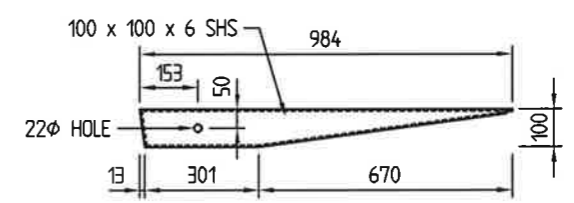
PLAN
SCALE 1 : 10 (A3)

NOTES:

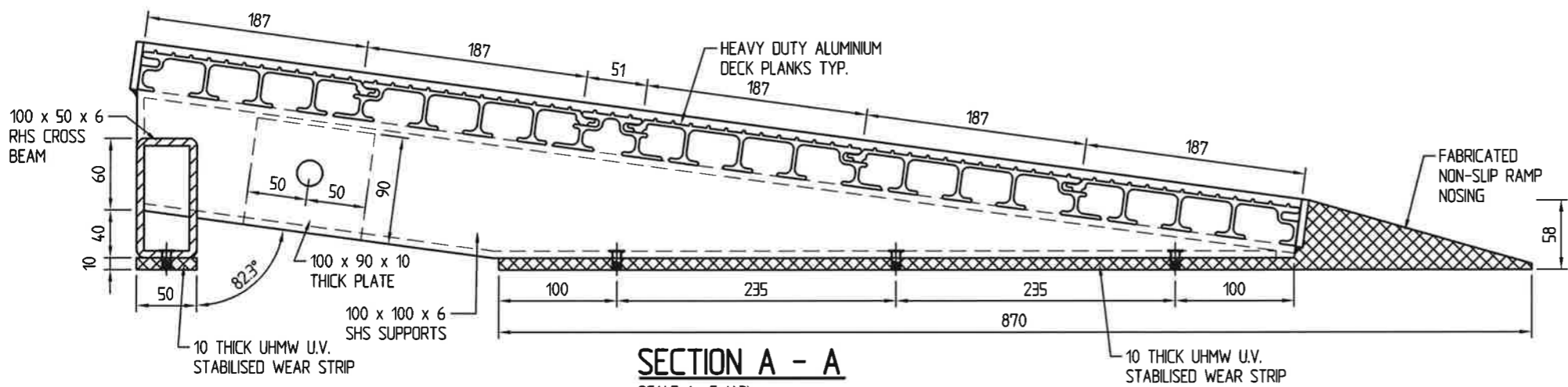
1. FOR GENERAL NOTES REFER TO DRAWING 6027-01.



SIDE VIEW
SCALE 1 : 20 (A3)



**100 x 100 x 6 SHS
SUPPORT DETAIL**
SCALE 1 : 20 (A3)



SECTION A - A
SCALE 1 : 5 (A3)

PRELIMINARY

**THIS DRAWING TO BE
READ IN CONJUNCTION
WITH DRAWING No.
6027-303**

APPROVED PLAN
Date: 08/05/2023
Application No.: 532.2023.2377.1

Revisions
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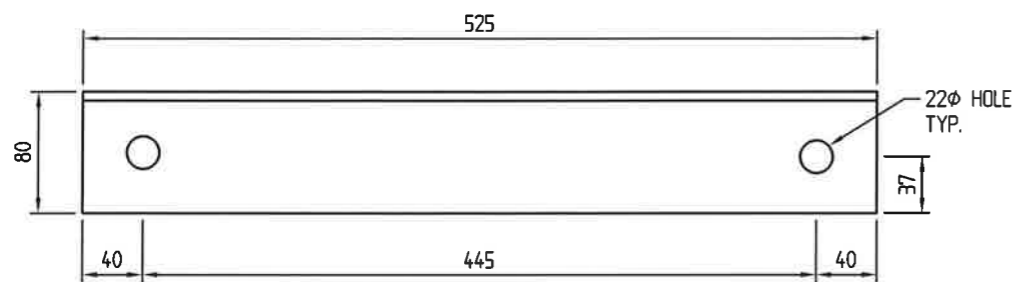
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**International Marina
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5/26 Brandl Street
EIGHT MILE PLAINS QLD 4113
Australia
Phone (07)3892 5711 Fax (07)3892 5611
Email : imc@imc-marinas.com

CLIENT:
**FRANK LEIS
REFRIGERATION**

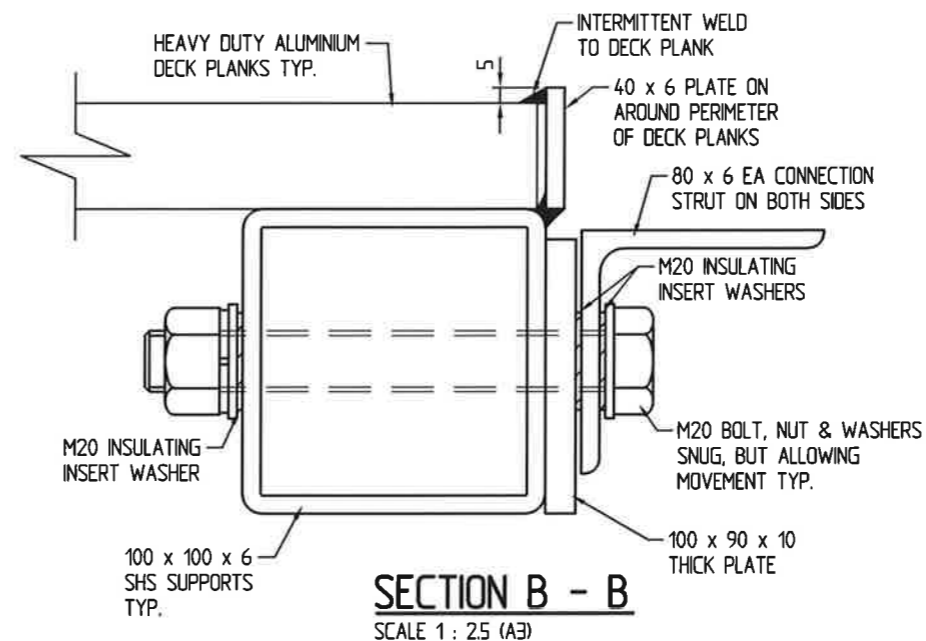
PROJECT:
**NEW FLOATING PONTOON,
GANGWAY AND ABUTMENT**

TITLE:
**HEAVY DUTY TREAD
PLATE DETAIL
SHEET 1**

Date:	25/02/2022
Drawing No.:	6027-302
Scale:	AS SHOWN
Drawn By: A.L.F.	Checked By:
Approved By:	




**80 x 6 EA CONNECTION
STRUT DETAIL**
SCALE 1 : 5 (A3)



SECTION B - B
SCALE 1 : 2.5 (A3)

APPROVED PLAN
Date: 08/05/2023
Application No.: 532.2023.2377.1



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5/26 Brandt Street
EIGHT MILE PLAINS QLD 4113
Australia
Phone (07)3892 5711 Fax (07)3892 5611
Email : imc@imc-marinas.com

CLIENT:
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REFRIGERATION**

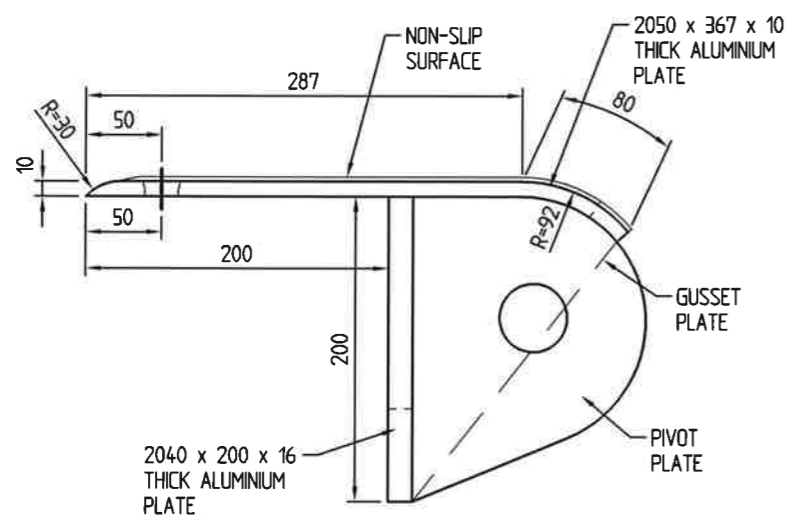
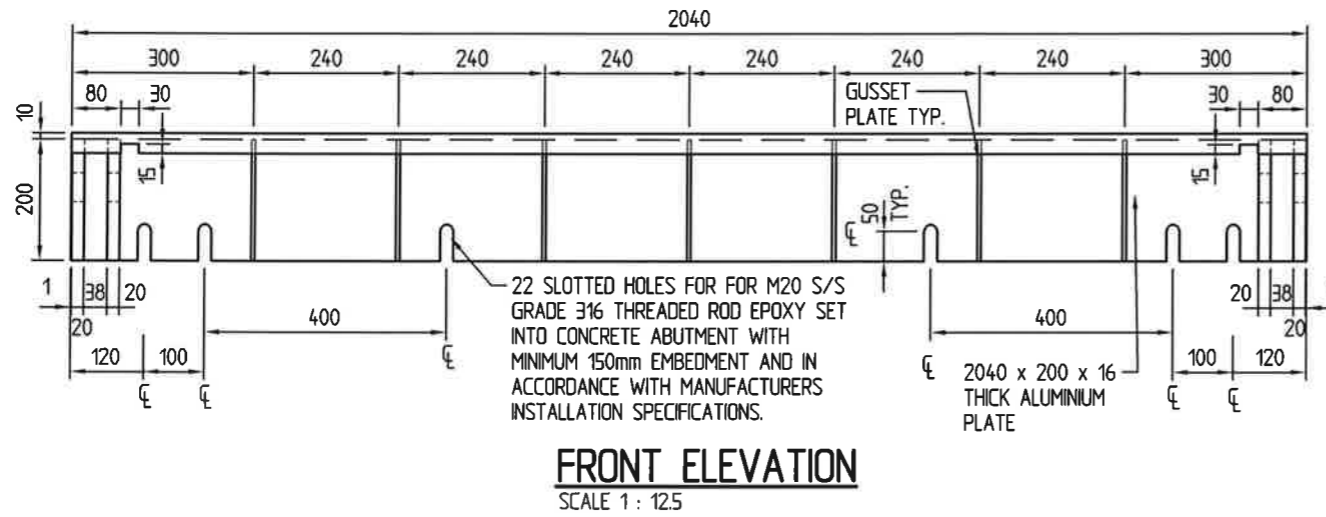
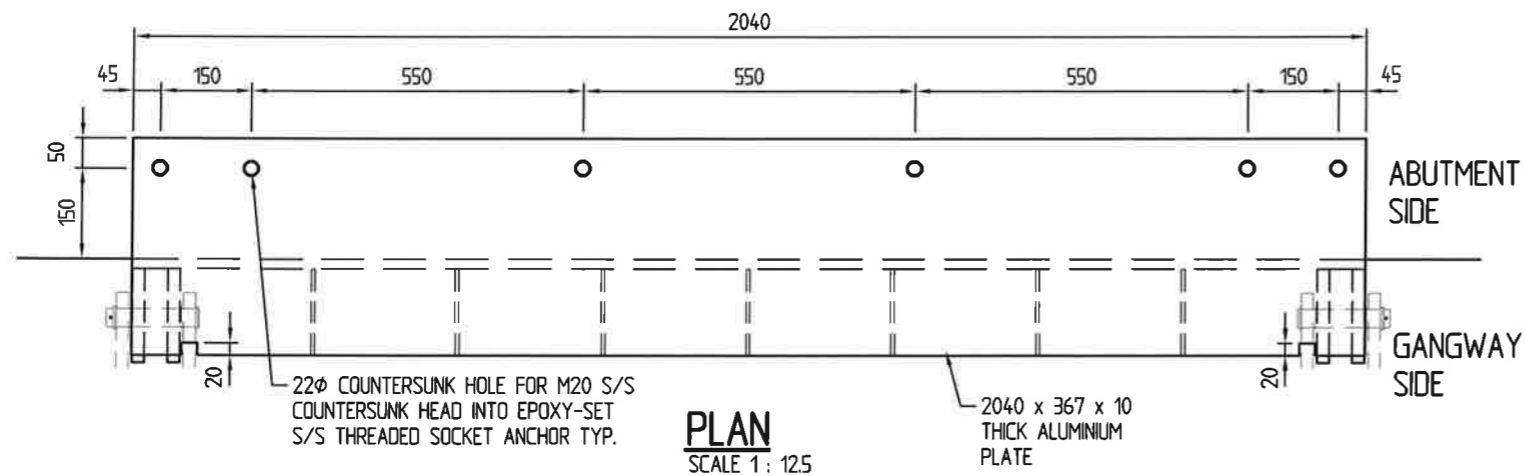
PROJECT:
**NEW FLOATING PONTOON,
GANGWAY AND ABUTMENT**

TITLE:
**HEAVY DUTY TREAD
PLATE DETAIL
SHEET 2**

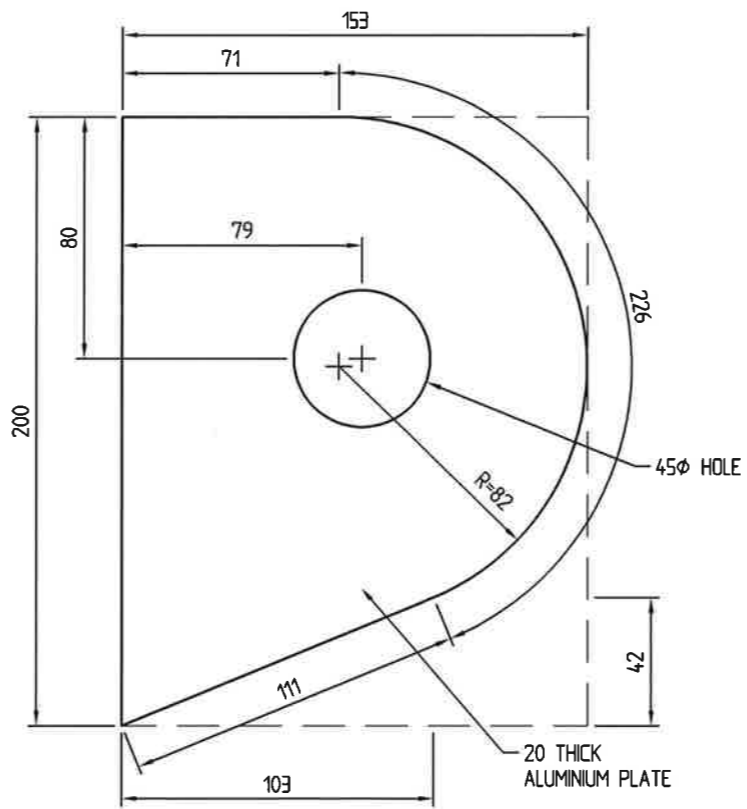
PRELIMINARY

**THIS DRAWING TO BE
READ IN CONJUNCTION
WITH DRAWING No.
6027-302**

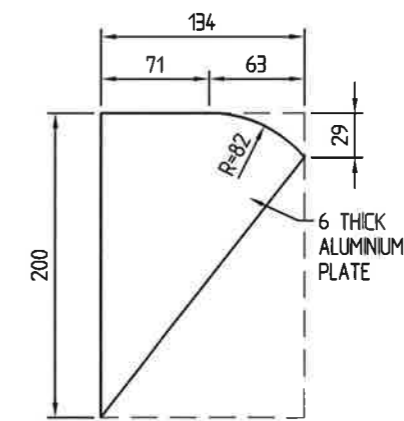
Date:	25/02/2022
Drawing No.:	6027-303
Scale:	AS SHOWN
Drawn By: A.L.F.	Checked By:
Approved By:	



SIDE ELEVATION
SCALE 1 : 5



PIVOT PLATE DETAILS
SCALE 1 : 2.5



GUSSET PLATE DETAILS
SCALE 1 : 5

NOTES:

- FOR GENERAL NOTES REFER TO DRAWING No. 6027-01.

APPROVED PLAN

Date: 08/05/2023

Application No.: 532.2023.2377.1



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5/26 Brandl Street
EIGHT MILE PLAINS QLD 4113
Australia
Phone (07)3892 5711 Fax (07)3892 5611
Email : imc@imc-marinas.com

CLIENT:

FRANK LEIS
REFRIGERATION

PROJECT:

NEW FLOATING PONTOON,
GANGWAY AND ABUTMENT

TITLE:

GANGWAY MOUNTING
BRACKET

Date: 16/03/2022

Drawing No.: 6027-301

Scale: AS SHOWN

Drawn By: A.L.F. Checked By:

Approved By:

PRELIMINARY

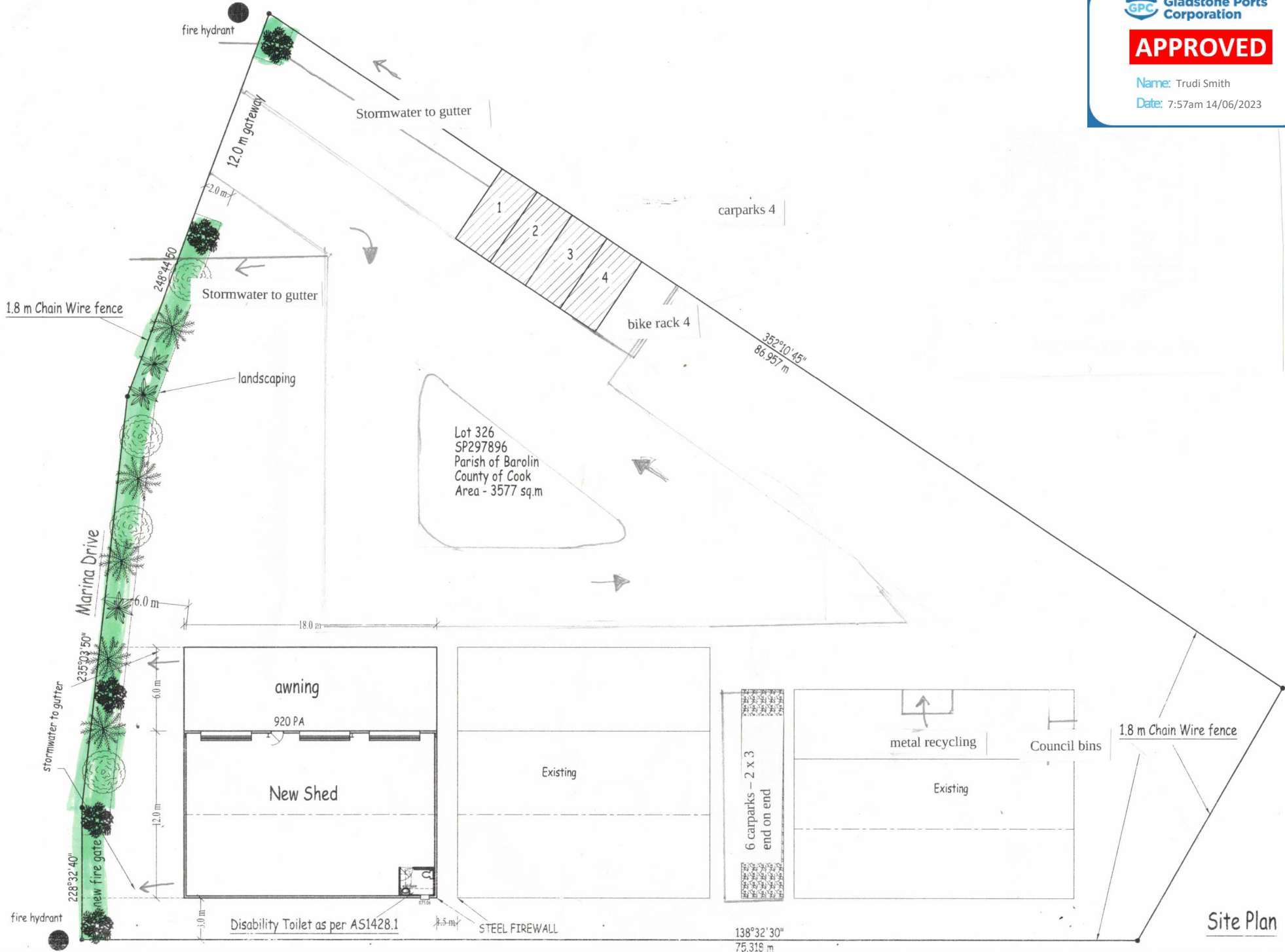
Attachment 2 Approved Plans and Specifications

APPROVED

Name: Trudi Smith

Date: 7:57am 14/06/2023

DRAWING NO. 221204
 Sheet: 1 OF 2
 Rev: 2



Proposed Shed For
 Frank Leis Trust
 7 Marina Drive

A3

SCALE: 1:250, 1:50
 DATE: 04.12.22

DRAWN BY: bos
 CHECKED BY: bos

Brian O'Sullivan Design & Drafting
 19 Emerick St. Bundaberg Phone 07 4151 2919
 Licensed under QBSA Act 1991 LIC. No. 63437

Site Plan

GENERAL NOTES:

- 1.0 ALL DIMENSIONS AND LEVELS ARE TO BE VERIFIED ON SITE.
- 2.0 WHEN IN DOUBT 'ASK' DO NOT SCALE.
- 3.0 ALL DIMENSIONS ARE SHOWN IN MILLIMETRES U.N.D.
- 4.0 ALL LEVELS ARE SHOWN IN METRES AND ARE REDUCED TO CHART DATUM.
- 5.0 PILES
 - TOLERANCE FOR DRIVING IN PLAN +/- 50 mm, MEASURED AS THE WORST COMBINATION OF PLAN DEVIATION AND OUT OF PLUMB OVER FULL TIDAL RANGE. VERTICAL = 1 IN 150 MAX OUT OF PLUMB
 - CONTRACTOR TO ADVISE ENGINEER IF BED LEVELS DIFFER FROM DESIGN LEVELS BY MORE THAN 300mm.
- 6.0 PONTOON DIMENSIONS ARE NOMINAL
 - DIMENSIONS ARE MEASURED WALER TO WALER
- 7.0 PONTOONS ARE TO BE CONNECTED TOGETHER WITH TIMBER WALERS.
- 8.0 ALL THROUGH-RODS ARE TO BE 20 DIA. GALV. STEEL OR 316 GRADE STAINLESS STEEL
- 9.0 ALL TIMBER DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH AS 1720.1
 - WALER SIZES
 - 5.4m WIDE PONTOON
 - 2/50 x 300 GRADE F17 HARDWOOD TIMBER WALERS EACH SIDE
 - ALL TIMBER TO BE SEASONED AND TREATED IN ACCORDANCE WITH AS 1604.
 - STRUCTURAL TIMBER MUST NOT BE CUT OR DRILLED FOR ANY REASON OTHER THAN SHOWN ON THESE DRAWINGS.
- 10.0 ALL WELDS TO BE COMPLETE PENETRATION BUTT WELD OR 6mm FILLET WELD AS REQUIRED U.N.D.
- 11.0 ALL ALUMINIUM WORK TO BE IN ACCORDANCE WITH AS 1664.
 - ALL EXTRUSIONS TO BE TYPE 6061-T6 OR 6082-T5 U.N.D.
 - PLATES TO BE TYPE 5083 TEMPER H321.
 - ALL WELDS SHALL BE INERT GAS WELD USING PULSE M.I.G. OR T.I.G. FUSION WELDING PROCESS.
- 12.0 ALL STEEL AND ALUMINIUM WORKS SHALL BE NEATLY FINISHED WITH ALL SHARP EDGES GROUND SMOOTH.
- 13.0 PILE GUIDE BLOCKS ARE TO BE ADJUSTED AS REQUIRED TO SUIT PILE SIZE AND POSITION ON SITE.
 - CLEARANCE MUST BE PROVIDED BETWEEN PILE AND GUIDE TO PREVENT "HANGING" OF PONTOON UNDER FULL TIDAL RANGE.
- 14.0 CONCRETE ABUTMENT
 - ALL CONCRETE WORKS SHALL COMPLY WITH AS 3600
 - MINIMUM CONCRETE STRENGTH $f_c = 50\text{MPa}$
 - MINIMUM COVER TO STRUCTURAL REINFORCEMENT = 65mm
- 15.0 WALKING SURFACES SHALL BE FINISHED IN ACCORDANCE WITH AS4586.
 - NON-SLIP P4 (R11)

- 16.0 INSULATION
ALL DISSIMILAR METALS SHALL BE INSULATED.

BOLTED MATERIAL	INSULATING MATERIAL
ALUMINIUM / GALV. STEEL	DURALAC ANTI CORROSION COMPOUND OR NYLON SEPARATION WASHERS
ALUMINIUM / CONCRETE	3mm NEOPRENE
STEEL / CONCRETE	3mm NEOPRENE

- 17.0 DESIGN PARAMETERS
WIND
 - BASIC WIND SPEED
 $V_u = 62\text{ m/s}$
 - TERRAIN CATEGORY
 $TC = 2$
 - GUST DURATION = 30sec

WAVE
 $H_s = 0.4\text{m}$ $T_p = 1.75$

VESSEL WAKE
 $H_{max} = 0.4\text{m}$

- LIVE LOAD ON PONTOON
- MAX. UNIFORMLY DISTRIBUTED LOAD 3.0 kPa
 - CONCENTRATED LOAD 4.5kN
 - FORKLIFT WITH 2.5t LIFTING CAPACITY
 - FREEBOARD UNDER DEAD LOAD 500mm APPROX.

- LIVE LOAD ON GANGWAY
- MAX. UNIFORMLY DISTRIBUTED LOAD 4.0 kPa
 - CONCENTRATED LOAD 4.5kN
 - FORKLIFT WITH 2.5t LIFTING CAPACITY
 - HANDRAIL LOAD 0.75 kN/m

BERTHING IMPACT
 $v = 0.3\text{m/s}$

DESIGN VESSEL (MONO)

VESSEL LENGTH (m)	WIND PROFILE AREA (m ²)		DISPLACEMENT (t)
	BEAM	HEAD	
20	76.0	24.0	100.0

- 18.0 THE WORKS WILL BE STRUCTURALLY ADEQUATE FOR ANTICIPATED USAGE.
- 19.0 THE WORKS COMPLY WITH ALL RELEVANT CODES - INCLUDING THE DEHP'S OPERATIONAL POLICY - BUILDING AND ENGINEERING STANDARDS FOR TIDAL WORKS.
- 20.0 DREDGING TO BE IN ACCORDANCE WITH EXISTING APPROVALS (REFER TO APPROVAL 806321 DATED 22 DEC 1994).



SITE PLAN
SCALE N.T.S.

FOR APPROVAL


J. M. LEMAN
REGISTERED PROFESSIONAL ENGINEER
OF QUEENSLAND NUMBER : 2938

APPROVED

Name: Trudi Smith

Date: 7:57am 14/06/2023

B 18/5/23 NOTE 17 UPDATED.
A 17/3/22 NOTES 18, 19 & 20 REVISED AND ISSUED FOR APPROVAL.

Revisions

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A.C.N. 079 905 481

5/26 Brandl Street
EIGHT MILE PLAINS QLD 4113
AUSTRALIA
Phone (07)3892 5711 Fax (07)3892 5611
Email : imc@imc-marinas.com

CLIENT:

FRANK LEIS REFRIGERATION

PROJECT:

NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

TITLE:

GENERAL NOTES AND LOCALITY PLAN

Date: 08/02/2022

Drawing No.: 6027-01/B

Scale: N.T.S.

Drawn By: A.L.F. Checked By:

Approved By:

APPROVED

Name: Trudi Smith

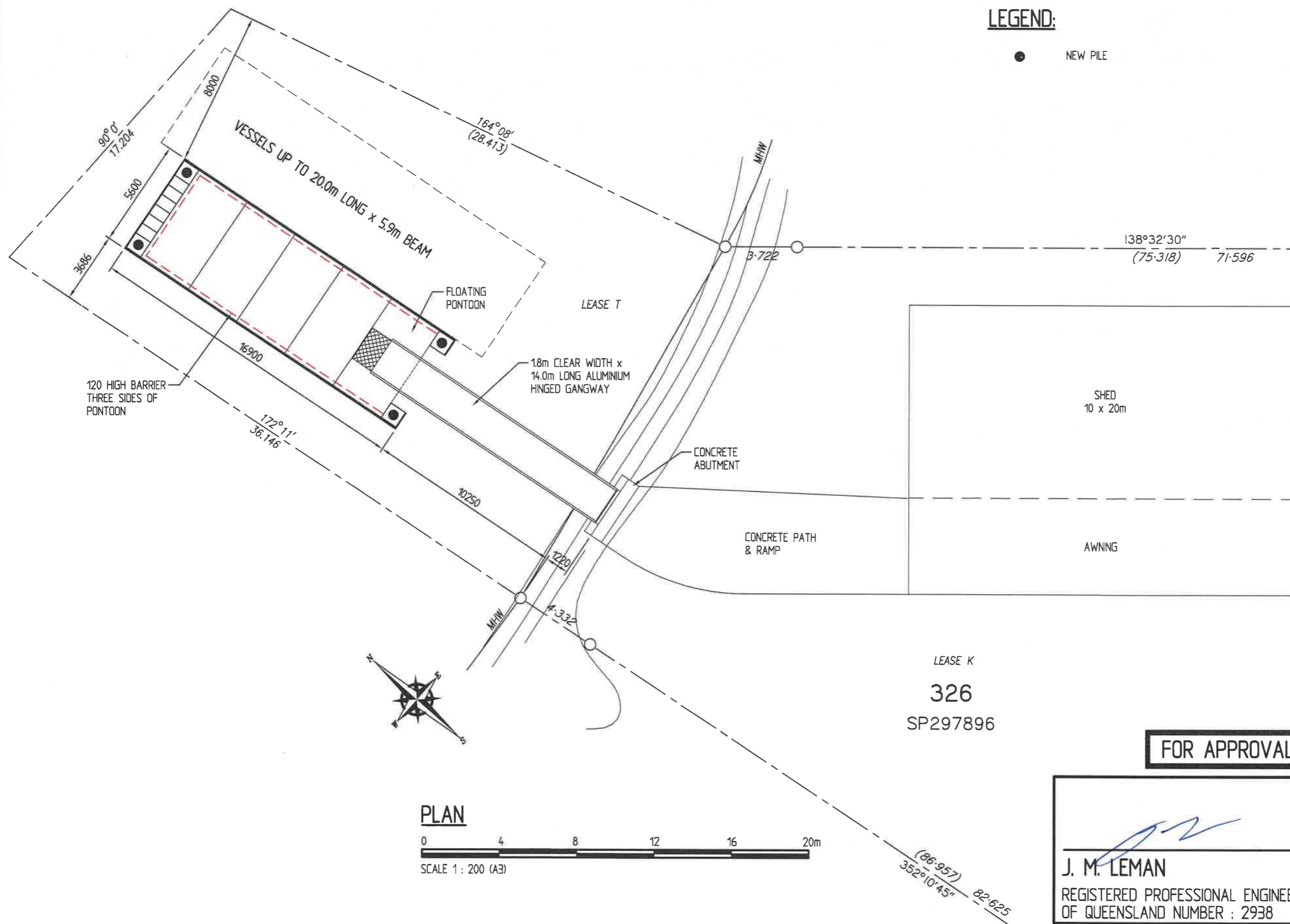
Date: 7:57am 14/06/2023

NOTES:

- FOR GENERAL NOTES REFER TO DRAWING 6027-01.
- ON SHORE LAYOUT, BOUNDARY LINES AND CONTOURS PROVIDED BY McDONALD-SMITH MARINE DESIGNERS DWG FILE DRAWING No. FL100 Rev D.
- BOUNDARY DISTANCES ARE SHOWN IN METERS.

LEGEND:

● NEW PILE



PLAN



SCALE 1 : 200 (A3)

FOR APPROVAL

J. M. LEMAN
J. M. LEMAN
 REGISTERED PROFESSIONAL ENGINEER
 OF QUEENSLAND NUMBER : 2938

B 18/5/23 BARRIER ADDED.

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5/26 Brandt Street
 EIGHT MILE PLAINS QLD 4113
 AUSTRALIA
 Phone (07)3892 5711 Fax (07)3892 5611
 Email : imc@imc-marinas.com

CLIENT:

FRANK LEIS REFRIGERATION

PROJECT:

NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

TITLE:

GENERAL ARRANGEMENT

Date: 08/02/2022

Drawing No.: 6027-02/B

Scale: AS SHOWN

Drawn By: A.L.F. Checked By:

Approved By:

NOTES:

1. FOR GENERAL NOTES REFER TO DRAWING 6027-01.
2. GRADIENT OF GANGWAY AT L.A.T. IS 1 : 4.
3. LOCATION & PROFILE OF REVETMENT TO BE CONFIRMED ON SITE.
4. MAINTENANCE DREDGE TO MINIMUM DEPTH OF 1.2m UNDER THE PONTOON AT L.A.T. AND 2.3m IN BERTHING AREA.

C 18/5/23 BARRIER ADDED.
 B 17/3/22 NOTE 4 & TOP OF PILE ADDED. SECTION A-A & B-B REVISED. ARI 100 LEVEL INCREASED AND ISSUED FOR APPROVAL.
 A 8/3/22 GRADIENT OF ROCK REVETMENT AND DREDGE BATTER REVISED.

Revisions

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5/26 Brandl Street
 EIGHT MILE PLAINS QLD 4113
 AUSTRALIA
 Phone (07)3892 5711 Fax (07)3892 5611
 Email : imc@imc-marinas.com

CLIENT:

FRANK LEIS REFRIGERATION

PROJECT:

NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

TITLE:

ELEVATIONS

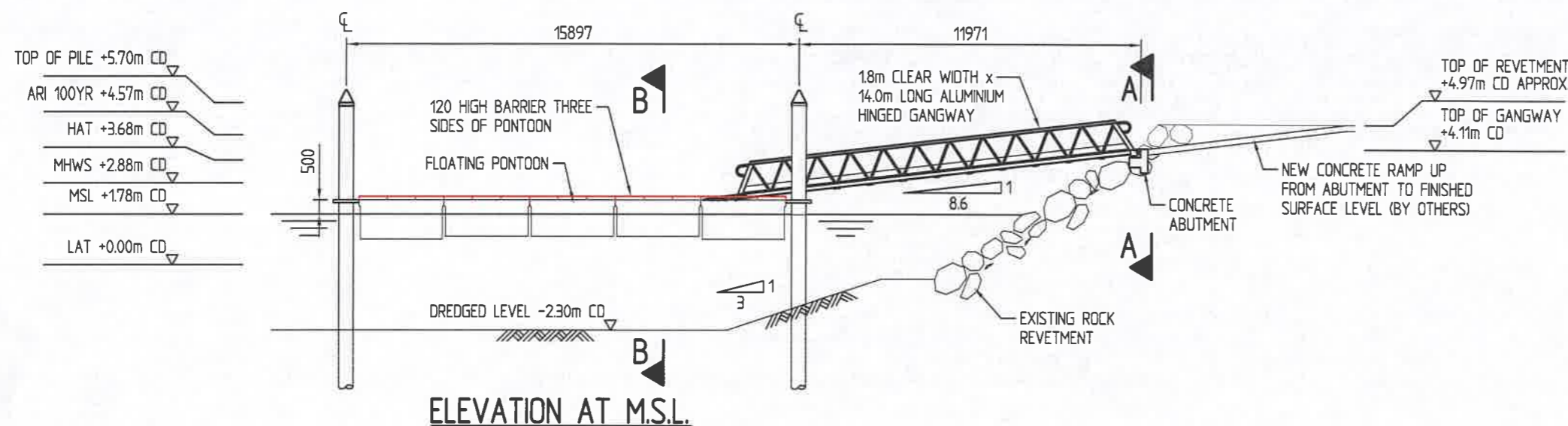
Date: 08/02/2022

Drawing No.: 6027-03/C

Scale: AS SHOWN

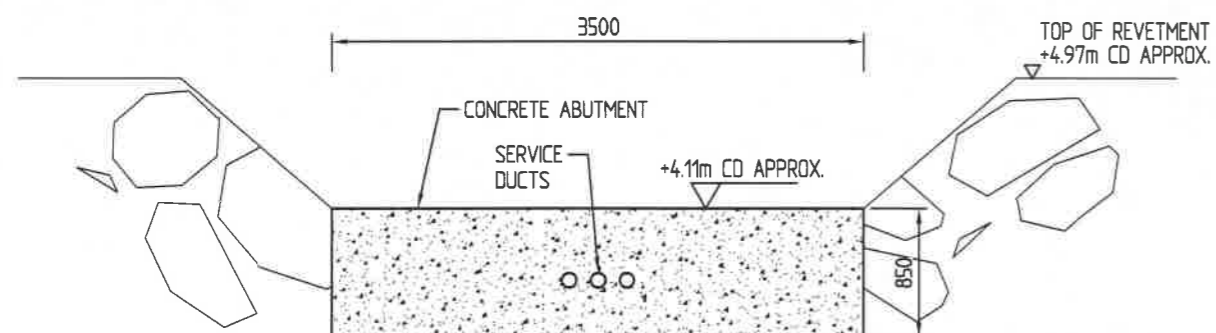
Drawn By: A.L.F. Checked By:

Approved By:



ELEVATION AT M.S.L.

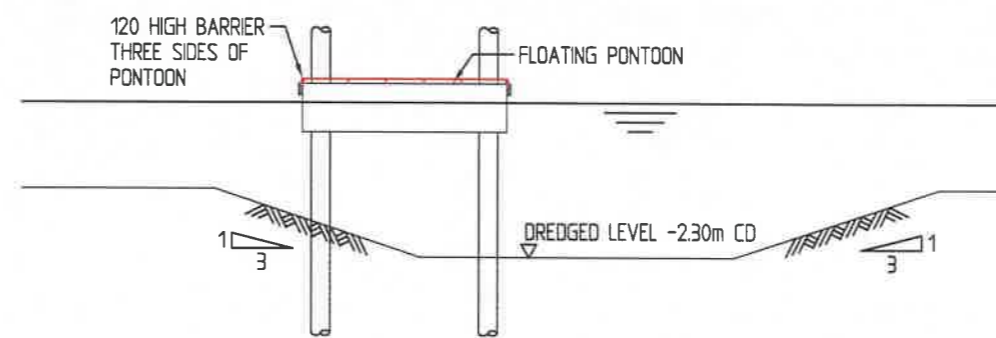
SCALE 1 : 200 (A3)



SECTION A - A

SCALE 1 : 50 (A3)

(GANGWAY NOT SHOWN FOR CLARITY)



SECTION B - B

SCALE 1 : 200 (A3)

FOR APPROVAL

J. M. LEMAN
J. M. LEMAN
 REGISTERED PROFESSIONAL ENGINEER
 OF QUEENSLAND NUMBER : 2938

SETOUT NOTE:

PILING CONTRACTOR'S SURVEYOR IS TO OBTAIN AND REVIEW AN AUTOCAD COPY OF THIS DRAWING TO CONFIRM THE PILE SETOUT DIMENSIONS ALONG WITH BEARINGS AND DISTANCES TO THE SETOUT POINT. ALL BEARINGS AND DISTANCES ARE TO BE CONFIRMED ON SITE PRIOR TO PILE INSTALLATION.

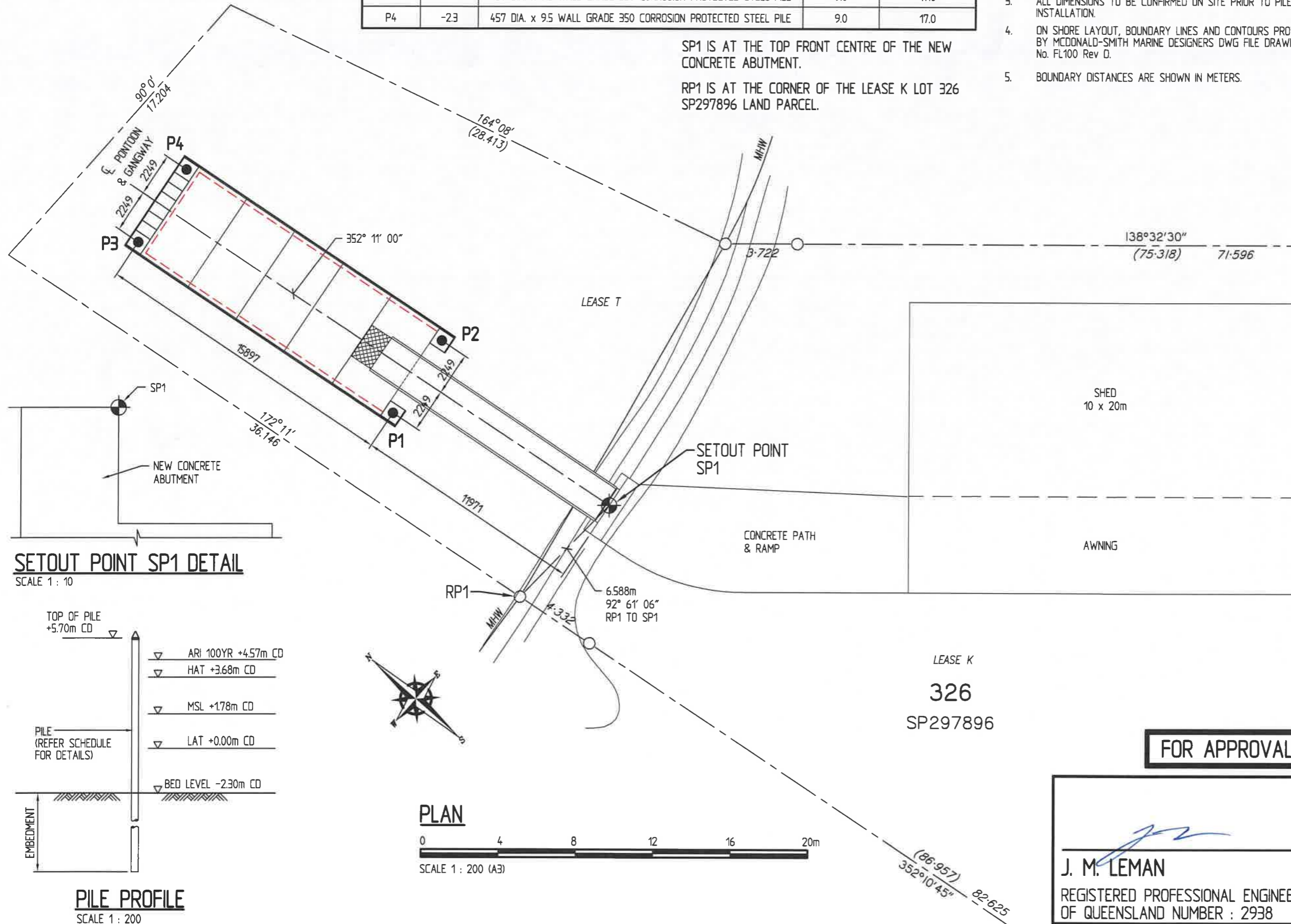
PILE SCHEDULE				
PILE No.	BED LEVEL (m CD)	PILE TYPE & CAPACITY	MINIMUM EMBEDMENT (m)	ESTIMATED PILE LENGTH (m)
P1	-2.3	457 DIA. x 9.5 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	9.0	17.0
P2	-2.3	457 DIA. x 9.5 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	9.0	17.0
P3	-2.3	457 DIA. x 9.5 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	9.0	17.0
P4	-2.3	457 DIA. x 9.5 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	9.0	17.0

NOTES:

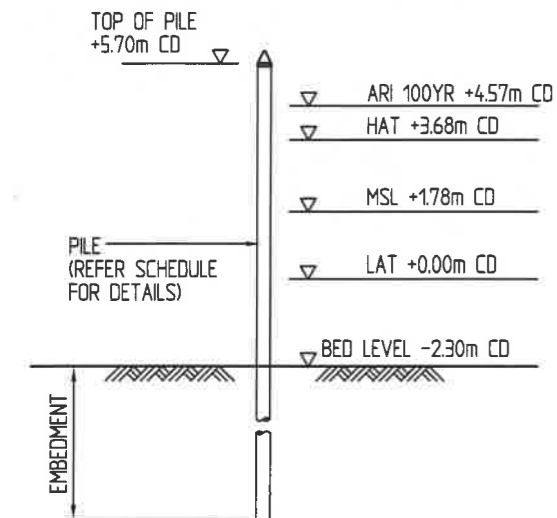
- FOR GENERAL NOTES REFER TO DRAWING No. 6027-01.
- ALL STEEL PILES SHALL BE CORROSION PROTECTED WITH HDPE SLEEVES FROM TOP OF PILE TO 1.5m BELOW BED LEVEL. THE ANNULUS BETWEEN THE PILES AND HDPE SLEEVES IS TO BE FILLED WITH WATER TO HAT AND THE SLEEVES SEALED AIR TIGHT AFTER FILLING.
- ALL DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO PILE INSTALLATION.
- ON SHORE LAYOUT, BOUNDARY LINES AND CONTOURS PROVIDED BY McDONALD-SMITH MARINE DESIGNERS DWG FILE DRAWING No. FL100 Rev D.
- BOUNDARY DISTANCES ARE SHOWN IN METERS.

SP1 IS AT THE TOP FRONT CENTRE OF THE NEW CONCRETE ABUTMENT.

RP1 IS AT THE CORNER OF THE LEASE K LOT 326 SP297896 LAND PARCEL.



SETOUT POINT SP1 DETAIL
SCALE 1 : 10



PILE PROFILE
SCALE 1 : 200

PLAN



APPROVED

Name: Trudi Smith
Date: 7:58am 14/06/2023

B 18/5/23 BARRIER ADDED.
A 17/3/22 NOTE 5 AND TOP OF PILE ADDED. ARI 100 LEVEL INCREASED AND ISSUED FOR APPROVAL.

Revisions

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International Marina Consultants Pty. Ltd.
A.C.N. 079 905 481
5/26 Brandt Street
EIGHT MILE PLAINS QLD 4113
AUSTRALIA
Phone (07)3892 5711 Fax (07)3892 5611
Email : imc@imc-marinas.com

CLIENT:
FRANK LEIS REFRIGERATION

PROJECT:
NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

TITLE:
PILE SETOUT DETAILS

FOR APPROVAL

J. M. LEMAN
J. M. LEMAN
REGISTERED PROFESSIONAL ENGINEER OF QUEENSLAND NUMBER : 2938

Date: 08/02/2022
Drawing No.: 6027-04/B
Scale: AS SHOWN
Drawn By: A.L.F. Checked By:
Approved By:

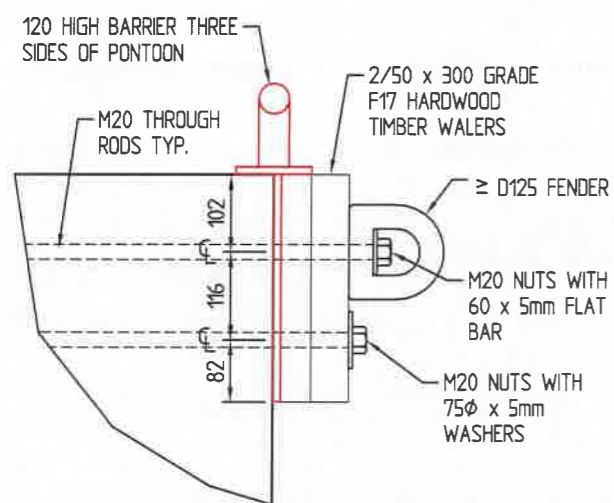
APPROVED

Name: Trudi Smith

Date: 7:58am 14/06/2023

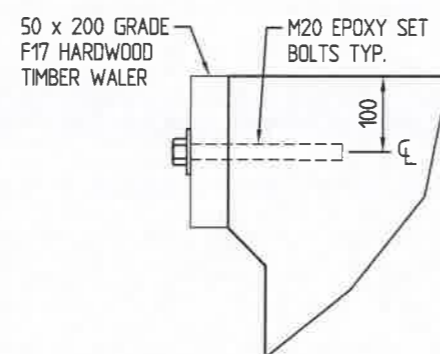
NOTES:

1. FOR GENERAL NOTES REFER TO DRAWING 6027-01.



SECTION A - A

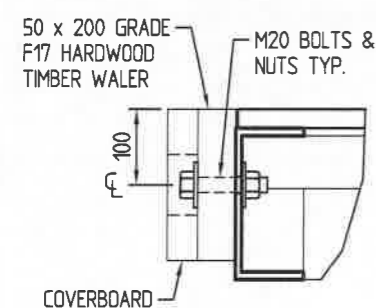
SCALE 1 : 10 (A3)



SECTION B - B

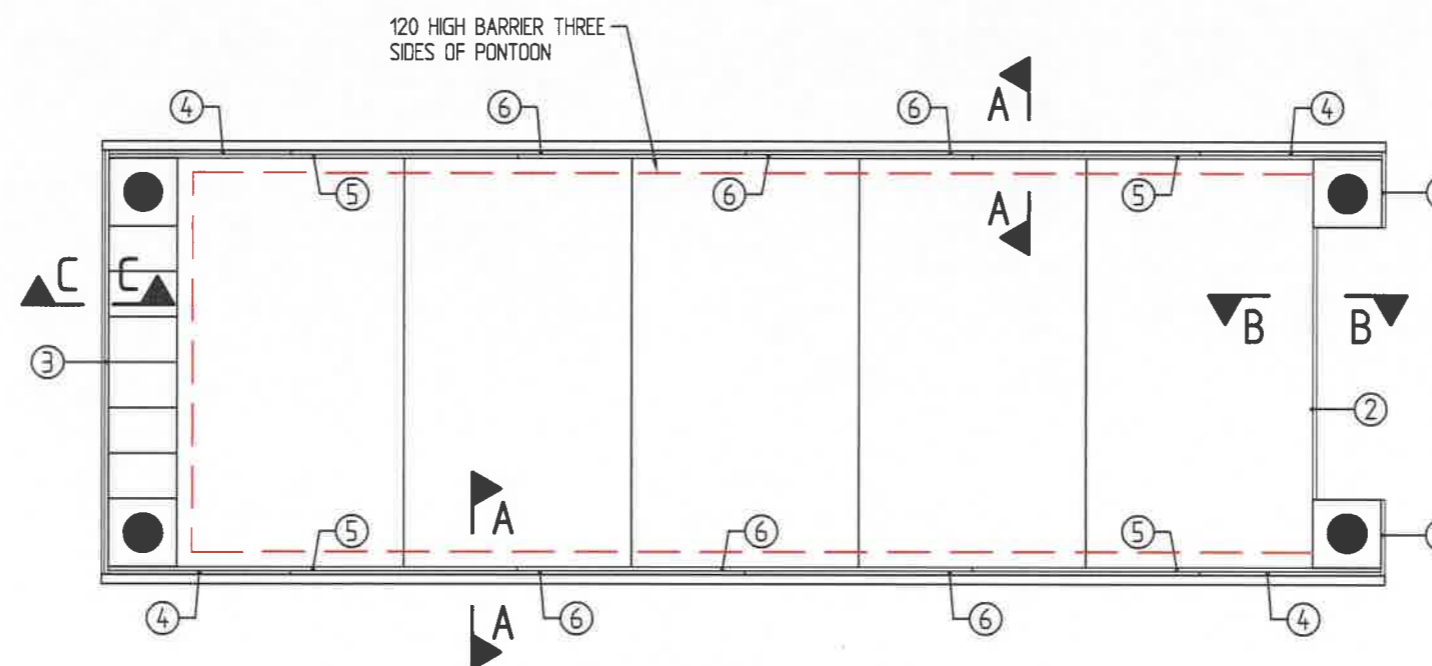
SCALE 1 : 10 (A3)

LIST OF MATERIAL				
No.	MATERIAL DESCRIPTION	LENGTH (mm)	HOLE SIZE (mm)	No. OF HOLES
1	50 x 200 GRADE F17 HARDWOOD TIMBER	1003	22φ	3
2	50 x 200 GRADE F17 HARDWOOD TIMBER	3594	22φ	6
3	50 x 200 GRADE F17 HARDWOOD TIMBER	5600	22φ	12
4	50 x 300 GRADE F17 HARDWOOD TIMBER	2400	22φ	9
5	50 x 300 GRADE F17 HARDWOOD TIMBER	5400	22φ	21
6	50 x 300 GRADE F17 HARDWOOD TIMBER	6000	22φ	24



SECTION C - C

SCALE 1 : 10 (A3)



PLAN

SCALE 1 : 100 (A3)

FOR APPROVAL

J. M. LEMAN
J. M. LEMAN
 REGISTERED PROFESSIONAL ENGINEER
 OF QUEENSLAND NUMBER : 2938

B 18/5/23 BARRIER ADDED.
 A 17/3/22 SECTION C-C ADDED AND ISSUED FOR APPROVAL.

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 A.C.N. 079 905 481

5/26 Brandt Street
 EIGHT MILE PLAINS QLD 4113
 AUSTRALIA
 Phone (07)3892 5711 Fax (07)3892 5611
 Email : imc@imc-marinas.com

CLIENT:
FRANK LEIS REFRIGERATION

PROJECT:
NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

TITLE:
WALER CONNECTIONS DETAIL

Date:	09/02/2022
Drawing No.:	6027-05/B
Scale:	AS SHOWN
Drawn By: A.L.F.	Checked By:
Approved By:	

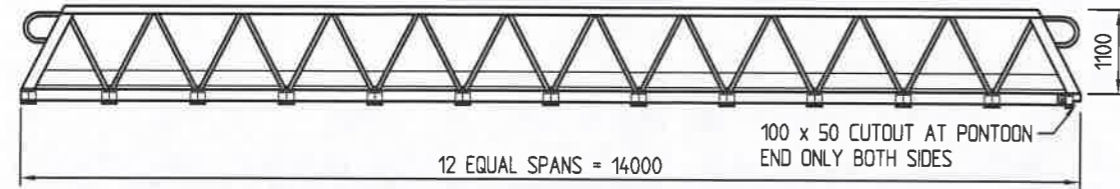
APPROVED

Name: Trudi Smith
Date: 7:58am 14/06/2023

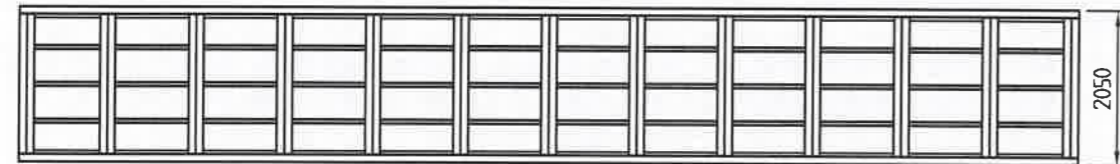
NOTES:

1. FOR GENERAL NOTES REFER TO DRAWING 6027-01.

ITEM	DESCRIPTION
1	RHS 150 x 100 x 5
2	2 x RHS 150 x 100 x 5
3	SHS 100 x 100 x 6
4	ANGLE 50 x 25 x 3
5	200 x 50 TIMBER KERB
6	SHS 100 x 100 x 6
7	CHS 50 x 3

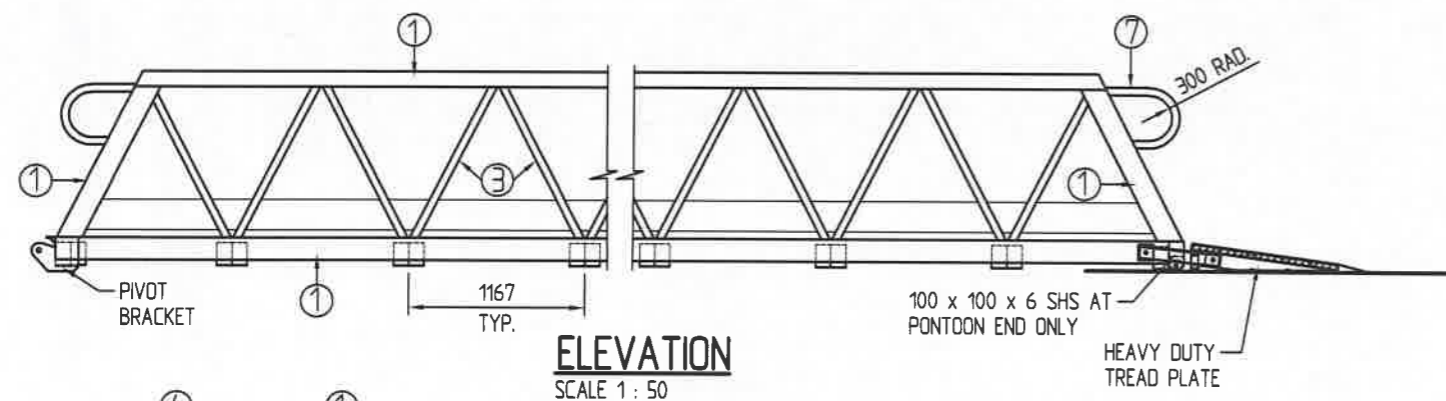


ELEVATION



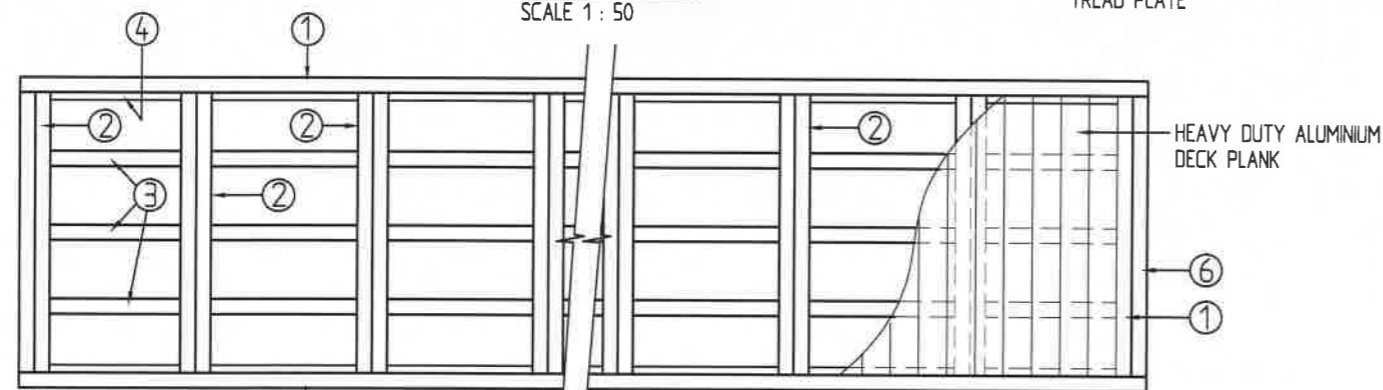
PLAN GENERAL ARRANGEMENT

SCALE 1 : 100



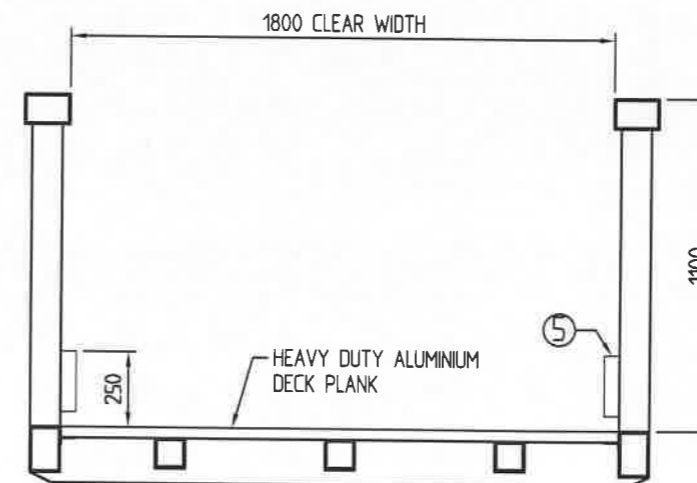
ELEVATION

SCALE 1 : 50



PLAN VIEW BOTTOM CHORD

SCALE 1 : 50



TYPICAL SECTION

SCALE 1 : 25

FOR APPROVAL

J. M. LEMAN
J. M. LEMAN
REGISTERED PROFESSIONAL ENGINEER
OF QUEENSLAND NUMBER : 2938

B 18/5/23 ITEM 3 MEMBER REVISED.
A 17/3/22 ISSUED FOR APPROVAL.

Revisions

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International Marina Consultants Pty. Ltd.
A.C.N. 079 905 481

5/26 Brandt Street
EIGHT MILE PLAINS QLD 4113
Australia
Phone (07)3892 5711 Fax (07)3892 5611
Email : imc@imc-marinas.com

CLIENT:

FRANK LEIS REFRIGERATION

PROJECT:

NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

TITLE:

1.8m CLEAR WIDTH x 14.0m LONG ALUMINIUM HINGED GANGWAY

Date: 08/02/2022

Drawing No.: 6027-06/B

Scale: AS SHOWN

Drawn By: A.L.F. Checked By:

Approved By:

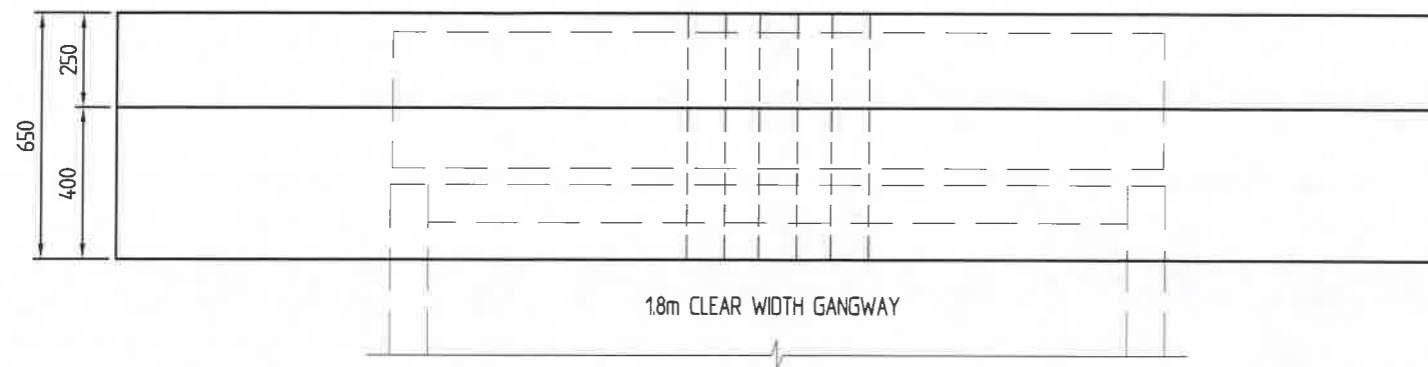
APPROVED

Name: Trudi Smith

Date: 7:58am 14/06/2023

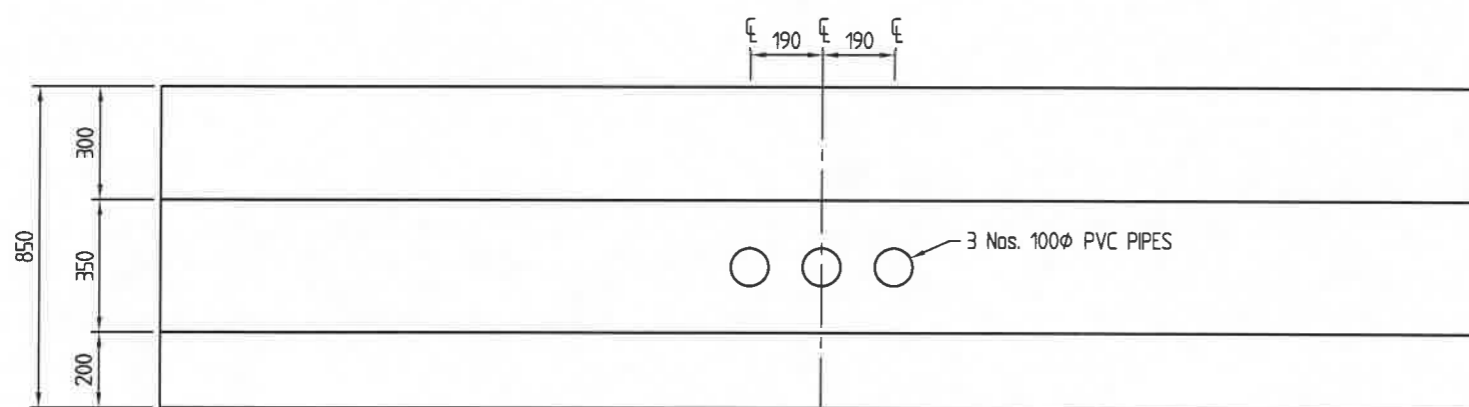
NOTES:

- FOR GENERAL NOTES REFER TO DRAWING No. 6027-01.
- UNFACTORED GANGWAY LOADS PER HINGE
DL 5.7 kN VERTICAL
LL 30.3 kN VERTICAL
LL 4.6 kN HORIZONTAL ALONG GANGWAY (FORKLIFT BREAKING LOAD)
- THE ABUTMENT FOUNDATION BEARING CAPACITY AND SLOPE STABILITY OF REVETMENT TO BE CHECKED AND CONFIRMED BY A GEOTECHNICAL ENGINEER.



PLAN

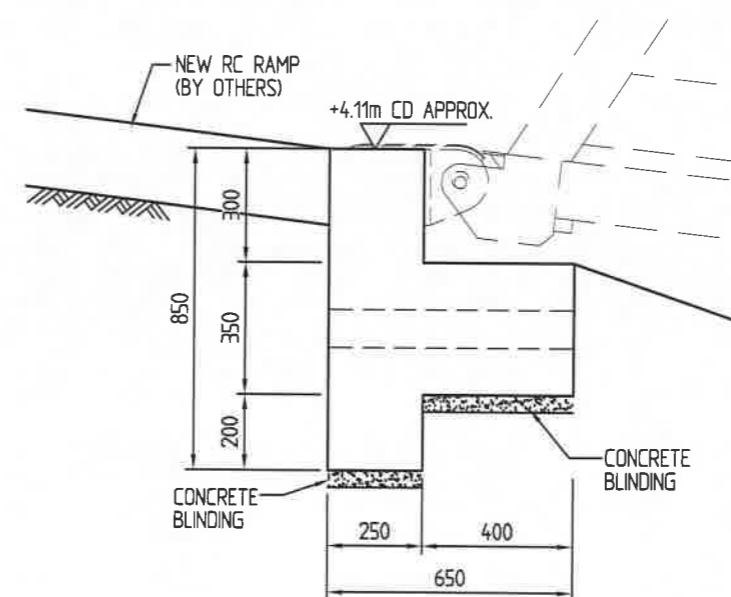
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(GANGWAY NOT SHOWN FOR CLARITY)

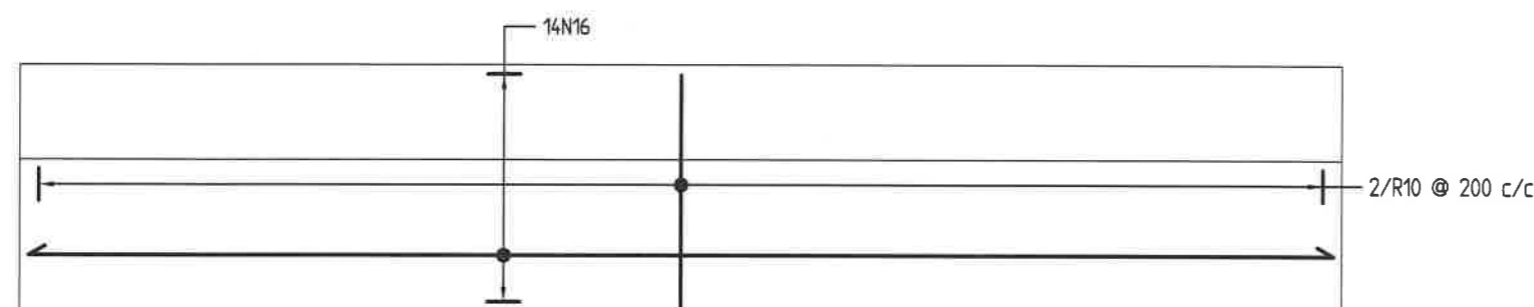
ELEVATION

SCALE 1 : 20



ELEVATION

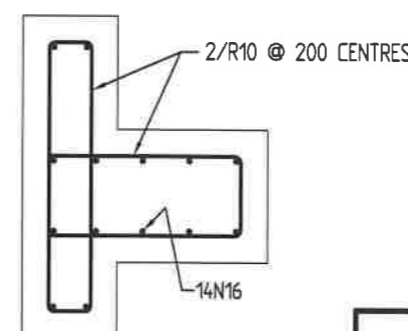
SCALE 1 : 20



PLAN

REINFORCEMENT DETAILS

SCALE 1 : 20



TYPICAL SECTION

FOR APPROVAL

J. M. LEMAN

REGISTERED PROFESSIONAL ENGINEER
OF QUEENSLAND NUMBER : 2938

B 19/5/23 NOTE 2 REVISED.
A 17/3/22 NOTES REVISED, CONDUITS RELOCATED
AND ISSUED FOR APPROVAL.

Revisions

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International Marina
Consultants Pty. Ltd.
A.C.N. 079 905 481

5/26 Brandt Street
EIGHT MILE PLAINS QLD 4113
Australia
Phone (07)3892 5711 Fax (07)3892 5611
Email : imc@imc-marinas.com

CLIENT:

FRANK LEIS
REFRIGERATION

PROJECT:

NEW FLOATING PONTOON,
GANGWAY AND ABUTMENT

TITLE:

GANGWAY CONCRETE
ABUTMENT

Date: 08/02/2022

Drawing No.: 6027-07/B

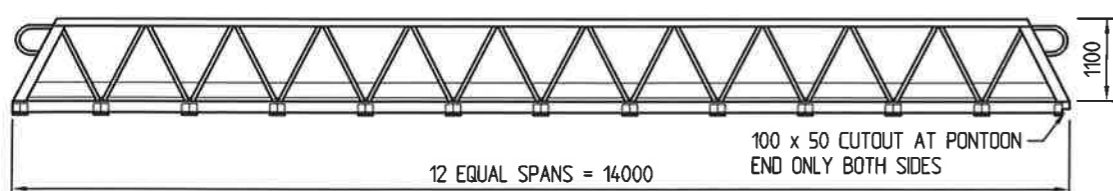
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Drawn By: A.L.F. Checked By:

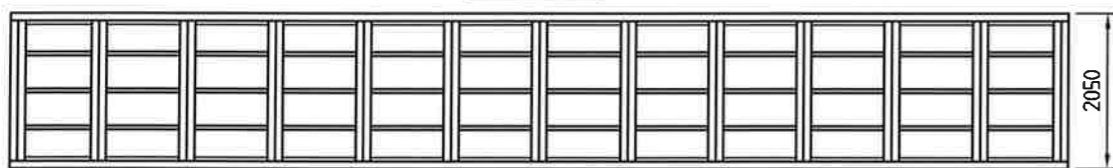
Approved By:

APPROVED

Name: Trudi Smith
Date: 7:59am 14/06/2023

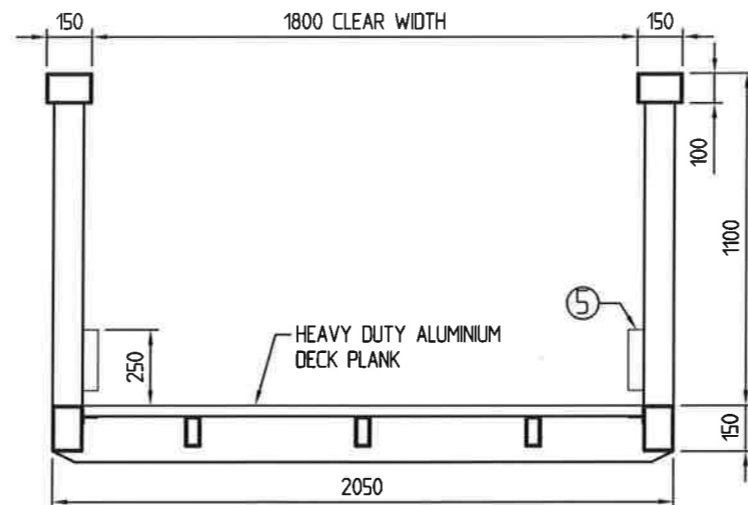


ELEVATION



PLAN
GENERAL ARRANGEMENT

SCALE 1 : 100



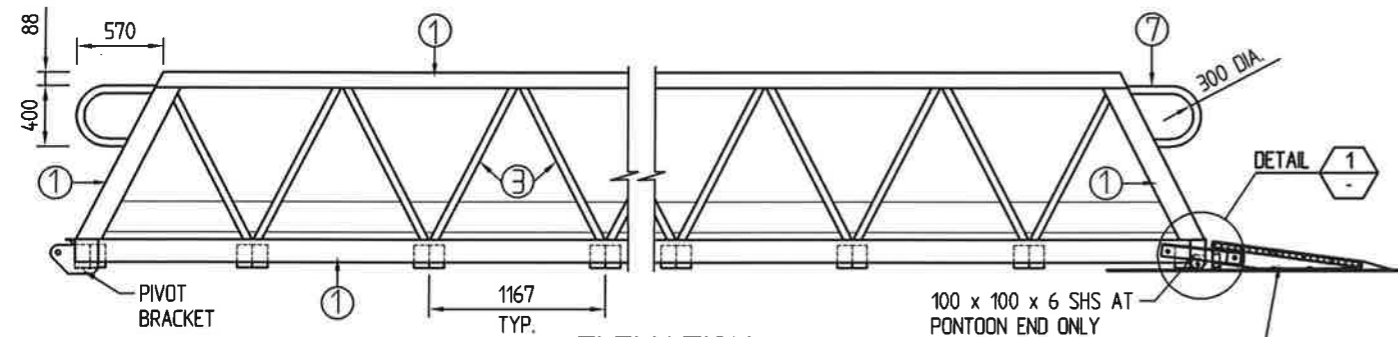
TYPICAL SECTION

SCALE 1 : 25

NOTES:

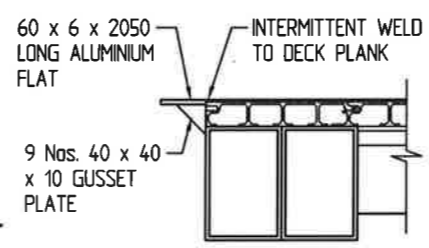
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ITEM	DESCRIPTION
1	RHS 150 x 100 x 5
2	2 x RHS 150 x 100 x 5
3	RHS 100 x 50 x 6
4	ANGLE 50 x 25 x 3
5	200 x 50 TIMBER KERB
6	SHS 100 x 100 x 6
7	CHS 50 x 3



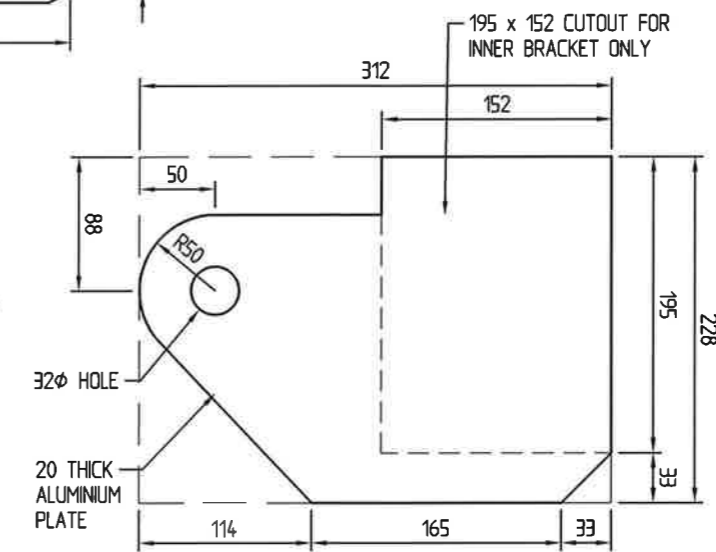
ELEVATION

SCALE 1 : 50



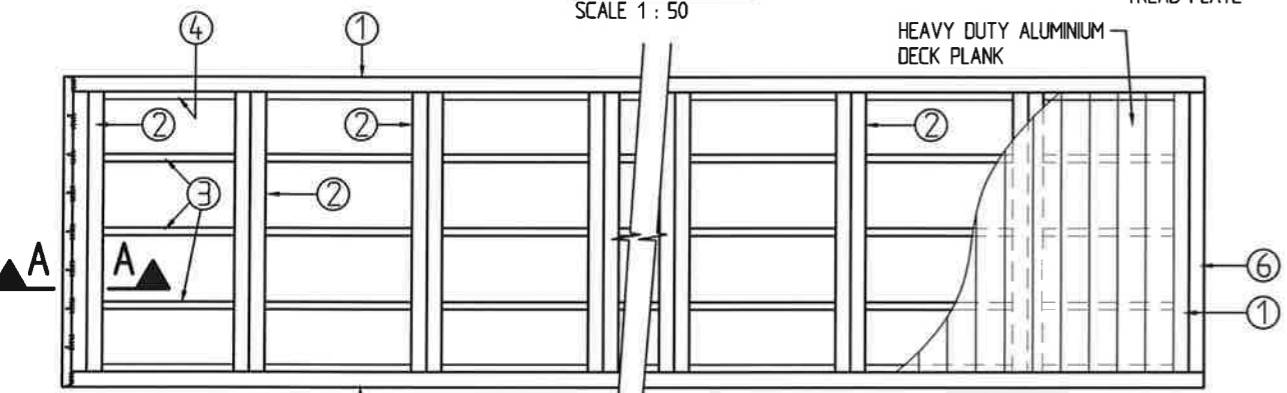
SECTION A - A

SCALE 1 : 10



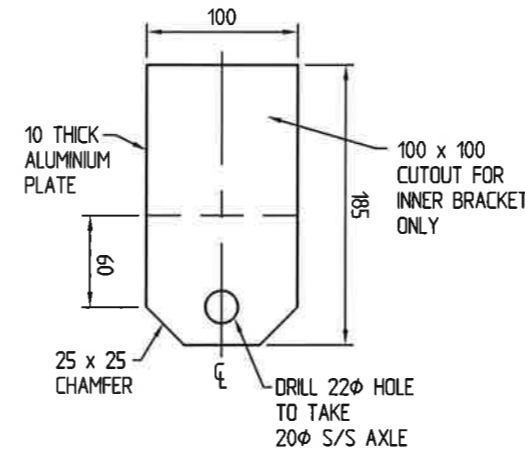
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SCALE 1 : 5



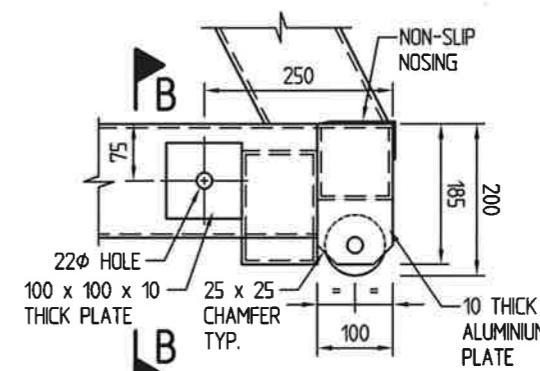
PLAN VIEW BOTTOM CHORD

SCALE 1 : 50



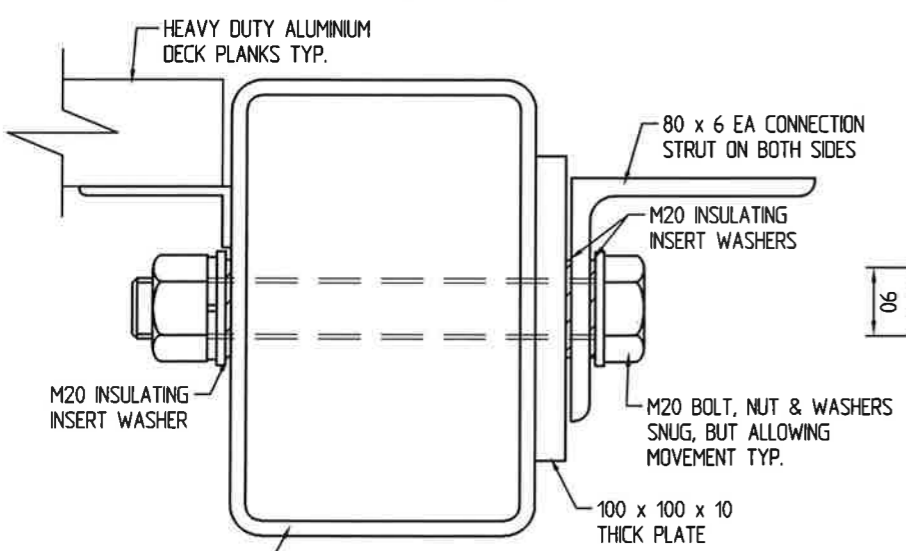
ROLLER BRACKET DETAILS

SCALE 1 : 5



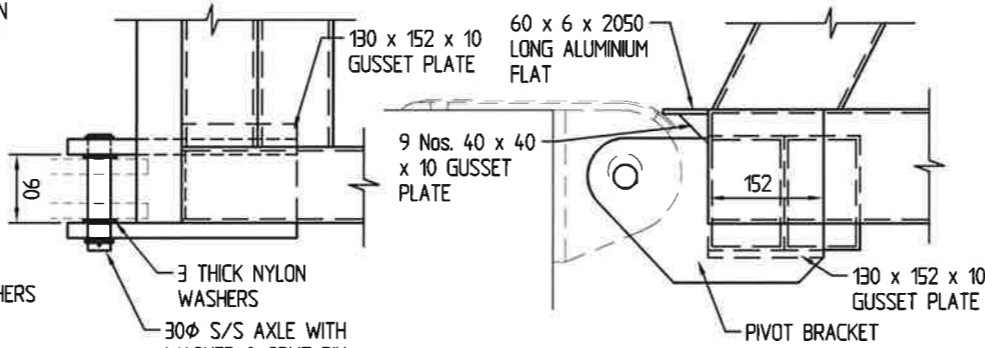
SIDE ELEVATION

(TREAD PLATE CONNECTION OMITTED FOR CLARITY)



SECTION B - B

SCALE 1 : 25 (A3)

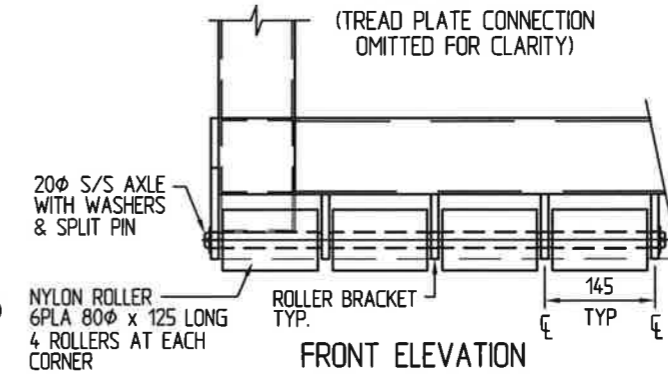


SIDE ELEVATION

FRONT ELEVATION

HINGED BRACKET DETAILS

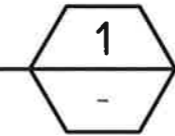
SCALE 1 : 10



FRONT ELEVATION

DETAIL

SCALE 1 : 10



PRELIMINARY

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International Marina Consultants Pty. Ltd.
A.C.N. 079 905 481

5/26 Brandl Street
EIGHT MILE PLAINS QLD 4113
Australia
Phone (07)3892 5711 Fax (07)3892 5611
Email : imc@imc-marinas.com

CLIENT:
FRANK LEIS
REFRIGERATION

PROJECT:
NEW FLOATING PONTOON,
GANGWAY AND ABUTMENT

TITLE:
1.8m CLEAR WIDTH x 14.0m
LONG ALUMINIUM HINGED
GANGWAY

Date: 25/02/2022

Drawing No.: 6027-300

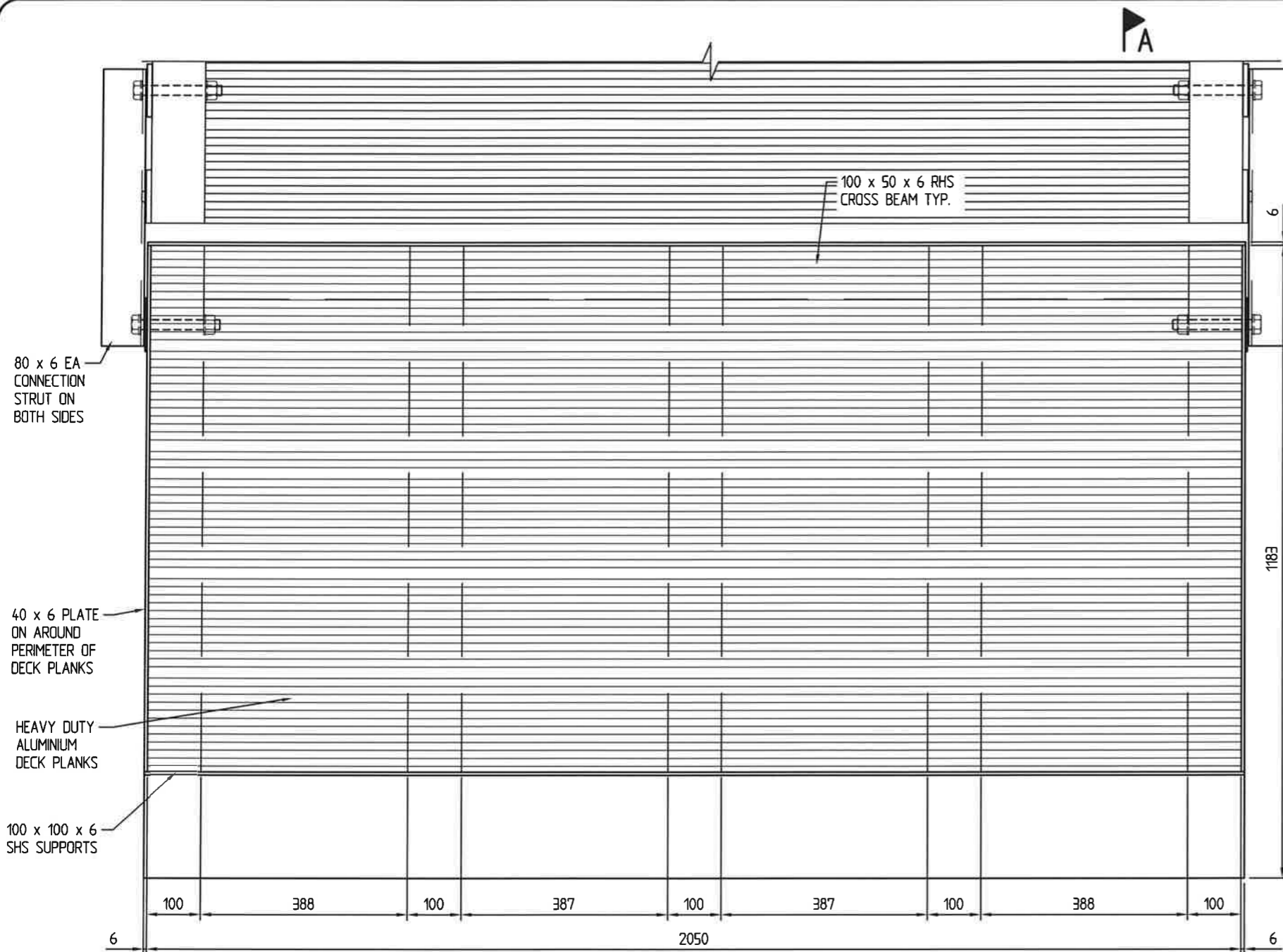
Scale: AS SHOWN

Drawn By: A.L.F. Checked By:

Approved By:

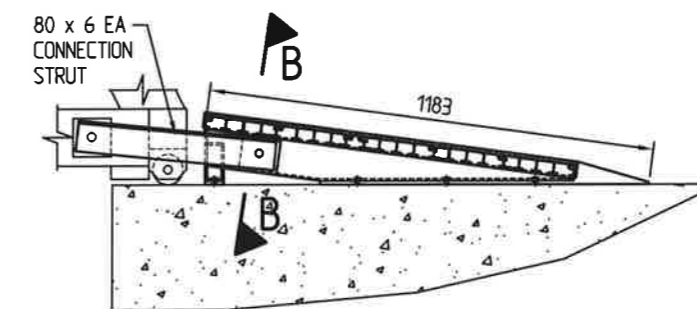
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1. FOR GENERAL NOTES REFER TO DRAWING 6027-01.



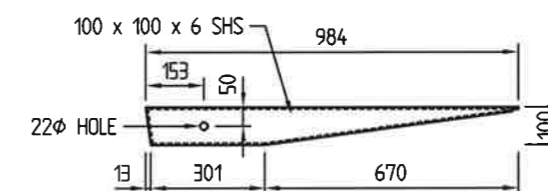
PLAN

SCALE 1 : 10 (A3)



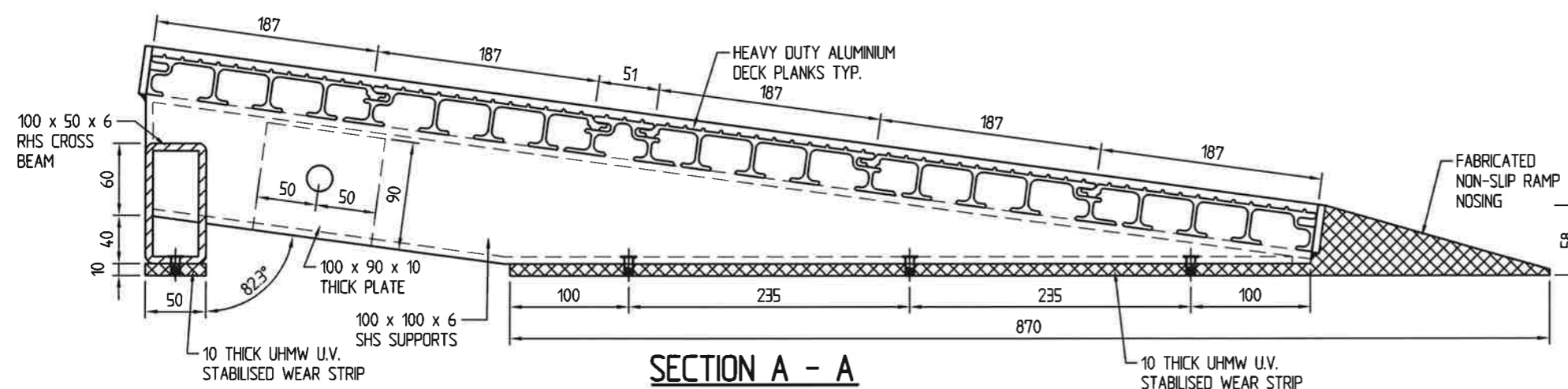
SIDE VIEW

SCALE 1 : 20 (A3)



100 x 100 x 6 SHS SUPPORT DETAIL

SCALE 1 : 20 (A3)



SECTION A - A

SCALE 1 : 5 (A3)

PRELIMINARY

THIS DRAWING TO BE READ IN CONJUNCTION WITH DRAWING No. 6027-303

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A.C.N. 079 905 481

5/26 Brandl Street
EIGHT MILE PLAINS QLD 4113
Australia
Phone (07)3892 5711 Fax (07)3892 5611
Email : imc@imc-marinas.com

CLIENT:

FRANK LEIS REFRIGERATION

PROJECT:

NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

TITLE:

HEAVY DUTY TREAD PLATE DETAIL SHEET 1

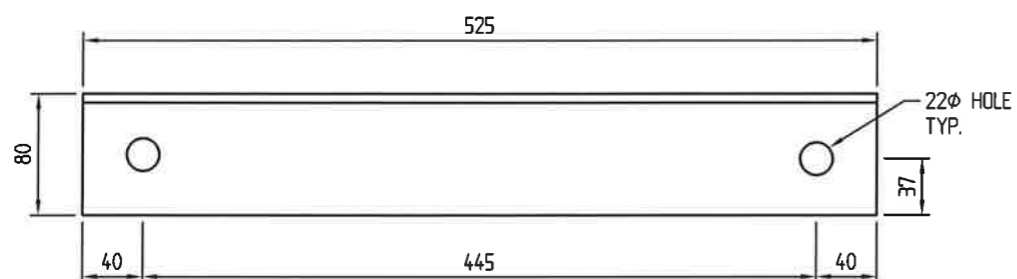
Date: 25/02/2022

Drawing No.: 6027-302

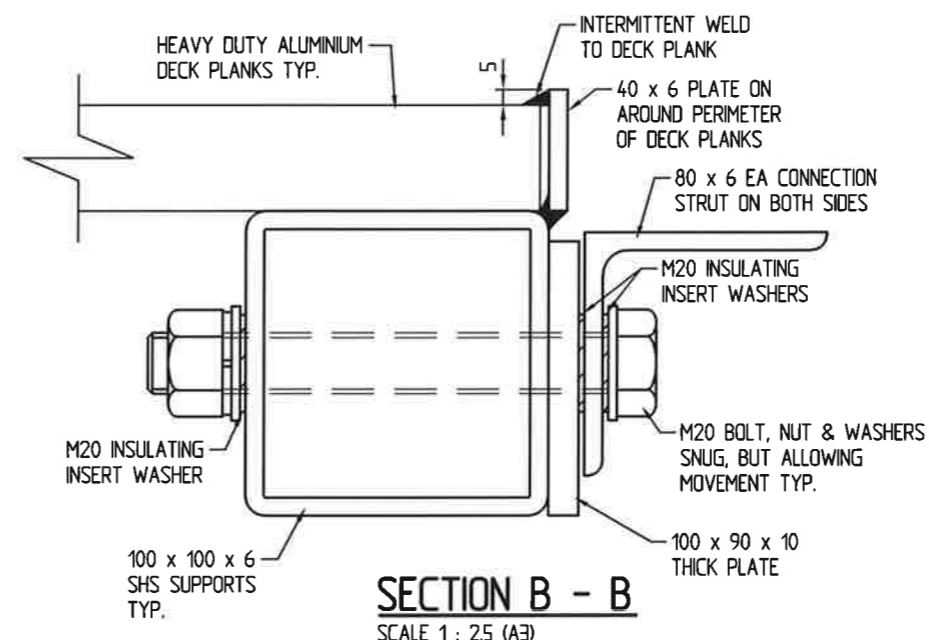
Scale: AS SHOWN

Drawn By: A.L.F. Checked By:

Approved By:



80 x 6 EA CONNECTION STRUT DETAIL
SCALE 1 : 5 (A3)



SECTION B - B
SCALE 1 : 2.5 (A3)

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A.C.N. 079 905 481

5/26 Brandt Street
EIGHT MILE PLAINS QLD 4113
Australia
Phone (07)3892 5711 Fax (07)3892 5611
Email : imc@imc-marinas.com

CLIENT:
FRANK LEIS REFRIGERATION

PROJECT:
NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

TITLE:
HEAVY DUTY TREAD PLATE DETAIL SHEET 2

PRELIMINARY

THIS DRAWING TO BE READ IN CONJUNCTION WITH DRAWING No. 6027-302

Date: 25/02/2022

Drawing No.: 6027-303

Scale: AS SHOWN

Drawn By: A.L.F. Checked By:

Approved By:

Revisions

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A.C.N. 079 905 481

5/26 Brandl Street
EIGHT MILE PLAINS QLD 4113
Australia
Phone (07)3892 5711 Fax (07)3892 5611
Email : imc@imc-marinas.com

CLIENT:
FRANK LEIS REFRIGERATION

PROJECT:
NEW FLOATING PONTOON, GANGWAY AND ABUTMENT

TITLE:
GANGWAY MOUNTING BRACKET

Date: 16/03/2022

Drawing No.: 6027-301

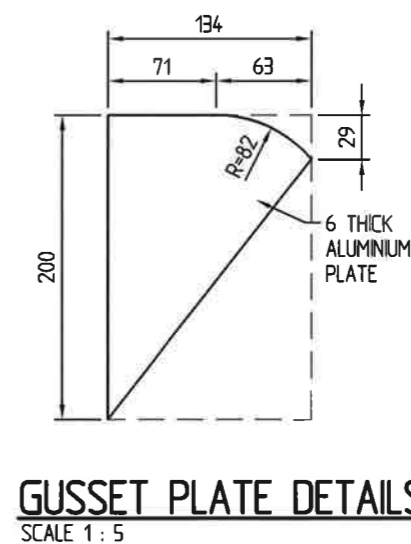
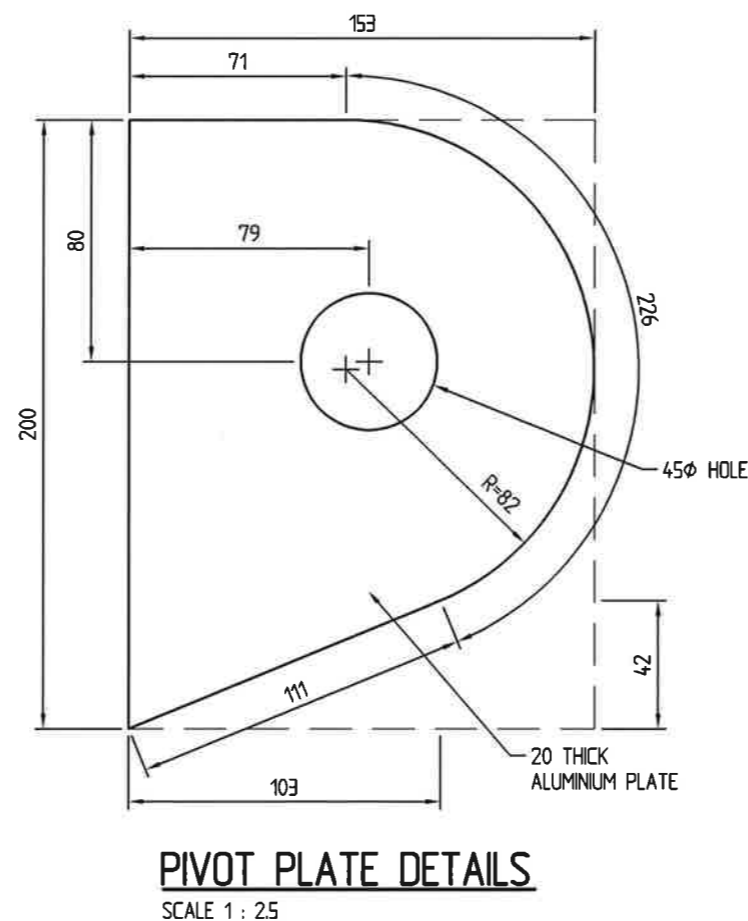
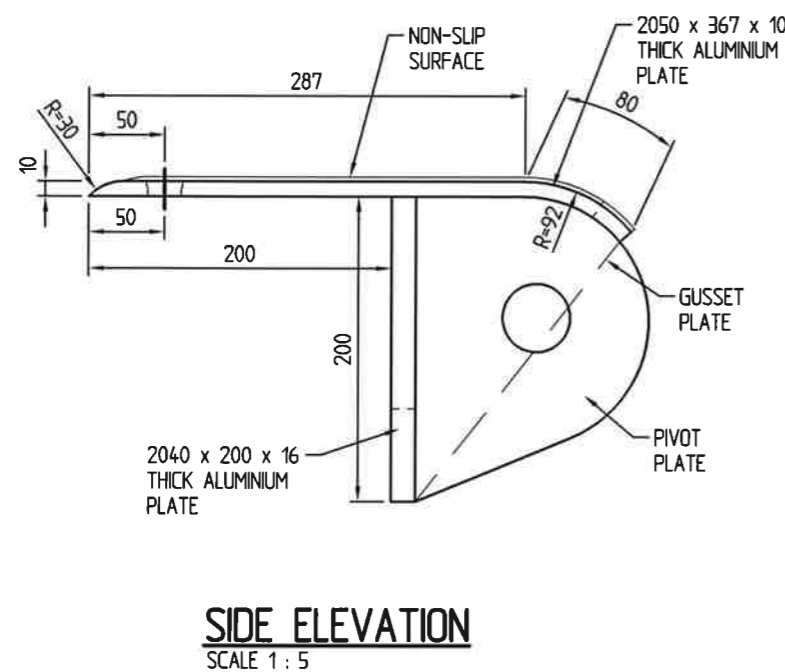
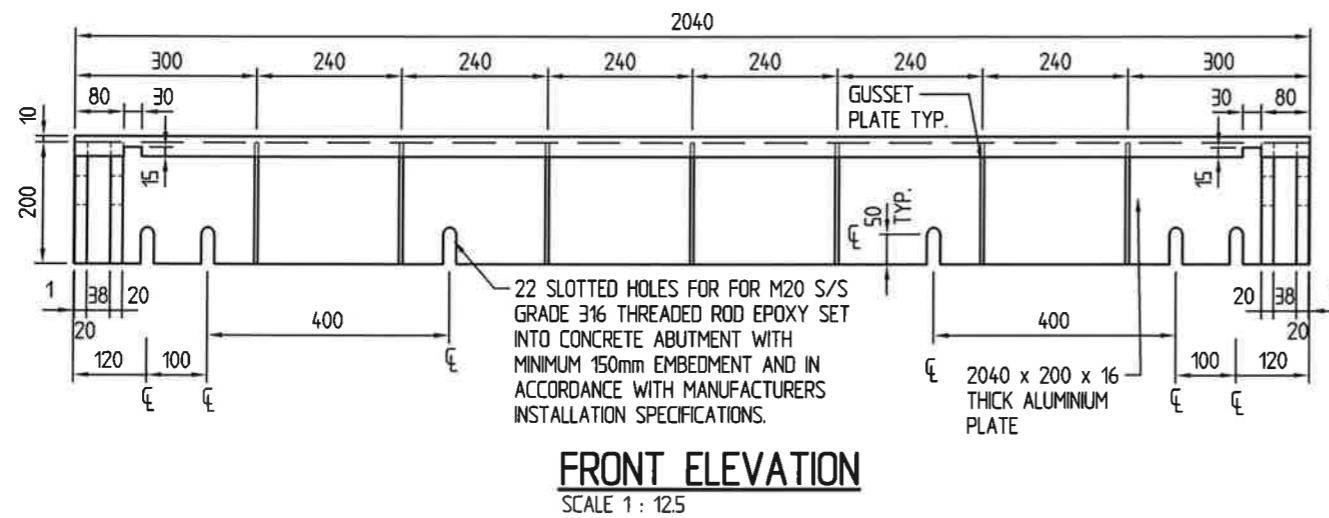
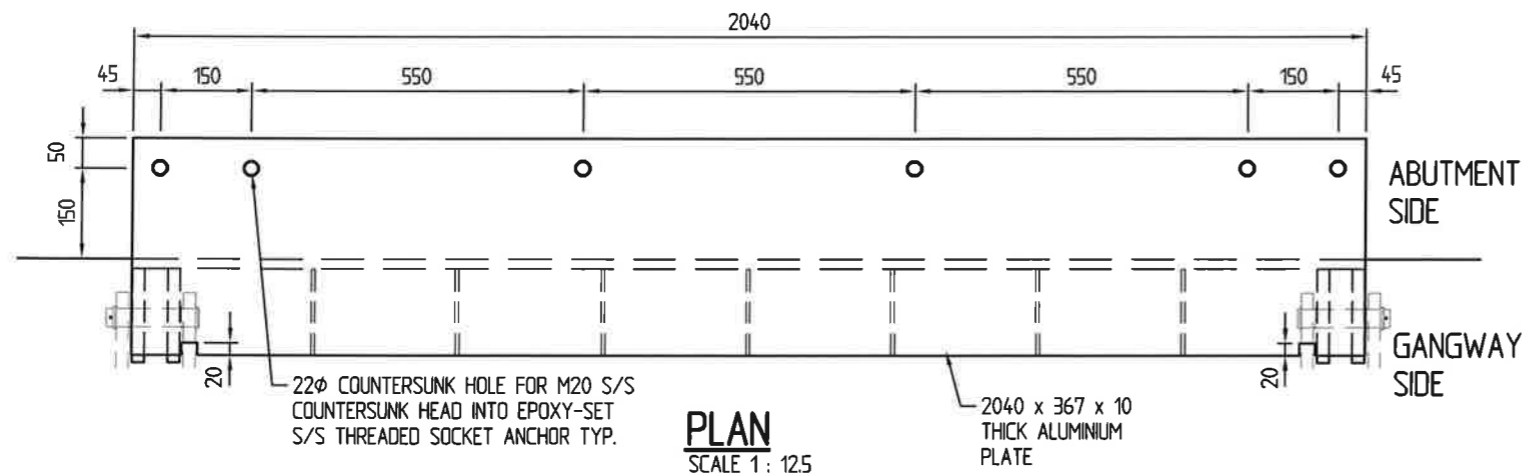
Scale: AS SHOWN

Drawn By: A.L.F. Checked By:

Approved By:

NOTES:

- FOR GENERAL NOTES REFER TO DRAWING No. 6027-01.



PRELIMINARY

Attachment 3 Extract of Appeal Provisions

Schedule 1 Appeals

section 229

1 Appeal rights and parties to appeals

- (1) Table 1 states the matters that may be appealed to—
 - (a) the P&E court; or
 - (b) a tribunal.
- (2) However, table 1 applies to a tribunal only if the matter involves—
 - (a) the refusal, or deemed refusal of a development application, for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (b) a provision of a development approval for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (c) if a development permit was applied for—the decision to give a preliminary approval for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (d) a development condition if—
 - (i) the development approval is only for a material change of use that involves the use of a building classified under the Building Code as a class 2 building; and

-
- (ii) the building is, or is proposed to be, not more than 3 storeys; and
 - (iii) the proposed development is for not more than 60 sole-occupancy units; or
 - (e) a decision for, or a deemed refusal of, an extension application for a development approval that is only for a material change of use of a classified building; or
 - (f) a decision for, or a deemed refusal of, a change application for a development approval that is only for a material change of use of a classified building; or
 - (g) a matter under this Act, to the extent the matter relates to the Building Act, other than a matter under that Act that may or must be decided by the Queensland Building and Construction Commission; or
 - (h) a decision to give an enforcement notice—
 - (i) in relation to a matter under paragraphs (a) to (g); or
 - (ii) under the *Plumbing and Drainage Act 2018*; or
 - (i) an infrastructure charges notice; or
 - (j) the refusal, or deemed refusal, of a conversion application; or
 - (l) a matter prescribed by regulation.
- (3) Also, table 1 does not apply to a tribunal if the matter involves—
- (a) for a matter in subsection (2)(a) to (d)—
 - (i) a development approval for which the development application required impact assessment; and
 - (ii) a development approval in relation to which the assessment manager received a properly made submission for the development application; or
 - (b) a provision of a development approval about the identification or inclusion, under a variation approval, of a matter for the development.

- (4) Table 2 states the matters that may be appealed only to the P&E Court.
- (5) Table 3 states the matters that may be appealed only to the tribunal.
- (6) In each table—
 - (a) column 1 states the appellant in the appeal; and
 - (b) column 2 states the respondent in the appeal; and
 - (c) column 3 states the co-respondent (if any) in the appeal; and
 - (d) column 4 states the co-respondents by election (if any) in the appeal.
- (7) If the chief executive receives a notice of appeal under section 230(3)(f), the chief executive may elect to be a co-respondent in the appeal.
- (8) In this section—
storey see the Building Code, part A1.1.

Table 1
Appeals to the P&E Court and, for certain matters, to a tribunal

1. Development applications

For a development application other than an excluded application, an appeal may be made against—

- (a) the refusal of all or part of the development application; or
- (b) the deemed refusal of the development application; or
- (c) a provision of the development approval; or
- (d) if a development permit was applied for—the decision to give a preliminary approval.

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant	The assessment manager	If the appeal is about a concurrence agency’s referral response—the concurrence agency	<ol style="list-style-type: none"> 1 A concurrence agency that is not a co-respondent 2 If a chosen assessment manager is the respondent—the prescribed assessment manager 3 Any eligible advice agency for the application 4 Any eligible submitter for the application
<p>2. Change applications</p> <p>For a change application other than an excluded application, an appeal may be made against—</p> <p>(a) the responsible entity’s decision on the change application; or</p> <p>(b) a deemed refusal of the change application.</p>			

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 The applicant</p> <p>2 If the responsible entity is the assessment manager—an affected entity that gave a pre-request notice or response notice</p>	<p>The responsible entity</p>	<p>If an affected entity starts the appeal—the applicant</p>	<p>1 A concurrence agency for the development application</p> <p>2 If a chosen assessment manager is the respondent—the prescribed assessment manager</p> <p>3 A private certifier for the development application</p> <p>4 Any eligible advice agency for the change application</p> <p>5 Any eligible submitter for the change application</p>
<p>3. Extension applications</p> <p>For an extension application other than an extension application called in by the Minister, an appeal may be made against—</p> <p>(a) the assessment manager’s decision on the extension application; or</p> <p>(b) a deemed refusal of the extension application.</p>			

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 The applicant</p> <p>2 For a matter other than a deemed refusal of an extension application—a concurrence agency, other than the chief executive, for the application</p>	<p>The assessment manager</p>	<p>If a concurrence agency starts the appeal—the applicant</p>	<p>If a chosen assessment manager is the respondent—the prescribed assessment manager</p>
<p>4. Infrastructure charges notices</p> <p>An appeal may be made against an infrastructure charges notice on 1 or more of the following grounds—</p> <p>(a) the notice involved an error relating to—</p> <p style="padding-left: 20px;">(i) the application of the relevant adopted charge; or</p> <p><i>Examples of errors in applying an adopted charge—</i></p> <ul style="list-style-type: none"> • the incorrect application of gross floor area for a non-residential development • applying an incorrect ‘use category’, under a regulation, to the development <p style="padding-left: 20px;">(ii) the working out of extra demand, for section 120; or</p> <p style="padding-left: 20px;">(iii) an offset or refund; or</p> <p>(b) there was no decision about an offset or refund; or</p> <p>(c) if the infrastructure charges notice states a refund will be given—the timing for giving the refund; or</p> <p>(d) for an appeal to the P&E Court—the amount of the charge is so unreasonable that no reasonable relevant local government could have imposed the amount.</p>			

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the infrastructure charges notice	The local government that gave the infrastructure charges notice	—	—
<p>5. Conversion applications An appeal may be made against—</p> <p>(a) the refusal of a conversion application; or</p> <p>(b) a deemed refusal of a conversion application.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant	The local government to which the conversion application was made	—	—
<p>6. Enforcement notices An appeal may be made against the decision to give an enforcement notice.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the enforcement notice	The enforcement authority	—	If the enforcement authority is not the local government for the premises in relation to which the offence is alleged to have happened—the local government

Table 1			
Appeals to the P&E Court and, for certain matters, to a tribunal			
7. Enforcement notices under the <i>Plumbing and Drainage Act 2018</i>			
An appeal may be made against the decision to give an enforcement notice.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the enforcement notice	The local government that gave the enforcement notice	—	—

Table 2			
Appeals to the P&E Court only			
1. Appeals from tribunal			
An appeal may be made against a decision of a tribunal, other than a decision under section 252, on the ground of—			
(a) an error or mistake in law on the part of the tribunal; or			
(b) jurisdictional error.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A party to the proceedings for the decision	The other party to the proceedings for the decision	—	—
2. Eligible submitter appeals			
For a development application or change application other than an excluded application, an appeal may be made against the decision to approve the application, to the extent the decision relates to—			
(a) any part of the development application or change application that required impact assessment; or			
(b) a variation request.			

Table 2 Appeals to the P&E Court only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 For a development application—an eligible submitter for the development application</p> <p>2 For a change application—an eligible submitter for the change application</p>	<p>1 For a development application—the assessment manager</p> <p>2 For a change application—the responsible entity</p>	<p>1 The applicant</p> <p>2 If the appeal is about a concurrence agency’s referral response—the concurrence agency</p>	<p>Another eligible submitter for the application</p>
<p>3. Eligible submitter and eligible advice agency appeals</p> <p>For a development application or change application other than an excluded application, an appeal may be made against a provision of the development approval, or a failure to include a provision in the development approval, to the extent the matter relates to—</p> <p>(a) any part of the development application or change application that required impact assessment; or</p> <p>(b) a variation request.</p>			

Table 2 Appeals to the P&E Court only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 For a development application—an eligible submitter for the development application</p> <p>2 For a change application—an eligible submitter for the change application</p> <p>3 An eligible advice agency for the development application or change application</p>	<p>1 For a development application—the assessment manager</p> <p>2 For a change application—the responsible entity</p>	<p>1 The applicant</p> <p>2 If the appeal is about a concurrence agency’s referral response—the concurrence agency</p>	<p>Another eligible submitter for the application</p>
<p>4. Compensation claims</p> <p>An appeal may be made against—</p> <p>(a) a decision under section 32 about a compensation claim; or</p> <p>(b) a decision under section 265 about a claim for compensation; or</p> <p>(c) a deemed refusal of a claim under paragraph (a) or (b).</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person dissatisfied with the decision	The local government to which the claim was made	—	—

Table 2 Appeals to the P&E Court only			
<p>5. Registered premises</p> <p>An appeal may be made against a decision of the Minister under chapter 7, part 4.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 A person given a decision notice about the decision</p> <p>2 If the decision is to register premises or renew the registration of premises—an owner or occupier of premises in the affected area for the registered premises who is dissatisfied with the decision</p>	<p>The Minister</p>	<p>—</p>	<p>If an owner or occupier starts the appeal—the owner of the registered premises</p>
<p>6. Local laws</p> <p>An appeal may be made against a decision of a local government, or conditions applied, under a local law about—</p> <p>(a) the use of premises, other than a use that is the natural and ordinary consequence of prohibited development; or</p> <p>(b) the erection of a building or other structure.</p>			

Table 2 Appeals to the P&E Court only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who— (a) applied for the decision; and (b) is dissatisfied with the decision or conditions.	The local government	—	—

Table 3 Appeals to a tribunal only			
<p>1. Building advisory agency appeals</p> <p>An appeal may be made against giving a development approval for building work to the extent the building work required code assessment against the building assessment provisions.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A building advisory agency for the development application related to the approval	The assessment manager	The applicant	<p>1 A concurrence agency for the development application related to the approval</p> <p>2 A private certifier for the development application related to the approval</p>

Table 3 Appeals to a tribunal only			
<p>2. Inspection of building work</p> <p>An appeal may be made against a decision of a building certifier or referral agency about the inspection of building work that is the subject of a building development approval under the Building Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant for the development approval	The person who made the decision	—	—
<p>3. Certain decisions under the Building Act and the <i>Plumbing and Drainage Act 2018</i></p> <p>An appeal may be made against—</p> <p>(a) a decision under the Building Act, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under that Act; or</p> <p>(b) a decision under the <i>Plumbing and Drainage Act 2018</i>, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under that Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who received, or was entitled to receive, an information notice about the decision	The entity that made the decision	—	—
<p>4. Failure to decide an application or other matter under the Building Act</p> <p>An appeal may be made against a failure to make a decision under the Building Act within the period required under that Act, other than a failure by the Queensland Building and Construction Commission to make a decision, if an information notice about the decision was required to be given under that Act.</p>			

Table 3 Appeals to a tribunal only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who was entitled to receive notice of the decision	The entity that failed to make the decision	—	—
<p>5. Failure to decide an application or other matter under the <i>Plumbing and Drainage Act 2018</i></p> <p>An appeal may be made against a failure to make a decision under the <i>Plumbing and Drainage Act 2018</i> within the period required under that Act, other than a failure by the Queensland Building and Construction Commission to make a decision, if an information notice about the decision was required to be given under that Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who was entitled to receive an information notice about the decision	The entity that failed to make the decision	—	—