

9 August 2023

Graham Bailey Pty Ltd
C/- Zone Planning Qld
Shaunte Farrington
PO Box 5332
GLADSTONE QLD 4680

Email: sfarrington@zoneplanning.com.au

Dear Ms Farrington,

DECISION NOTICE – CHANGE APPLICATION FOR MINOR CHANGE – DA2022/09/02

(GIVEN UNDER THE PROVISIONS OF S83 PLANNING ACT 2016)

This changed decision notice replaces the decision notice dated **4 October 2022**. Changes are shown in *italicised bold* font.

1. Application Details

This development application was **properly made** to the Gladstone Ports Corporation Limited on **6 July 2023**.

Application Number:	DA2022/09/02
Applicant Name:	Graham Bailey Pty Ltd
Applicant Contact Details:	C/- Zone Planning Qld Shaunte Farrington PO Box 5332 GLADSTONE QLD 4680 Email: sfarrington@zoneplanning.com.au
Approvals Sought:	Minor change to Port application for works for fuel line replacement (works on land).
Details of Proposed Development:	Minor change to development approval for upgrades of the pipework and lining of underground fuel tanks and sinking three monitoring wells.
Location Street Address:	Alf O'Rourke Drive CALLEMONDAH QLD 4680
Location Real Property Description:	Lot 209 SP120888 and Lot 210 SP120888
Land Owner:	Gladstone Ports Corporation Limited
Present Zoning & Precinct:	Strategic Port Land – Marine Industry

2. Details of Proposed Development

Minor change to development approval for upgrades of the pipework on the trawler wharf and lining of underground fuel tanks at the diesel refuelling facility. Change includes three (3) monitoring wells.

3. Details of Decision

This development application was decided on **4 October 2022** and the minor change decided on **9 August 2023**

This development application is **approved in full with conditions**. These conditions are set out in Attachment 1 and are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

4. Details of Approval

This development approval is a **Development Permit** given for:

- a) Port Application for undertaking work in, on, over or under premises that materially affects the premises or their use including excavating or filling (*GPC Land Use Plan 2012v2*).

5. Conditions

This development approval is subject to the conditions in Attachment 1 - Part 1.

6. Further Development Permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

- a. Not applicable.

Note: Works within the development footprint have been considered 'excluded works' for development that is operational works for tidal work. Anything outside of these parameters may require further permits.

7. Properly made submissions

Not applicable – No part of the application required public notification.

7. Approved Plans and Specifications –

Copies of the following plans, specifications or drawings are enclosed in **Attachment 2**:

Title	Drawn BY	Drawing No.	Sheet Revision	Date
General Arrangement and Project Scope	WDE Fuel Industry Consulting	1779-F00	C	05/07/2023
Gladstone Harbour Trawler Wharf removal of existing steel diesel line underground lines from pump pit	Bailey's Marine Fuels Australia	87583	Sheet 1 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf removal of existing steel diesel line underground lines from pump pit	Bailey's Marine Fuels Australia	87583	Sheet 2 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf	Bailey's Marine	87583	Sheet 3	25/03/2022

Title	Drawn BY	Drawing No.	Sheet Revision	Date
removal of existing steel diesel line underground lines from pump pit	Fuels Australia		Rev A	
Gladstone Harbour Trawler Wharf removal of existing steel diesel line underground lines from pump pit	Bailey's Marine Fuels Australia	87583	Sheet 4 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf diesel line upgrade to U.P.P. Key Plan	Bailey's Marine Fuels Australia	87582	Sheet 0 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf diesel line upgrade to U.P.P. Pump to isolation valve pit	Bailey's Marine Fuels Australia	87584	Sheet 1 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf diesel line upgrade to U.P.P. Isolation valve pit to Bent No 2	Bailey's Marine Fuels Australia	87584	Sheet 2 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf diesel line upgrade to U.P.P. Bent No. 2 to Bent No. 4	Bailey's Marine Fuels Australia	87584	Sheet 3 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf diesel line upgrade to U.P.P. Bent No. 4 to Bent No. 6	Bailey's Marine Fuels Australia	87584	Sheet 4 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf diesel line upgrade to U.P.P. Bent No. 6 to Bent No. 8.	Bailey's Marine Fuels Australia	87584	Sheet 5 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf diesel line upgrade to U.P.P. bunker point riser – Bent No. 8 to Bent o. 10	Bailey's Marine Fuels Australia	87584	Sheet 6 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf diesel line upgrade to U.P.P. Pump Pit Details	Bailey's Marine Fuels Australia	87584	Sheet 7 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf diesel line upgrade to U.P.P. Isolation valve pit details	Bailey's Marine Fuels Australia	87584	Sheet 8 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf diesel line upgrade to U.P.P. bunker Point Riser & Transition Sump	Bailey's Marine Fuels Australia	87584	Sheet 9 Rev A	25/03/2022

8. Currency Period for the Approval

This development approval will lapse at the end of the period set out below:

- a. For Port Application this approval lapses 6 years after the original approval decision date.

9. Rights of Appeal

No legislated appeal rights are afforded with this decision notice in relation to the Port Application as the application was not made under the provisions of the *Planning Act 2016*.

For further information please contact Trudi Smith, Planning Specialist on 07 4976 1314 or via email planning@gpcl.com.au

Yours sincerely



Craig Haymes
Chief Executive Officer

- Enc. Attachment 1: Conditions of Approval
Part 1 – Conditions imposed by the assessment manager
- Attachment 2: Approved plans and specifications
- Attachment 3: Original Decision Notice

ATTACHMENT 1: CONDITIONS OF APPROVAL

PART 1: ASSESSMENT MANAGER CONDITIONS

In general the development proposal is in compliance with the requirements of Gladstone Ports Corporation Limited (GPC). This development approval is subject to each of the following conditions which are stated by Gladstone Ports Corporation Limited, the assessment manager.

Part 1a: Approval sought under GPC Land Use Plan 2012 v2 – Port Application

CONDITIONS
<p>GENERAL</p> <ol style="list-style-type: none"> 1. Development must be carried out generally in accordance with the Approved plans, except where modified by conditions of this permit. 2. Unless otherwise stated, all conditions must be complied with and completed prior to the commencement of the development. 3. Where additional “approval” is required under these conditions by GPC for drawings or documentation the Applicant must submit for review, amend to the satisfaction of, and obtain written approval from the Assessment Manager. <p>Furthermore, GPC will require no less than 10 business days, unless otherwise conditioned by GPC, to review the drawings or documentation provided prior to the commencement of the works.</p> <ol style="list-style-type: none"> 4. The Applicant must at its cost and expense, keep and maintain the development footprint in a state that is satisfactory to the Port.
<p>ENGINEERING</p> <ol style="list-style-type: none"> 5. The Applicant is required to apply for and obtain from GPC a Permit to Dig/Excavate prior to commencing works by contacting, Port Infrastructure Asset Manager on (07) 4976 1333. All reasonable measures must be taken to identify and protect existing services onsite, recorded or otherwise, and where necessary the Applicant will submit a plan to GPC for approval to adjust any existing services found during this excavation that was not originally shown on the proposed plans. 6. Upon completion of the works, the Applicant must supply GPC with certified “As Constructed” plans in both hard copy (2 of) and electronic (CAD format) which illustrate all infrastructure and services installed on, under or over Port land associated with the activity. The Applicant must also certify that the development is constructed as per design and generally in accordance with the approved plans prior to the use commencing. Plans shall be certified by an appropriately qualified and competent person, including RPEQ Engineer or Licensed Building Certifier. 7. Any site lighting used during construction should not negatively impact on the visibility of Navigational Aids utilised for the primary shipping channels nor illuminate a landward glare beyond the site boundary. Lighting must be reviewed during construction with respect to navigation. Where an issue is identified or a validated complaint received, the Applicant must immediately rectify to the satisfaction of GPC.

INFRASTRUCTURE

8. The Applicant must notify the Assessment Manager (GPC) of damage caused to any port or port user infrastructure or services including, but not limited to, security related devices, buildings, fences, lighting etc., roads, walkways and underground services or infrastructure during construction. The **Applicant** must undertake necessary repairs at their expense and to the satisfaction of the Assessment Manager (GPC).

CONSTRUCTION MANAGEMENT

9. The hours for the construction of the facility (i.e. operation of any machinery and/or other equipment) shall be restricted to between 6.30am and 6:30pm Monday to Friday and 6.30am to 12.30pm Saturday. No works shall be undertaken on Sunday or on public holidays. Any variations to these times will be subject to the written approval of GPC.
10. At all times, maintain and operate an adequate waste disposal service, including the maintenance of refuse bins and associated storage areas and appropriate storage and disposal of regulated waste e.g. materials containing asbestos, so as not to cause an environmental nuisance or create a safety hazard to the public.
11. In the event a laydown area is required or works are required to be carried out outside the immediate area shown on the approved plans, or were deemed necessary by the Assessment Manager (GPC), the **Applicant** or their contractor must obtain a Consent to Enter from GPC's Property Advisor prior to works commencing. All works are to achieve safety for the property, staff and customers.
12. To ensure public safety with regard to potential hazards, security fencing to a minimum height of 1.8m is to be provided around the development footprint and materials storage area prior to works commencing at the site.
13. All fencing is to be of a design that provides maximum security and/or separation without adversely affecting overall amenity and streetscape quality.

Note: One way of achieving compliance is to provide mesh cloth screening to the security fence.

14. A designated parking area and the location of security fencing is to be identified on a site plan and provided to the Assessment Manager prior to any works commencing at the site.
15. A Construction Traffic Management Plan (CTMP) shall be submitted to the Assessment Manager, for approval, prior to commencing any works onsite. The plan shall be developed in accordance with Austroad's Guide to Temporary Traffic Management (AGTTGM) and where applicable, the amendments referenced in the Qld Guide To Temporary Traffic Management (QGTTM).
16. The **Applicant** shall reinstate any damage caused to the existing carpark pavement, concrete kerb or footpath, etc. as a result of the works, to the same standard and quality as the original construction unless as agreed in writing by the Assessment Manager (GPC). The GPC Port Infrastructure Engineer can be contacted on (07) 49761127 to obtain detailed drawings of the existing infrastructure.
17. No mud, dirt or other debris is to be tracked onto public roads during construction and operation of development.
18. Any construction fill material used must be uncontaminated and reused from onsite or sourced from a licensed quarry.

WASTE MANAGEMENT

19. Any spillage of sediment, wastes, fuels, chemicals, contaminants, or other materials at the storage site, on port roads or on the wharf must be cleaned immediately. Such spillage must not be cleaned up by hosing, sweeping or otherwise releasing such materials to any stormwater drainage system, roadside gutters or waters.

AMENITY

20. The extent of filling or excavation at the site is to be no more than 1.5m high within 2m of the boundary at any time during the works. Screening is to be attached to any security fencing erected at the site to ensure that visual amenity is maintained at all times.

ENVIRONMENT

Construction Environmental Management Plans

21. Prior to construction works commencing on site, an Environmental Management Plan (EMP) specific to these works, is to be submitted to the Assessment Manager (GPC) for approval.

22. The construction must be undertaken in accordance with the approved EMP that ensures:

- a) environmental risks, including but not limited to, noise, odour, lighting, dust, are identified, managed and continually assessed in relation to the construction activity;
- b) any stormwater runoff within the development footprint is managed during any rain event by providing bunding (or the like) around any stockpiles of soil (or other materials) to ensure that contamination of the Marina/ nearby waters does not occur. that staff are trained and aware of their obligations under the EMP, including a copy of the management plan and development approval available on site at all times;
- c) that reviews of environmental performance are undertaken at least annually; and
- d) any amendments to the EMP are to be submitted to GPC for review and approval.

Once approved by the Assessment Manager, the activity must be carried out in accordance with this EMP.

Note: GPC has a guideline for the development of environmental management plans that may be utilised in meeting the requirements of this condition.

Incident notification

23. At all times, Gladstone Ports Corporation Environment Hotline (07) 4976 1617 is to be notified of the occurrence of any:

- a) release / spill of contaminants (e.g. fuels / chemicals / sewerage) greater than **20L** to land;
- b) release / spill of contaminants (e.g. fuels / chemicals / sewerage) of any amount to water;
- c) any environmental complaints received by the holder of this approval; and

- d) non-compliance with conditions of this approval or any other environmental approval obtained in relation to the approved activity.

ACID SULPHATE SOIL

24. In the event acid sulphate soils are disturbed/excavated and require treatment on site, a site specific Acid sulphate Management Plan must be submitted to GPC for approval prior to such works commencing. Once the management plan is approved, the works must be carried out in accordance with this plan.

NEW CONDITION/S

25. Prior to commencing works onsite, the **Applicant** must supply to the assessment manager, for approval, RPEQ certified "For Construction" plans which illustrate all infrastructure and services to be installed on, under or over Port land associated with the activity, and the Trawler Wharf. An engineering certificate is required to be provided in addition to the plan, confirming that the proposed works do not impact the structural integrity of the existing Trawler Wharf.

ADVICE NOTES

1. All other relevant approvals must be obtained before commencement of the development or operation of the development.
2. Where a Permit to Dig/Excavate prior to commencing excavation or digging for the development, the **Applicant** or their contractor is required to apply for and obtain the permit by contacting the Port Infrastructure Asset Manager on 4976 1332 or bartono@gpcl.com.au.
3. Where a construction compound or laydown area is required, the **Applicant** or their contractor is required to apply for and obtain a Consent to Enter from the Assessment Manager's Property Specialist via 07 4976 1334 or property@gpcl.com.au prior to works commencing.
4. Where works are to be undertaken outside tenured areas, the **Applicant** or their contractor is required to apply for and obtain a Consent to Enter from GPC's Property Specialist via 07 4976 1334 or property@gpcl.com.au prior to works commencing.
5. The *Environmental Protection Act 1994* states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks, construction, and operational phases of this development, are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm.
6. **All development should proceed in accordance with the duty of care guidelines under the *Aboriginal Cultural Heritage Act 2003*. Penalties may apply where duty of care under that Act has been breached.**
7. Where the Applicant is required to submit further documentation to the Assessment Manager, this is to be directed to the Planning section at planning@gpcl.com.au, including reference to the allocated development application number.
8. Where communication with GPC Port Security is required e.g. for schedules or service requests, direct communication to the following: pfsso@gpcl.com.au, contracted_security@gpcl.com.au and gpcsupervisor@diamondprotection.com.

ATTACHMENT 2: APPROVED PLANS AND SPECIFICATIONS

AREA 1 - SCOPE OF WORKS

EXISTING TANKS

1. RELINE BOTH EXISTING 42KL UNDERGROUND STEEL DIESEL STORAGE TANKS.
2. INSTALL 2 NEW TANK ACCESS MANWAYS AND TANK TURRETS.
3. INSTALL NEW UNDERGROUND NON-CORRODIBLE REMOTE FILL PIPELINES AND SPILL-SAFE FILL BOX.
4. INSTALL A NEW ATG (AUTOMATIC TANK GAUGING) SYSTEM TO THE 2 EXISTING TANKS.
5. REPLACE UNDERGROUND VENTS AND STEEL VENT STACKS WITH NEW NON-CORRODIBLE VENT PIPELINES AND STEEL VENT STACKS.
6. REPLACE UNDERGROUND STEEL PUMP SUCTION PIPELINES WITH NEW NON-CORRODIBLE, DOUBLE-CONTAINED SUCTION PIPELINES. CONNECT TO EXISTING PUMP FITTINGS IN PUMP PIT.
7. INSTALL A NEW STORMWATER ISOLATION PIT WITH AUTOMATED ACTUATED VALVE FOR SPILL CONTAINMENT OF TANKER DISCHARGE AREA. INSTALL A NEW DRAINAGE LINE TO CONNECT ISOLATION PIT INTO ON-SITE DRAINAGE SYSTEM.
8. NEW CONCRETE PAVEMENT TO TANKER DISCHARGE AREA PROFILED TO FALL TO THE ISOLATION PIT.

AREA 2- SCOPE OF WORKS

ON SHORE PIPEWORK

1. REPLACE UNDERGROUND STEEL DIESEL PIPELINES FROM EXISTING PUMP PIT TO WHARF WITH NON-CORRODIBLE, DOUBLE-CONTAINED PIPELINES.
2. INSTALL NEW CONDUITS POWER AND DATA SERVICES FOR THE NEW REFUELLING HOSE CABINET ON WHARF.
3. INSTALL A NEW FUEL ISOLATING VALVE PIT AT THE SHORELINE.

AREA 3- SCOPE OF WORKS

UNDER-WHARF PIPEWORK

1. REPLACE UNDER-WHARF STEEL DIESEL PIPELINES WITH NON-CORRODIBLE, DOUBLE-CONTAINED PIPELINES.
2. INSTALL NEW CONDUITS POWER AND DATA SERVICES FOR THE NEW REFUELLING HOSE CABINET ON WHARF.
3. INSTALL A NEW LADDER RACK STYLE CABLE TRAY TO SUPPORT NEW PIPELINES AND CONDUITS,
4. REUSE EXISTING UNDER-WHARF PIPE SUPPORTS.
5. EXTEND CABLE TRAY, PIPELINE AND CONDUITS TO THE LOCATION OF THE NEW REFUELLING HOSE CABINET.

AREA 4 - SCOPE OF WORKS

REFUELLING CABINET

1. INSTALL THE CLIENT-SUPPLIED, PRE-FABRICATED REFUELLING HOSE CABINET COMPLETE WITH METER AND CARD READER.
2. INSTALL PROTECTIVE BOLLARDS.
3. INSTALL ELECTRICAL AND DATA SERVICES TO REFUELLING HOSE CABINET.

CIVIL & STEELWORK NOTES:

1. UNDERGROUND PIPES AND CABLES WITHIN THE VICINITY OF PROPOSED EXCAVATIONS ARE TO BE DAY LIGHTED AND HAVE THEIR LOCATION CONFIRMED PRIOR TO THE COMMENCEMENT OF WORK.
2. IN THE COURSE OF EXCAVATION IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF ALL EXISTING STRUCTURES AND EQUIPMENT. ANY DAMAGE IS TO BE MADE GOOD BY THE CONTRACTOR.
3. EXCAVATIONS ARE TO BE CARRIED OUT WITH HAND TOOLS UNLESS NOTED OTHERWISE.
4. ALL TRENCHING IS TO BE CARRIED OUT AS SPECIFIED ON THESE DRAWINGS
5. ALL EXCAVATED MATERIAL NOT REUSED IS TO BE STORED & DISPOSED OF AS INSTRUCTED BY BAILEYS MARINE FUELS & IN ACCORDANCE WITH APPLICABLE REGULATORY REQUIREMENTS.
6. THE CONTRACTOR IS TO SUPPLY ALL MATERIALS UNLESS NOTED OTHERWISE.
7. REINFORCING MATERIAL SHALL ALL CONFORM TO AS 4671 TO THE FOLLOWING GRADES: HOT ROLLED DEFORMED BARS - D500N PLAIN ROUND BARS - STRUCTURAL GRADE - R250N HARD DRAWN WIRE FABRIC - D500L
8. FORM WORK SHALL BE ERECTED IN ACCORDANCE WITH AS 3610 WITH FORMED SURFACES FINISHED TO CLASS 3 FOR EXPOSED SURFACES, AND CLASS 5 FOR PERMANENTLY CONCEALED SURFACES. EXPOSED EDGES ARE TO BE CHAMFERED 25mm x 45°.
9. REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH AS 3600 TABLE 4.10.3.2 EXPOSURE CLASSIFICATION B2.
10. CONCRETE IS TO BE PORTLAND CEMENT TYPE 'A' AND IS TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 32mPa AT 28 DAYS. CONCRETE IS TO BE PLACED IN ACCORDANCE WITH AS-3600.
11. CONCRETE SHALL BE COMPACTED WITH HIGH FREQUENCY VIBRATORS.
12. CONCRETE PAVING IS TO BE WOOD FLOAT FINISHED.
13. GROUTING SHALL BE 'FOSROC CONBEXTRA HF' UNLESS NOTED OTHERWISE & SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATION.
14. WELDING OF STAINLESS STEEL SHALL BE IN ACCORDANCE WITH AS 1554.6

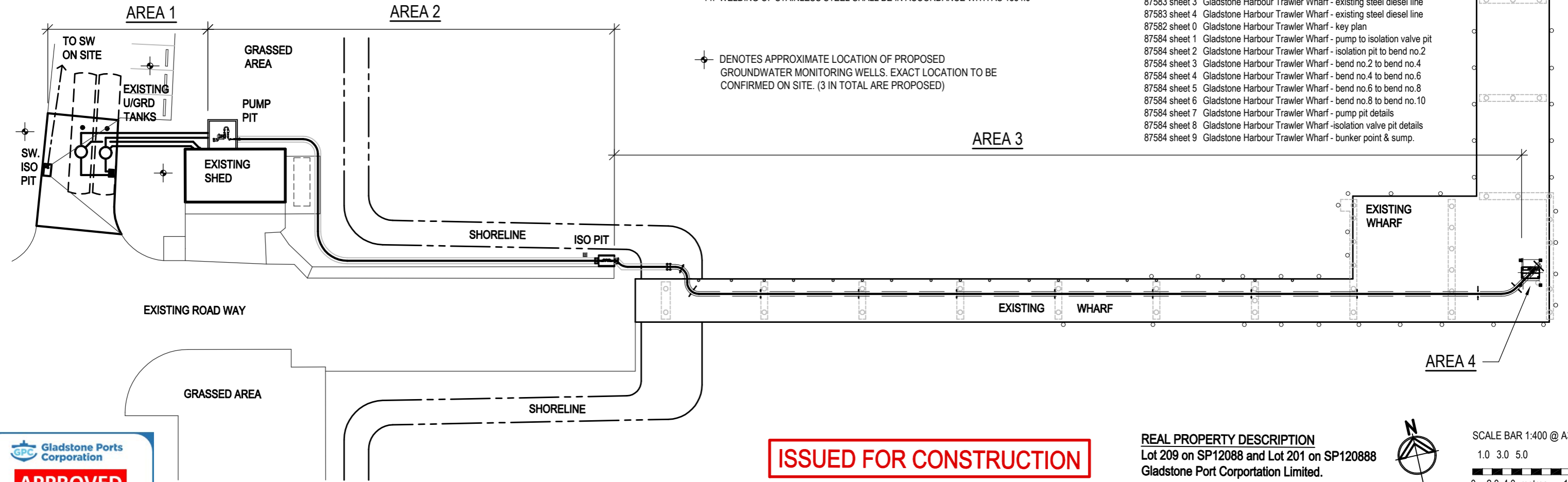
PIPING NOTES:

1. U.P.P. PIPING MATERIALS & INSTALLATION SHALL BE IN ACCORDANCE WITH STANDARD 'EN14125' & REFERENCE TO FRANKLIN FUELING SYSTEMS 'UPP PIPING - INSTALLATION GUIDE OVERVIEW'
2. ALL U.P.P. PIPE & FITTINGS SHALL BE 'FRANKLIN FUELING SYSTEMS' PRODUCTS.
3. THE CONTRACTOR IS TO SUPPLY ALL MATERIALS UNLESS NOTED OTHERWISE.
4. WELDING, ERECTION & TESTING OF METALLIC PIPING SHALL BE IN ACCORDANCE WITH AMPOL DRG. B1-18260 AND AMPOL-PIPING DESIGN & MATERIALS STANDARD 'SD207560'
5. STAINLESS STEEL PIPE SPOOLS DETAIL No. '1, 2 & 3' ARE TO BE HYDROTESTED TO 2900 kPa.
6. STAINLESS STEEL PIPE SPOOL DETAIL No. '1' IS TO HAVE ONE BUTTWELD RADIOGRAPH TESTED.
7. LINES THAT ARE CUT & CAPPED AND ARE TO REMAINED BURIED UNDERGROUND SHALL BE 'DENSO' WRAPPED AS PER DETAIL.
- 8 ON AMPOL STD. DRG. A3-18279. WRAPPING IS TO EXTEND A MINIMUM 100mm BEYOND BARE METAL.

REFERENCE DRAWINGS

THE FOLLOWING AMPOL DRAWINGS SHALL BE REFERRED TO FOR GUIDANCE IN RELATION TO CONSTRUCTION DETAILING AND INTENT. THE SCOPE AND EXTENT OF THE PROPOSED WORKS IS DEFINED ON THIS DRAWING AND NOT AS PER THE AMPOL DRAWINGS LISTED BELOW.

- 88529 sheet 0 Gladstone Harbour Trawler Wharf - Site Plan
- 87583 sheet 1 Gladstone Harbour Trawler Wharf - existing steel diesel line
- 87583 sheet 2 Gladstone Harbour Trawler Wharf - existing steel diesel line
- 87583 sheet 3 Gladstone Harbour Trawler Wharf - existing steel diesel line
- 87583 sheet 4 Gladstone Harbour Trawler Wharf - existing steel diesel line
- 87582 sheet 0 Gladstone Harbour Trawler Wharf - key plan
- 87584 sheet 1 Gladstone Harbour Trawler Wharf - pump to isolation valve pit
- 87584 sheet 2 Gladstone Harbour Trawler Wharf - isolation pit to bend no.2
- 87584 sheet 3 Gladstone Harbour Trawler Wharf - bend no.2 to bend no.4
- 87584 sheet 4 Gladstone Harbour Trawler Wharf - bend no.4 to bend no.6
- 87584 sheet 5 Gladstone Harbour Trawler Wharf - bend no.6 to bend no.8
- 87584 sheet 6 Gladstone Harbour Trawler Wharf - bend no.8 to bend no.10
- 87584 sheet 7 Gladstone Harbour Trawler Wharf - pump pit details
- 87584 sheet 8 Gladstone Harbour Trawler Wharf - isolation valve pit details
- 87584 sheet 9 Gladstone Harbour Trawler Wharf - bunker point & sump.



✦ DENOTES APPROXIMATE LOCATION OF PROPOSED GROUNDWATER MONITORING WELLS. EXACT LOCATION TO BE CONFIRMED ON SITE. (3 IN TOTAL ARE PROPOSED)

ISSUED FOR CONSTRUCTION

REAL PROPERTY DESCRIPTION
 Lot 209 on SP12088 and Lot 201 on SP120888
 Gladstone Port Corporation Limited.



SCALE BAR 1:400 @ A3
 1.0 3.0 5.0
 0 2.0 4.0 metres 10.0

Gladstone Ports Corporation
APPROVED
 Name: Trudi Smith
 Date: 10:10am 11/08/2023

issue	date	description	by
C	05.07.2023	proposed monitoring well locations added	WaL
B	19.04.2023	scope info updated. Issued for construction	WaL
A	06.02.2023	preliminary issue for co-ordination and client approval	WaL

wcte
 FUEL INDUSTRY CONSULTING
 Wayne Lamb
 Btech (Civ Eng)
 client
 Baileys Marine

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 DO NOT SCALE
A3
 Wayne Lamb
 Btech (Civ Eng)
 t. +61 408 872 316
 e. WLAMB.WDE@GMAIL.COM

project
Trawler Wharf Refuelling Facilities Upgrade
Marine Services Precinct, Gladstone Port, Qld
 client
Baileys Marine

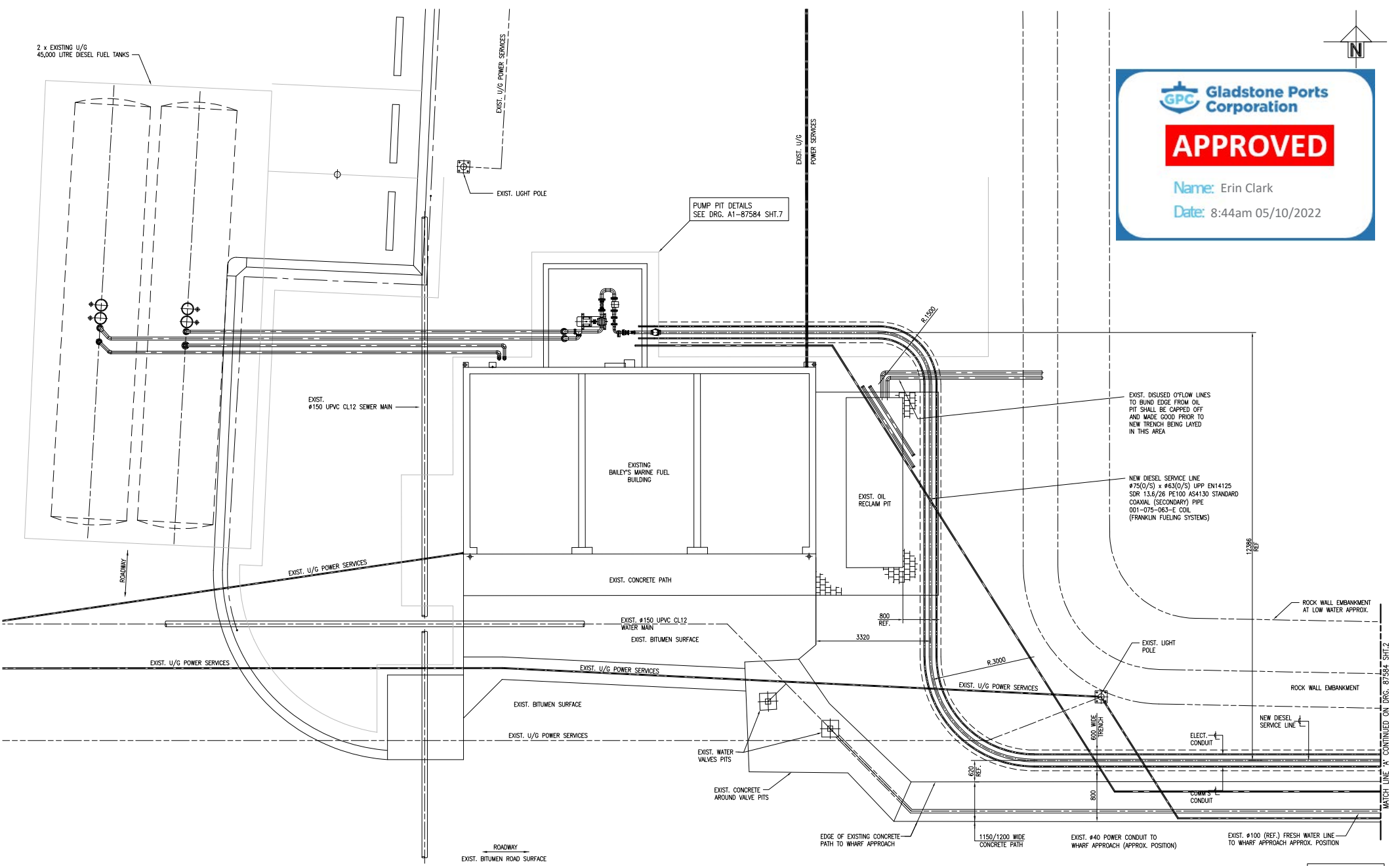
title
General Arrangement and Project Scope
 date Feb 2023 scale 1:400 dwg no. 1779 - F00
 drawn WaL job no. 1779 issue



Gladstone Ports Corporation

APPROVED

Name: Erin Clark
Date: 8:44am 05/10/2022



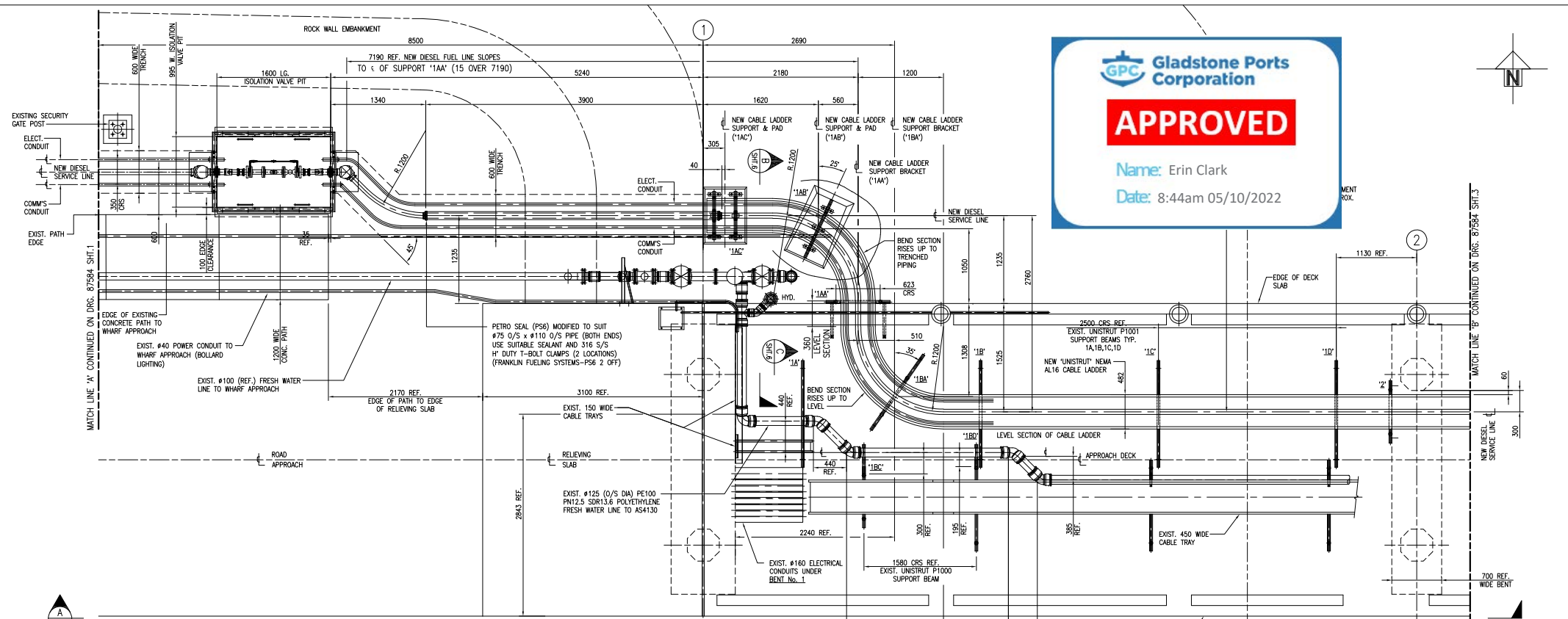
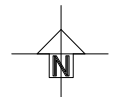
SCALE 1:50

PRELIMINARY ISSUE

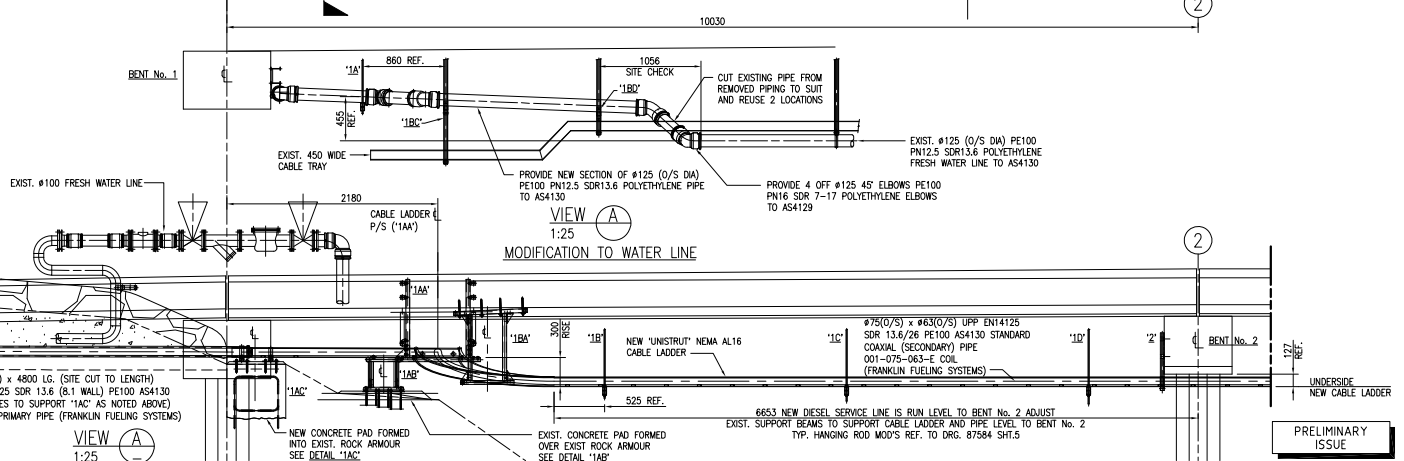
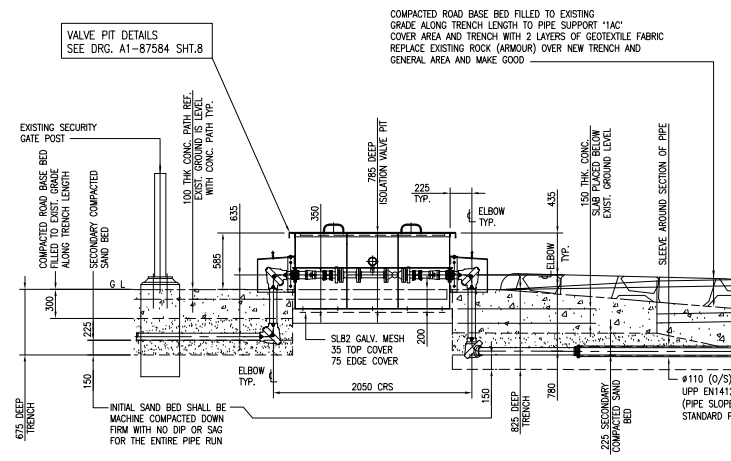
A1-87582		GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN REFERENCE DRAWINGS		SPECIFICATIONS		A		ISSUED FOR REVIEW		25-3-22		GLY		MOG. No.		PROJECT No.		EQUIPMENT No.		INDEX SIZE		SITE SAP No.		DRAWING No.		SHEET. REV.	
						No.		REVISION DESCRIPTION		DATE		DRN		CHK		M21008				L		A1 11850		87584		1 A	



OLD GLADSTONE MARINE REFUELLING FACILITY
GLADSTONE HARBOUR TRAWLER WHARF
DIESEL LINE UPGRADE TO U.P.P.
PUMP TO ISOLATION VALVE PIT



PLAN - MATCH LINE 'A' TO BENT No.2
SCALE 1:25

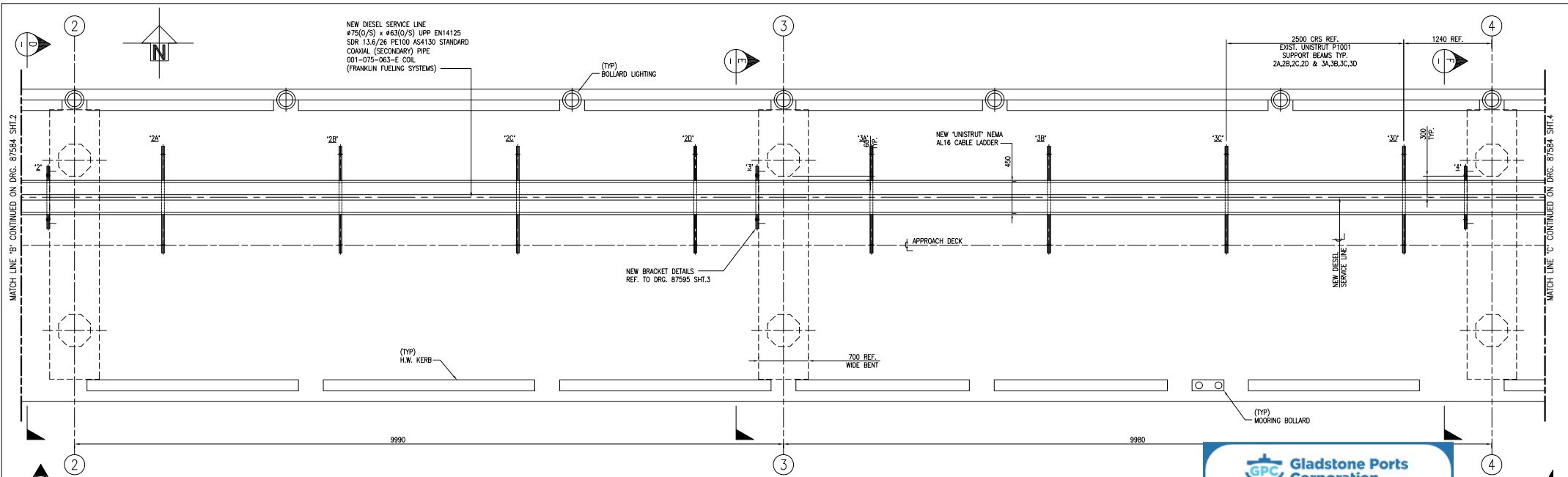


A1-87582		GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN REFERENCE DRAWINGS		SPECIFICATIONS		A		ISSUED FOR REVIEW		25-3-22		GLY		MOC. No.		PROJECT No.		EQUIPMENT No.		INDEX SIZE		SITE SAP No.		DRAWING No.		SHEET. REV.	
						No.		REVISION DESCRIPTION		DATE		DRN		CHK		M21008				L		A1 11850		87584		2 A	



OLD GLADSTONE MARINE REFUELLING FACILITY
GLADSTONE HARBOUR TRAWLER WHARF
DIESEL LINE UPGRADE TO U.P.P.
ISOLATION VALVE PIT TO BENT No.2

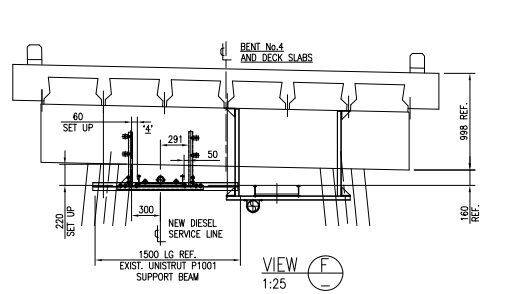
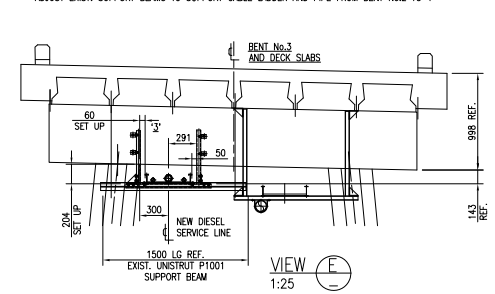
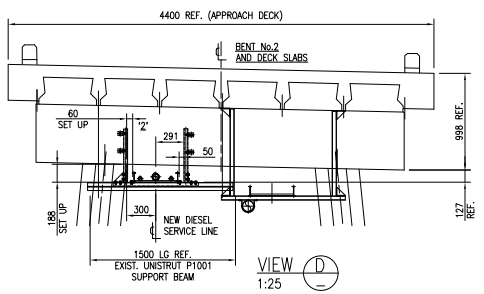
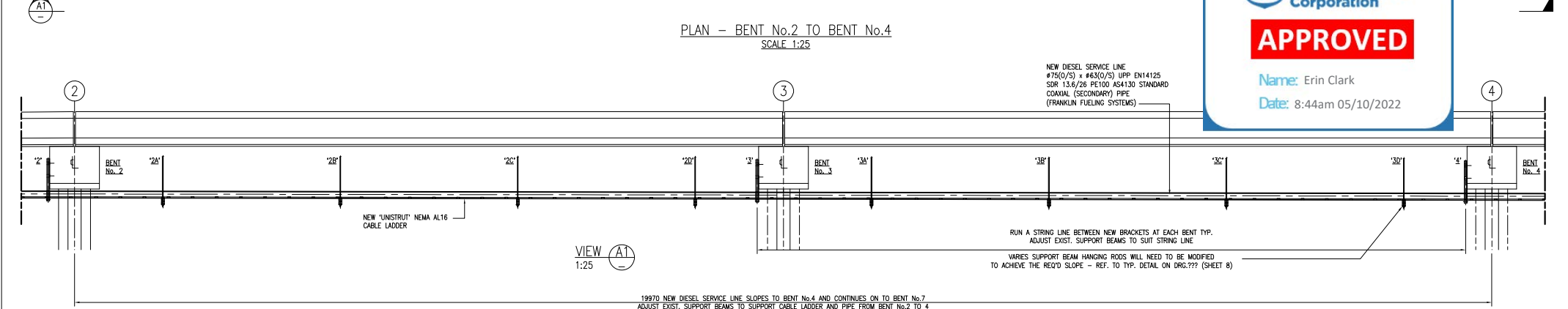
PRELIMINARY
ISSUE



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Gladstone Ports
Corporation

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Name: Erin Clark
Date: 8:44am 05/10/2022



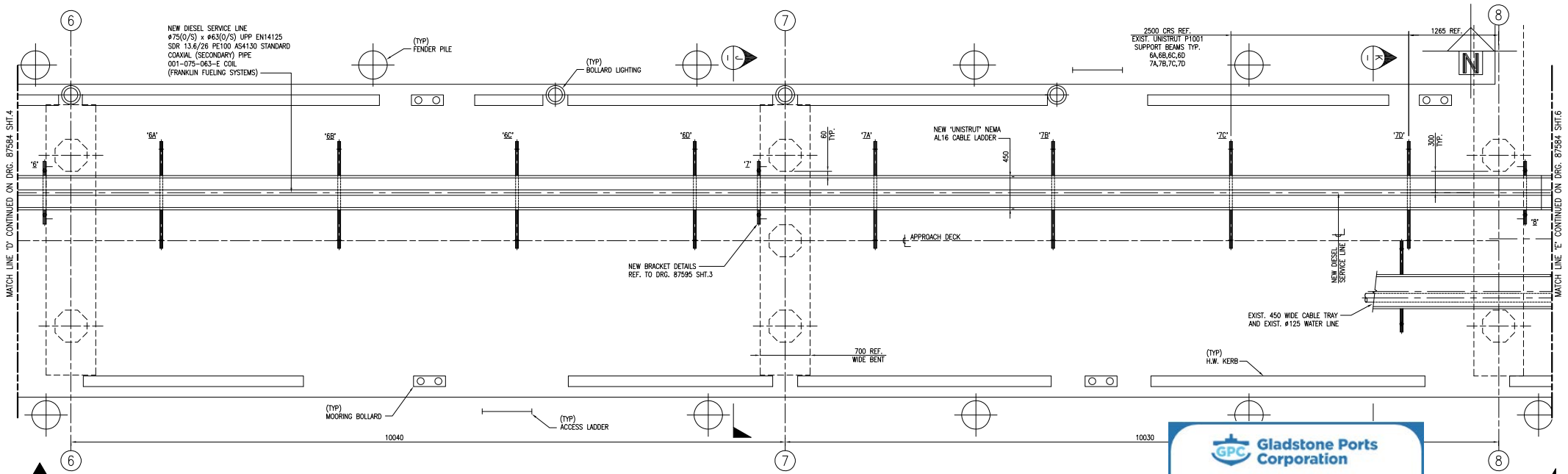
PRELIMINARY
ISSUE

A1-87582	GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN REFERENCE DRAWINGS	SPECIFICATIONS	A	ISSUED FOR REVIEW	25-3-22	GLY	0	0	0	0	0	0	0	0	0	MOC. No.	PROJECT No.	EQUIPMENT No.	INDEX: SIZE:	SITE SAP No.:	DRAWING No.:	SHEET. REV.:	
			No.	REVISION DESCRIPTION	DATE	DRN	CHK	0	0	0	0	0	0	0	0		M21008		L	A1	11850	87584	3 A

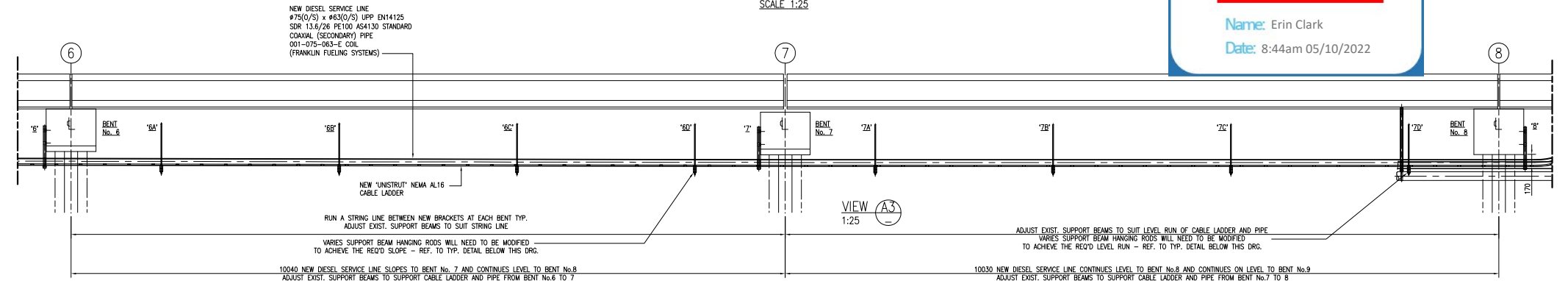


OLD GLADSTONE MARINE REFUELLING FACILITY

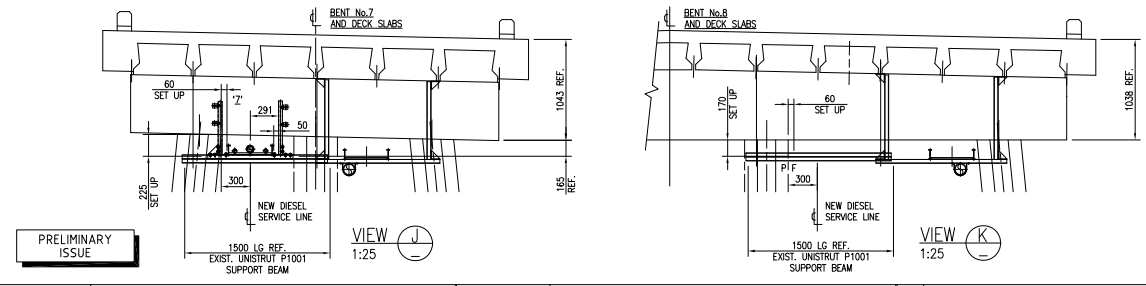
GLADSTONE HARBOUR TRAWLER WHARF
DIESEL LINE UPGRADE TO U.P.P.
BENT No.2 TO BENT No.4



PLAN - BENT No.6 TO BENT No.8
SCALE 1:25

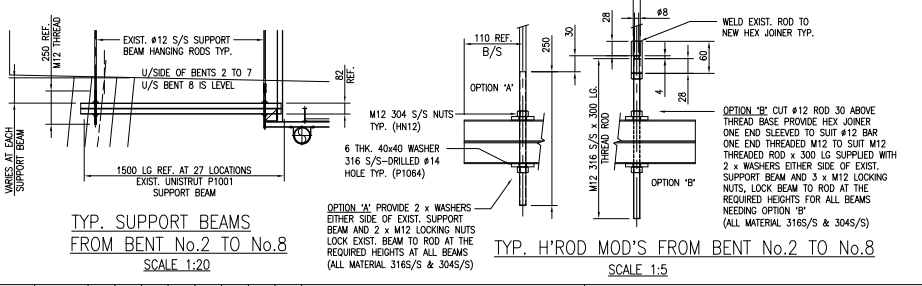


VIEW A3
SCALE 1:25



VIEW J
SCALE 1:25

VIEW K
SCALE 1:25



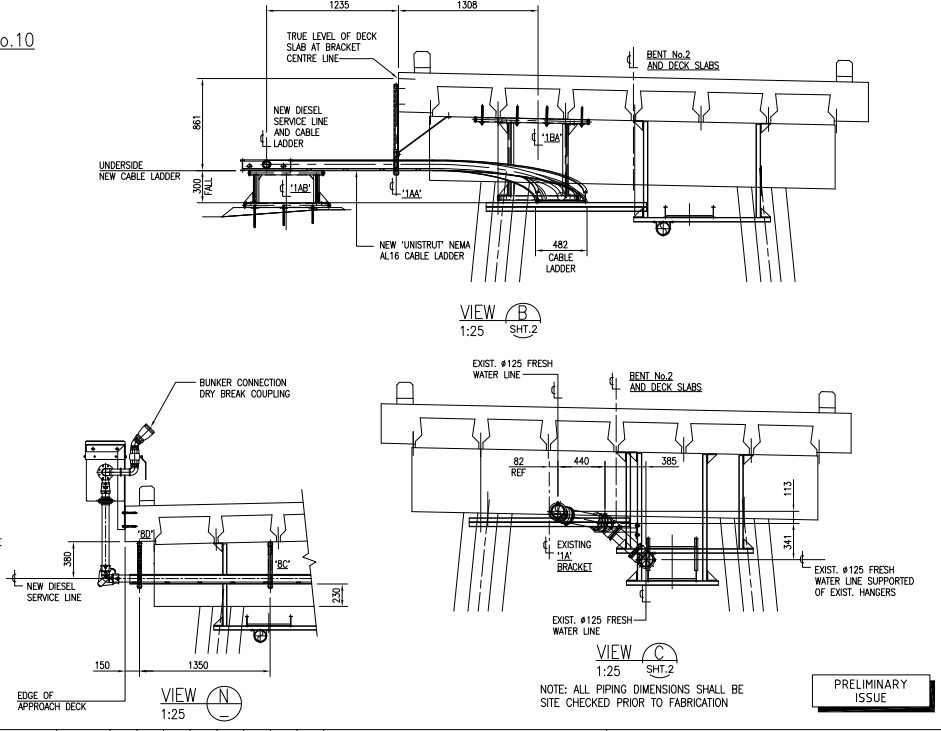
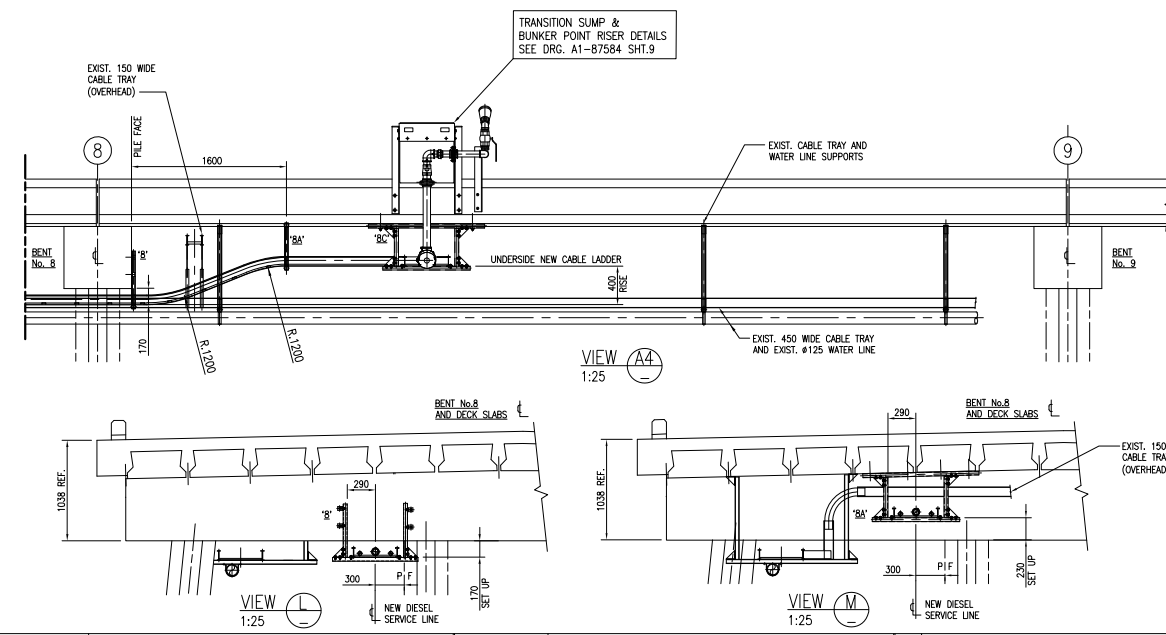
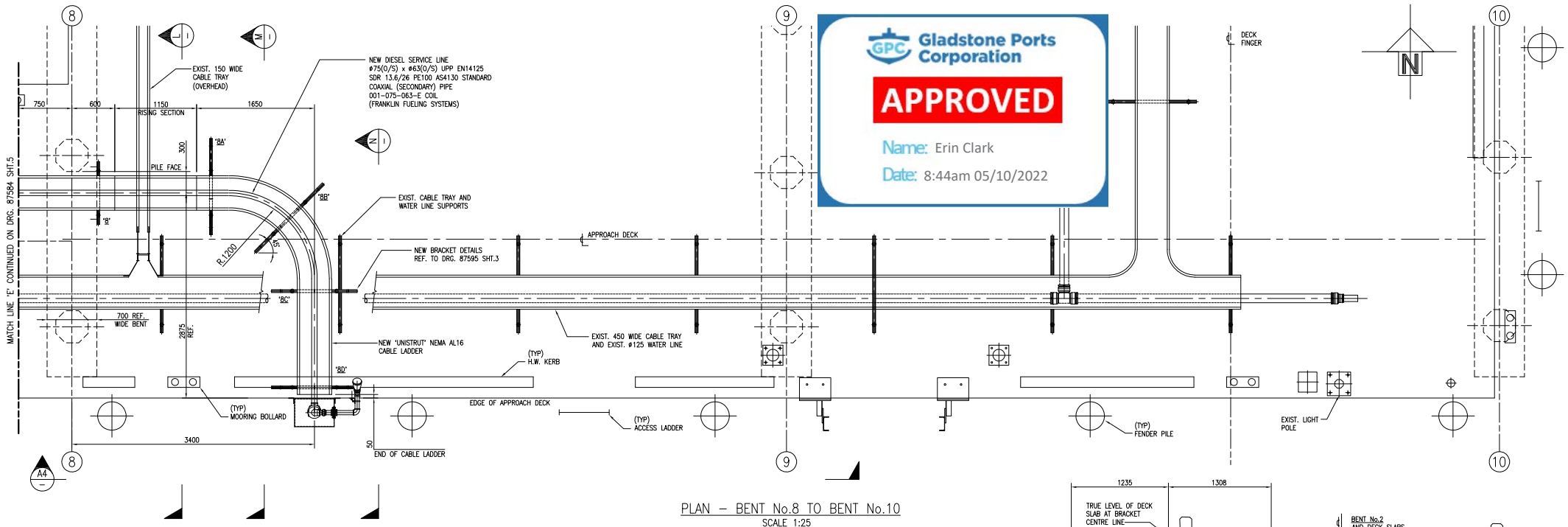
TYP. SUPPORT BEAMS
FROM BENT No.2 TO No.8
SCALE 1:20

TYP. H'ROD MOD'S FROM BENT No.2 TO No.8
SCALE 1:5

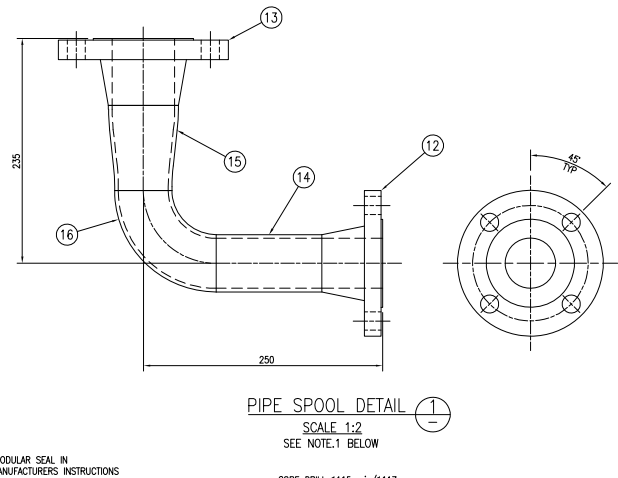
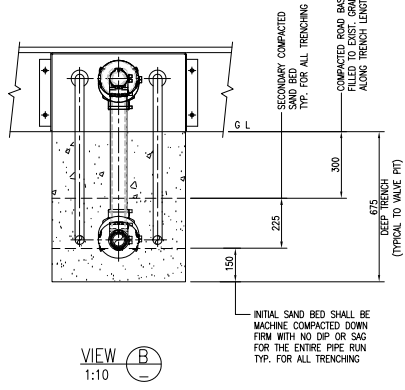
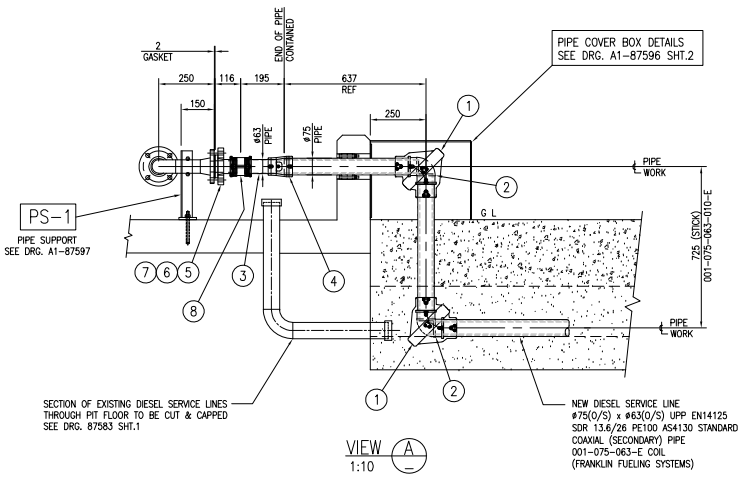
A1-87582		GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN REFERENCE DRAWINGS		SPECIFICATIONS		A No.		ISSUED FOR REVIEW REVISION DESCRIPTION		25-3-22 DATE		GLY DRN		PROJECT No. M21008		EQUIPMENT No.		INDEX: SIZE: L A1		SITE SAP No.: 11850		DRAWING No.: 87584		SHEET: REV. 5 A	
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GLD GLADSTONE MARINE REFUELLING FACILITY
GLADSTONE HARBOUR TRAWLER WHARF
DIESEL LINE UPGRADE TO U.P.P.
BENT No.6 TO BENT No.8



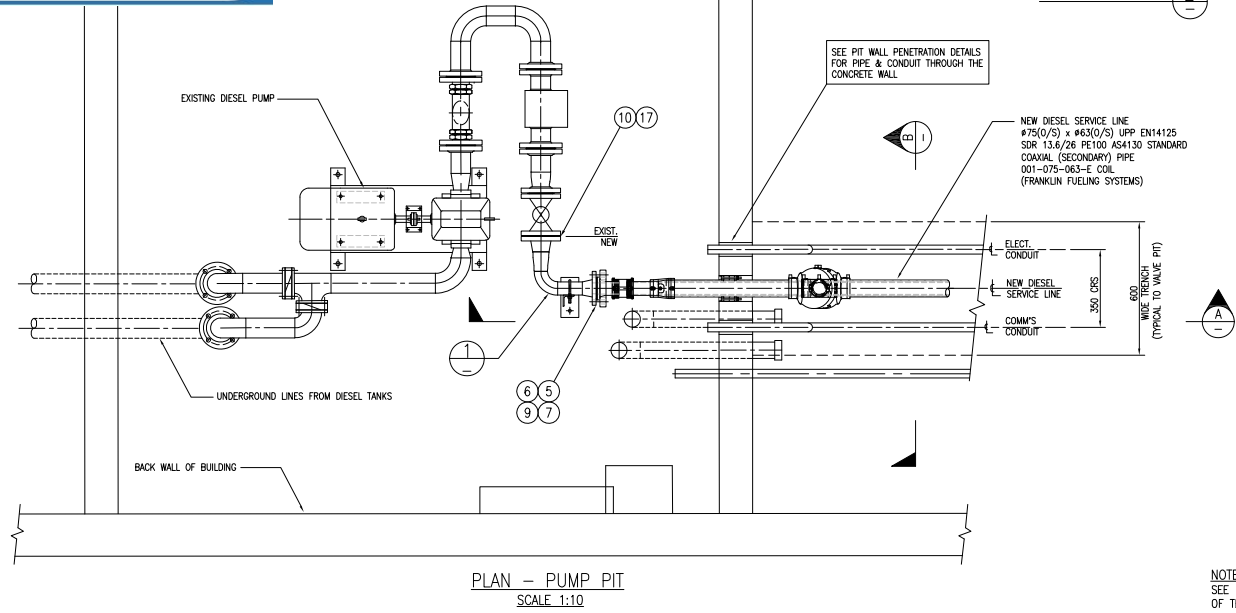
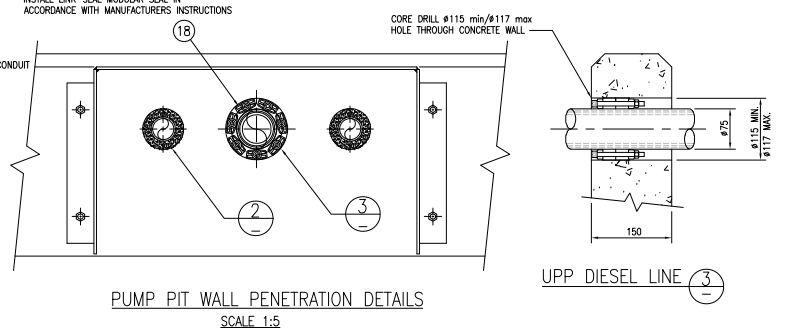
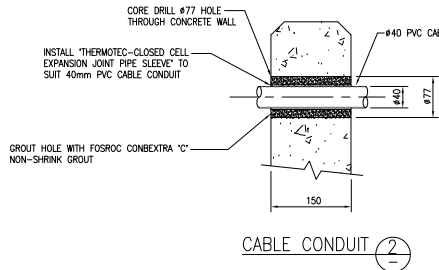
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		REFERENCE DRAWINGS				No.		REVISION DESCRIPTION		DATE		DRN		CHK		M21008				A1 11850 87584 6 A	
<p>BAILEY'S MARINE FUELS</p> <p>OLD GLADSTONE MARINE REFUELLING FACILITY</p> <p>GLADSTONE HARBOUR TRAWLER WHARF</p> <p>DIESEL LINE UPGRADE TO U.P.P.</p> <p>BUNKER POINT RISER - BENT No.8 TO BENT. No.10</p> <p>CONTRACTOR: THE DRAWING & DESIGN MUST NOT BE COPIED OR PART WITHOUT THE WRITTEN CONSENT OF GLADSTONE PORTS CORP.</p>																					



GPC Gladstone Ports Corporation

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Name: Erin Clark
Date: 8:44am 05/10/2022



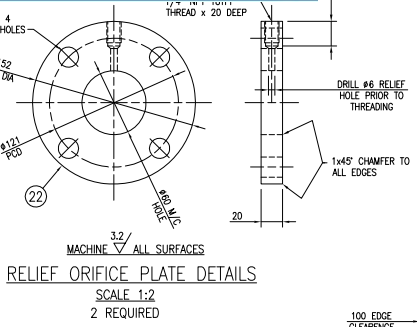
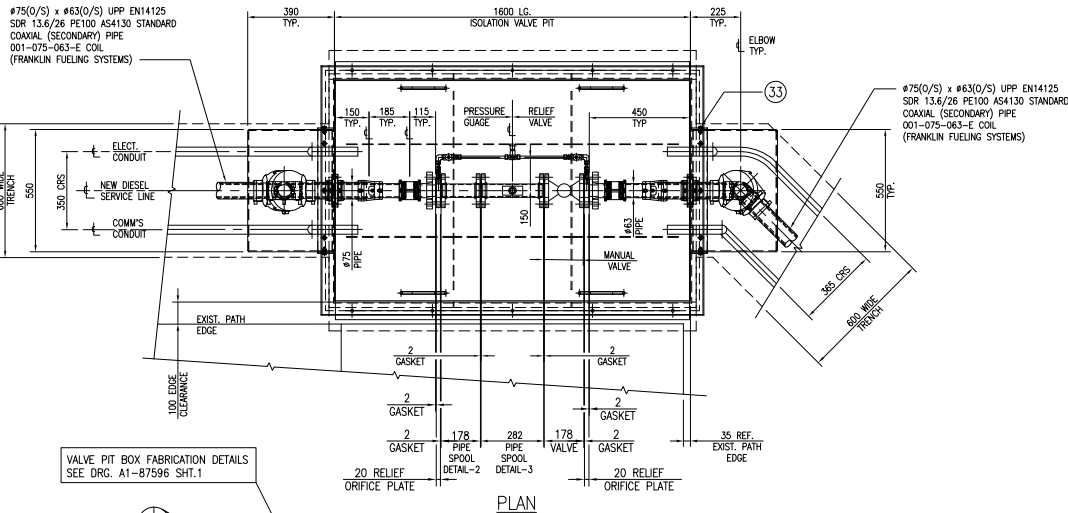
18	1	LINK-SEAL MODULAR SEAL		
17	1	GASKET DN65 CL150 R/F		3mm THK
16	1	ELBOW DN50 90° BUTTWELDED SCH.40S	316 S/S	
15	1	REDUCER CONC. DN65 x DN50	316 S/S	
14	1	PIPE DN50 SCH.40S	316 S/S	
13	1	FLANGE DN65 CL150 R/F	316 S/S	
12	1	FLANGE DN50 CL150 R/F	316 S/S	
11	8	HEX NUT M16 GRADE 8.8 A4-70	316 S/S	
10	4	BOLT M16 HEX HEAD x 75 LG GRADE 8.8 A4-70	316 S/S	
9	4	BOLT M16 HEX HEAD x 90 LG GRADE 8.8 A4-70	316 S/S	
8	1	UPP FUSION LONG COUPLER 63mm 95mm LG. 02-063-L	FRANKLIN	
7	1	GASKET UPP 63mm FOR STUB 07.63	FRANKLIN	2mm THK.
6	1	BACKING FLANGE DN50 UPP 63mm ANSI 06-063-A	FRANKLIN	
5	1	STUB FLANGE UPP STUB 63mm 05-063-L	FRANKLIN	
4	1	UPP FUSION REDUCER 75mmx63mm SECONDARY & TEST PORT 49-075-063-TP-1	FRANKLIN	
3	1	#63 UPP STANDARD PRIMARY PIPE EN14125 SDR 13.6 PE100 AS4130 001-063-006-E	FRANKLIN	
2	2	UPP ELECTROFUSION ELBOW 90° 63mm 03-063-EIF	FRANKLIN	
1	2	SC 75mm x 63mm UPP GEMINI 90° ELBOW G3-075-063	FRANKLIN	

NOTE.1
SEE DRG. 87582 PIPING NOTES 5 & 6 FOR DETAILS OF TESTING REQUIREMENTS FOR PIPE SPOOLS

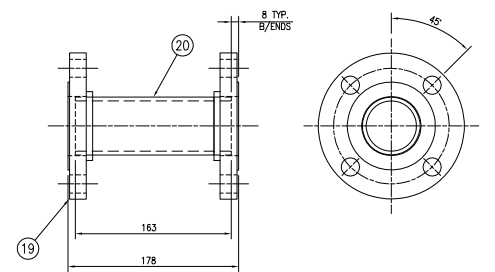
A1-87582	GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN REFERENCE DRAWINGS	SPECIFICATIONS	A	ISSUED FOR REVIEW	25-3-22	GLY	DRN	CHK																				
<p>BAILEY'S FUELS GLD GLADSTONE MARINE REFUELLING FACILITY GLADSTONE HARBOUR TRAWLER WHARF DIESEL LINE UPGRADE TO U.P.P. PUMP PIT DETAILS MOB. No. PROJECT No. EQUIPMENT No. INDEX. SIZE: SITE SAP No. DRAWING No. SHEET. REV. M21008 7 A</p>																												

APPROVED

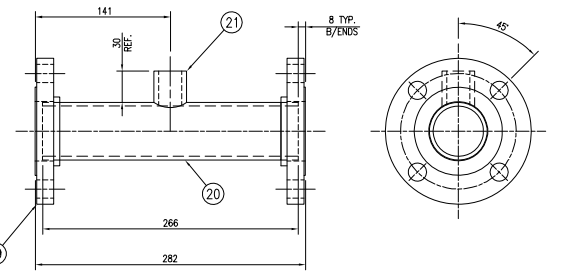
Name: Erin Clark
Date: 8:44am 05/10/2022



VALVE PIT BOX FABRICATION DETAILS
SEE DRG. A1-87596 SHT.1

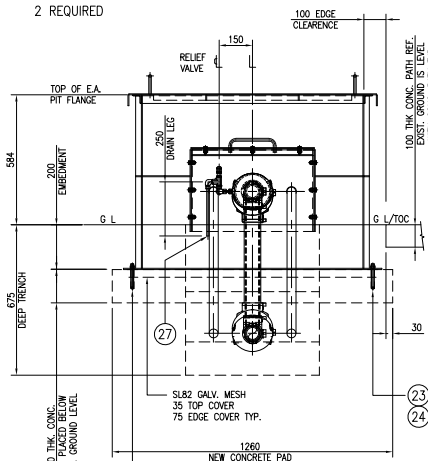


PIPE SPOOL DETAIL (2)
SCALE 1:2
SEE NOTE.1 BELOW

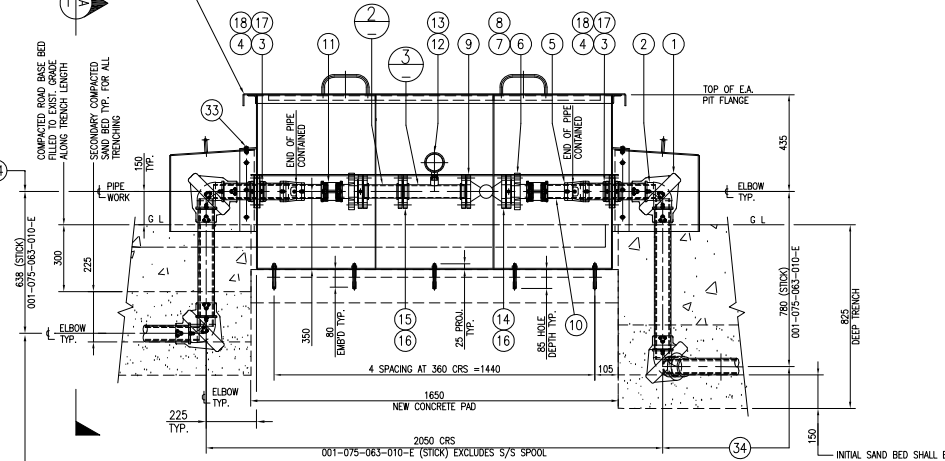


PIPE SPOOL DETAIL (3)
SCALE 1:2
SEE NOTE.1 BELOW

PRELIMINARY ISSUE



RELIEF VALVE & PIPE BYPASS DETAILS
SCALE 1:5



ISOLATION VALVE PIT DETAILS
SCALE 1:10

ITEM	NO	DESCRIPTION	REMARKS	ITEM	NO	DESCRIPTION	REMARKS
24	10	HEX NUT M12 GRADE 8.8 A2-70	304 S/S				
23	10	M12 x 105 LG THREADED ROD	316 S/S				
22	2	ROUND BAR Ø152.4 x 24 THK. MACHINE TO DIMENSIONS GIVEN	316 S/S				
21	1	SOCKET DN25 SCREWED 150LB BSP	316 S/S				
20	1	PIPE DN50 SCH.40S	316 S/S				
19	4	FLANGE DN50 CL150 SLIP-ON R/F	316 S/S				
18	8	HEX NUT M8 GRADE 8.8 A2-70	304 S/S				
17	8	BOLT M8 HEX HEAD x 45 LG GRADE 8.8 A4-70	316 S/S				
16	16	HEX NUT M16 GRADE 8.8 A2-70	304 S/S				
15	8	BOLT M16 HEX HEAD x 80 LG GRADE 8.8 A4-70	316 S/S				
14	8	BOLT M16 HEX HEAD x 120 LG GRADE 8.8 A4-70	316 S/S				
13	1	RED. HEX. BUSH DN25x10 BSP M/F	304 S/S				
12	1	PRESSURE GAUGE DIAL DIA. 100mm WKA MODEL 213.53 PSI/1500 KPA	316 S/S				
11	2	UPP FUSION LONG COUPLER 63mm 95mm LG. 02-063-L	FRANKLIN				

ITEM	NO	DESCRIPTION	REMARKS	ITEM	NO	DESCRIPTION	REMARKS
34	1	PIPE (STICK) 001-075-063-010-E	FRANKLIN 10m	10	1	Ø63 UPP STANDARD PRIMARY PIPE EN14125 SDR 13.6 PE100 AS4130 001-063-006-E	FRANKLIN
33	18	BOLT M10 HEX HEAD x 25 LG GRADE 8.8 A4-70	316 S/S	9	2	BALL VALVE DN50 CL150 RF FLANGED VELAN MODEL: F08-01413-SSE1	316 S/S
32	1	SWAGelok L-P VALVE RL3 M1/4" NPT x F1/4" NPT R'VALVE SS-RL3M4-F4	316 S/S	8	6	GASKET FUPP 63mm FOR STUB 07.63	FRANKLIN 2mm THK.
31	1	1/4" NPT x 3/8" TUBE -600-2-4	316 S/S	7	2	BACKING FLANGE DN50 UPP 63mm ANSI 06-063-A	FRANKLIN
30	1	TEE FEMALE BRANCH 1/4" NPT x 3/8" TUBE -600-3ITF	316 S/S	6	2	STUB FLANGE UPP STUB 63mm 05-063-L	FRANKLIN
29	2	TUBING 3/8"x.065" WALL x 1.2m LG CUT TUBING TO REQUIRED LENGTHS	316 S/S	5	2	UPP FUSION REDUCER 75mmx63mm SECONDARY & TEST PORT 49-075-063-TP-1	FRANKLIN
28	2	SWAGelok NEEDLE VALVE F&F 3/8" NPT SS-4GUF6 STRAIGHT PATTERN	316 S/S	4	4	'JBS' H'DUTY T-BOLT CLAMP FULL S/S BW/01291650	BL'KWOODS 430 S/S
27	2	MALE CONNECTOR SWAGelok 3/8" NPT x 3/8" TUBE -600-1-6	316 S/S	3	4	PETRO SEAL 50mmx75mm MODIFIED TO SUIT Ø75 O/S PIPE (PS3)	FRANKLIN
26	2	90° ELBOW SWAGelok 3/8" NPT x 3/8" TUBE -600-2-6	316 S/S	2	4	UPP ELECTROFUSION ELBOW 90° 63mm 03-063-EIF	FRANKLIN
25	2	MALE CONNECTOR SWAGelok 1/4" NPT x 3/8" TUBE -600-1-4	316 S/S	1	4	SC 75mm x 63mm UPP GEMINI 90° ELBOW G3-075-063	FRANKLIN

NOTE 1
SEE DRG. 87582 PIPING NOTE 5 FOR DETAILS OF TESTING REQUIREMENTS FOR PIPE SPOOLS

ALL ITEMS SOURCED FROM SWAGelok CATALOGUE

PROJECT INFORMATION		ISSUED FOR REVIEW		INDEX		PROJECT No.		EQUIPMENT No.		INDEX		SHEET			
A1-87582	GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN REFERENCE DRAWINGS	No.	REVISION DESCRIPTION	DATE	DRN	CHK	INDEX	PROJECT No.	EQUIPMENT No.	INDEX	SIZE	SITE SAP No.	DRAWING No.	SHEET	REV.
				25-3-22	GLY			M21008		L	A1	11850	87584	8	A

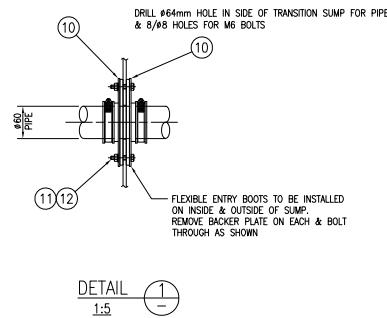
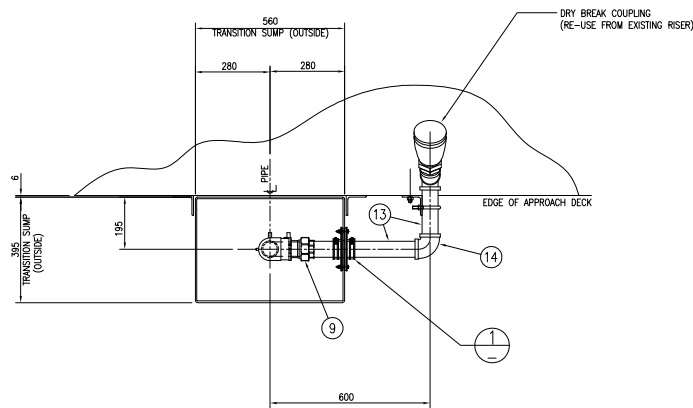
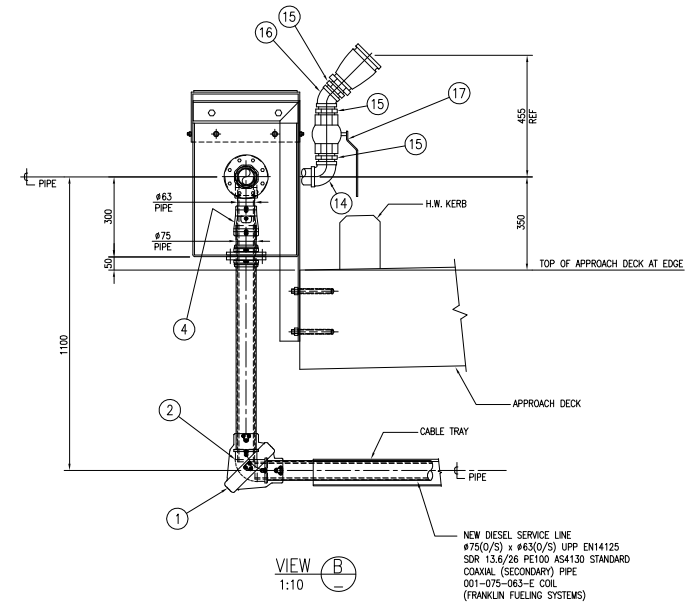
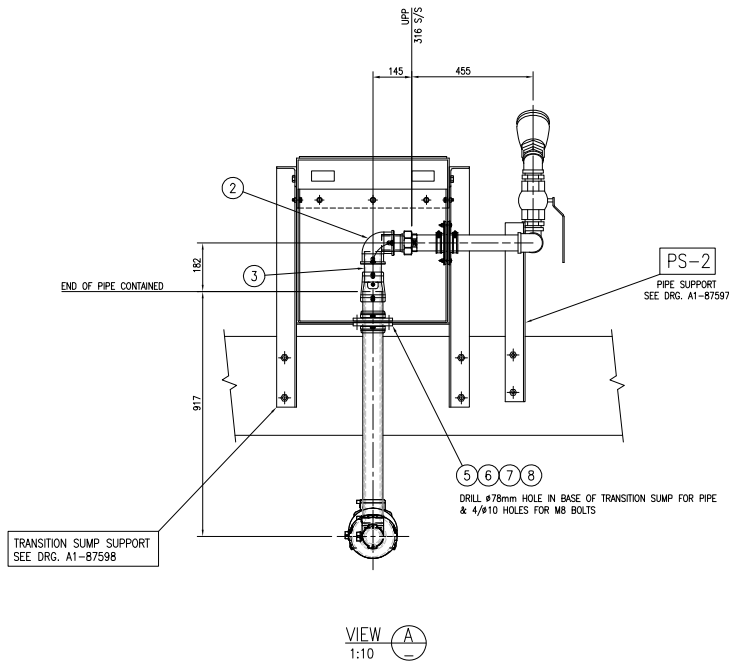


GLD GLADSTONE MARINE REFUELLING FACILITY
GLADSTONE HARBOUR TRAWLER WHARF
DIESEL LINE UPGRADE TO U.P.P.
ISOLATION VALVE PIT DETAILS

APPROVED

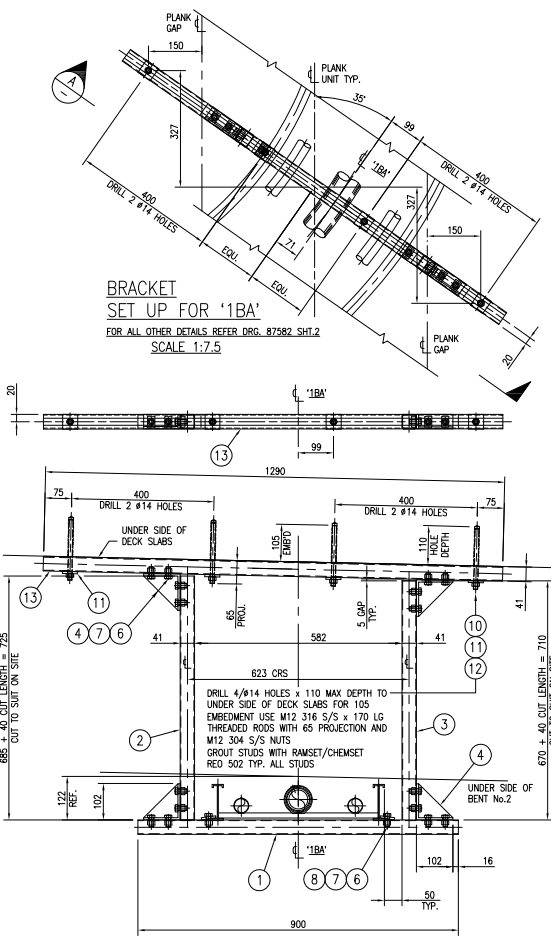
Name: Erin Clark

Date: 8:44am 05/10/2022



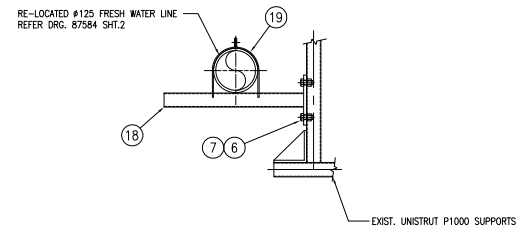
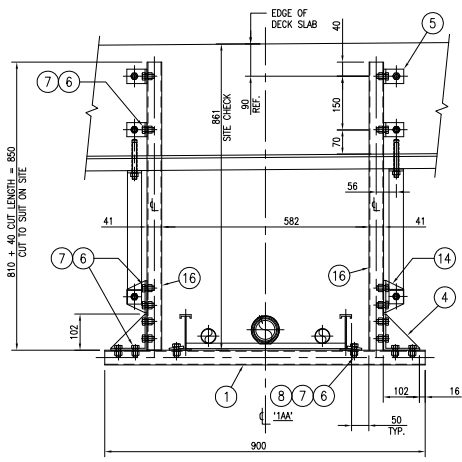
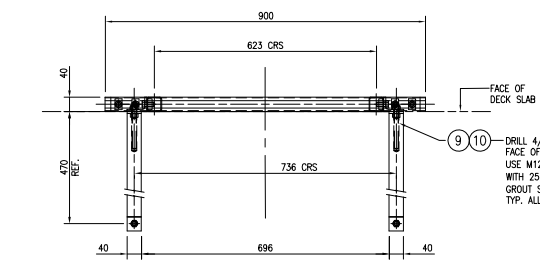
ITEM	NO	DESCRIPTION	REMARKS	DRG NUMBER
17	1	BALL VALVE DN50 THREADED BSPT	316 S/S	
		VELAN MODEL: EE-1000		
16	1	ELBOW 45° 150# THREADED BSPT	316 S/S	
15	3	HEX. NIPPLE 150# THREADED BSPT	316 S/S	
14	2	ELBOW 90° 150# THREADED BSPT	316 S/S	
13	1	PIPE DN50 SCH.80S	316 S/S	
12	8	HEX NUT M8 GRADE 8.8 A2-70	316 S/S	
11	8	BOLT M6 HEX HEAD x 40 LG	316 S/S	
10	2	APT FLEXIBLE ENTRY BOOT Ø61mm	FRANKLIN	
		FEB-175-SC		
9	1	UPP UNION TERM 63mm x 2" BSPT	FRANKLIN	
		92-063 UF BSPT FEMALE		
8	4	HEX NUT M8 GRADE 8.8 A2-70	316 S/S	
7	4	BOLT M8 HEX HEAD x 45 LG	316 S/S	
6	2	'JBS' H'DUTY T-BOLT CLAMP	BL'KWOODS	
		FULL S/S BW/01291650	430 S/S	
5	2	PETRO SEAL 50mmx75mm MODIFIED	FRANKLIN	
		TO SUIT Ø75 O/S PIPE (PS3)		
		05-063-L		
4	1	UPP FUSION REDUCER 75mmx63mm	FRANKLIN	
		SECONDARY & TEST PORT		
		49-075-063-TP-1		
3	1	Ø63 UPP STANDARD PRIMARY PIPE	FRANKLIN	
		EN14125 SDR 13.6 PE100 AS4130		
		001-063-006-E		
2	2	UPP ELECTROFUSION ELBOW 90°	FRANKLIN	
		63mm 03-063-EIF		
1	1	SC 75mm x 63mm UPP GEMINI 90°	FRANKLIN	
		ELBOW G3-075-063		

A1-87582		GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN REFERENCE DRAWINGS		SPECIFICATIONS		A		ISSUED FOR REVIEW		25-3-22		GLY		MOG. No.		PROJECT No.		EQUIPMENT No.		INDEX. No.		SITE SAP No.		DRAWING No.		SHEET. REV.	
No.	REVISION DESCRIPTION	DATE	DRN	CHK	○	○	○	○	○	○	○	○	○	○	M21008		L	A1	11850	87584	9	A					
<p style="text-align: center;">BAILEY'S MARINE FUELS</p> <p style="text-align: center;">GLD GLADSTONE MARINE REFUELLING FACILITY</p> <p style="text-align: center;">GLADSTONE HARBOUR TRAWLER WHARF DIESEL LINE UPGRADE TO U.P.P. BUNKER POINT RISER & TRANSITION SUMP</p> <p style="text-align: center;"><small>CONTRACTOR: THE DRAWING & DESIGN MUST NOT BE COPIED IN WHOLE OR PART WITHOUT THE WRITTEN CONSENT OF GLADSTONE PORTS CORPORATION.</small></p>																											



VIEW A
1:7.5

TYP. BRACKET DETAILS FOR '1BA'
SCALE 1:7.5
REFER DRAWING 87584 SHT.2



TYP. BRACKET DETAILS FOR '1BC' & '1BD'
SCALE 1:7.5

GPC Gladstone Ports Corporation

APPROVED

Name: Erin Clark
Date: 8:44am 05/10/2022

PRELIMINARY ISSUE

ITEM	NO	OFF	DESCRIPTION	REMARKS
19	2		UNISTRUT P2062 S/S PIPE CLAMP	316 S/S
18	2		UNISTRUT PCL300 BRACKET & BRACE	316 S/S
17	2		M12 x 105 LG THREADED ROD	316 S/S
16	2		UNISTRUT P1000-SS x 850 LG	316 S/S
15	2		BRACE MADE FROM 40x6 FLAT BAR AS INDICATED DRILLED ø14 HOLES	316 S/S
14	2		UNISTRUT P1357 90° ANGLE BRACKET	316 S/S
13	1		UNISTRUT P1000-SS x 1290 LG	316 S/S
12	4		M12 x 170 LG THREADED ROD	316 S/S
11	4		UNISTRUT P1064-SS WASHER	316 S/S
10	12		M12 HEX NUT	304 S/S
9	4		M12 x 130 LG THREADED ROD	316 S/S
8	4		UNISTRUT 16A LUG50SS WASHER	316 S/S
7	40		UNISTRUT P1013-SS STRUT NUT	316 S/S
6	40		UNISTRUT HHS1230 M12 BOLT	316 S/S
5	4		UNISTRUT P1068 90° ANGLE BRACKET	316 S/S
4	6		UNISTRUT P2484 90° BRACKET	316 S/S
3	1		UNISTRUT P1000-SS x 710 LG	316 S/S
2	1		UNISTRUT P1000-SS x 725 LG	316 S/S
1	2		UNISTRUT P1000-SS x 900 LG	316 S/S

A1-87582	GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN REFERENCE DRAWINGS	SPECIFICATIONS	A	ISSUED FOR REVIEW	25-3-22	GLY	DATE	DRN	CHK	○	○	○	○	○	○	○	○	○	○	○
No.	REVISION DESCRIPTION																			

BAILEY'S MARINE FUELS

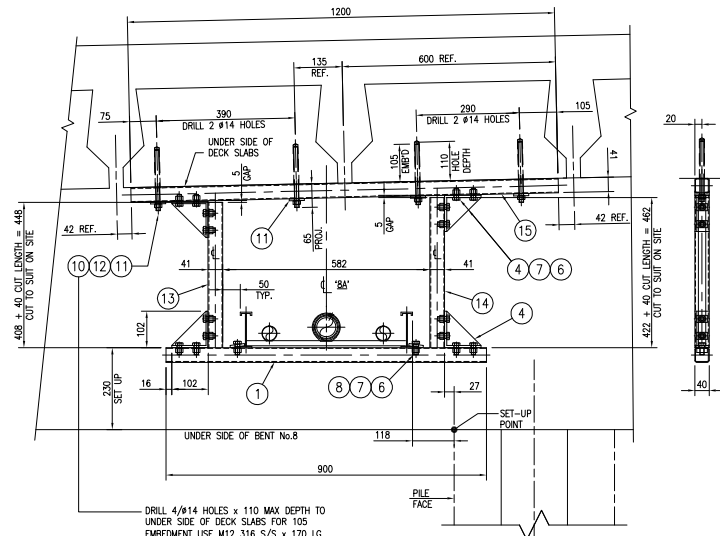
OLD GLADSTONE MARINE REFUELLING FACILITY

GLADSTONE HARBOUR TRAWLER WHARF DIESEL LINE UPGRADE TO U.P.P. UNISTRUT SUPPORT BRACKET DETAILS

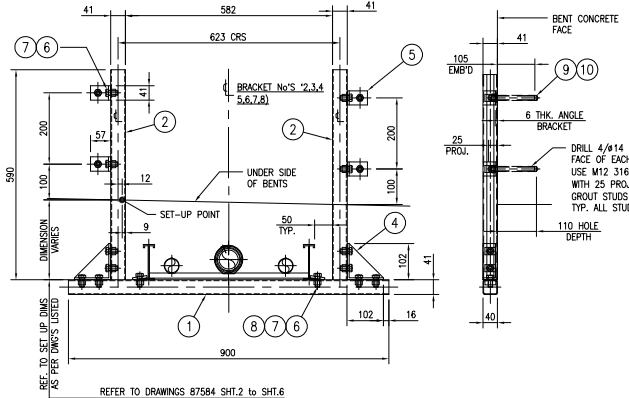
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M21008 M A1 11850 87595 1 A

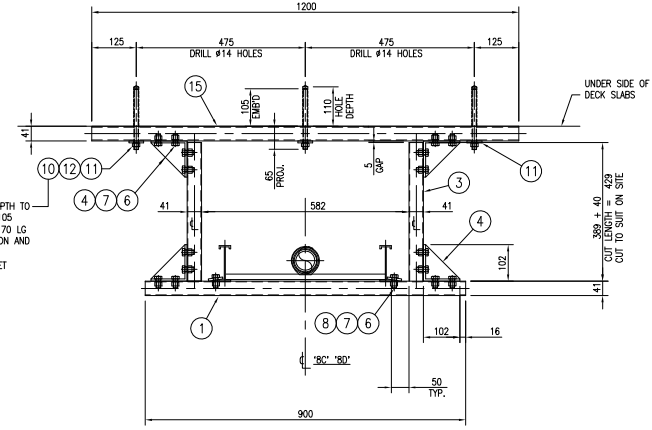
CONTRACTOR THE DRAWING & DESIGN MUST NOT BE COPIED IN WHOLE OR PART WITHOUT THE WRITTEN CONSENT OF GRANITE BUILT PTY LTD. U.A.N. 1300 8677 3116



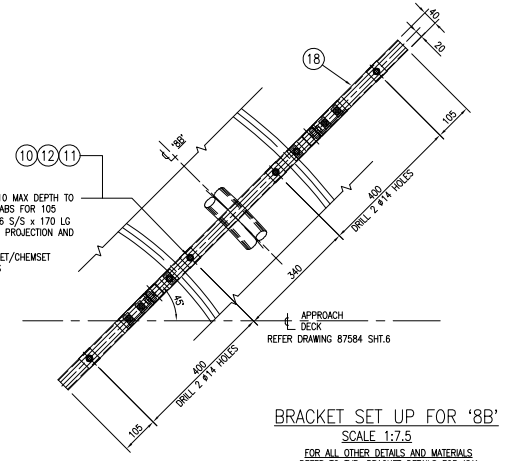
TYP. BRACKET DETAILS FOR '8A'
SCALE 1:7.5
REFER DRAWING 87584 SHT.6



TYP. BRACKET DETAILS AT BENT No'S 2,3,4,5,6,7,8
SCALE 1:7.5



TYP. BRACKET DETAILS FOR '8C' & '8D'
SCALE 1:7.5
REFER DRAWING 87584 SHT.6



BRACKET SET UP FOR '8B'
SCALE 1:7.5
FOR ALL OTHER DETAILS AND MATERIALS REFER TO TYP. BRACKET DETAILS FOR '8A'

ITEM	NO	OFF	DESCRIPTION	REMARKS
20	5		UNISTRUT P1000-SS x 462 LG	316 S/S
19	5		UNISTRUT P1000-SS x 448 LG	316 S/S
18	10		UNISTRUT P1000-SS x 1350 LG	316 S/S
17	5		UNISTRUT P1000-SS x 862 LG	316 S/S
16	5		UNISTRUT P1000-SS x 848 LG	316 S/S
15	3		UNISTRUT P1000-SS x 1200 LG	316 S/S
14	1		UNISTRUT P1000-SS x 462 LG	316 S/S
13	1		UNISTRUT P1000-SS x 448 LG	316 S/S
12	44		M12 x 170 LG THREADED ROD	316 S/S
11	44		UNISTRUT P1064-SS WASHER	316 S/S
10	68		M12 HEX NUT	304 S/S
9	24		M12 x 130 LG THREADED ROD	316 S/S
8	34		UNISTRUT 16A LUG50SS WASHER	316 S/S
7	236		UNISTRUT P1013-SS STRUT NUT	316 S/S
6	236		UNISTRUT HHS1230 M12 BOLT	316 S/S
5	24		UNISTRUT P1068 90° ANGLE BRACKET	316 S/S
4	56		UNISTRUT P2484 90° BRACKET	316 S/S
3	4		UNISTRUT P1000-SS x 429 LG	316 S/S
2	7		UNISTRUT P1000-SS x 590 LG	316 S/S
1	17		UNISTRUT P1000-SS x 900 LG	316 S/S

Gladstone Ports Corporation

APPROVED

Name: Erin Clark
Date: 8:44am 05/10/2022

PRELIMINARY ISSUE

A1-87582		GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN REFERENCE DRAWINGS		SPECIFICATIONS		A		ISSUED FOR REVIEW		25-3-22		GLY		MOC. No.		PROJECT No.		EQUIPMENT No.		INDEX: SIZE: M A1 11850		DRAWING No. 87595		SHEET. REV. 3 A	
No.																									

BAILEY'S MARINE FUELS

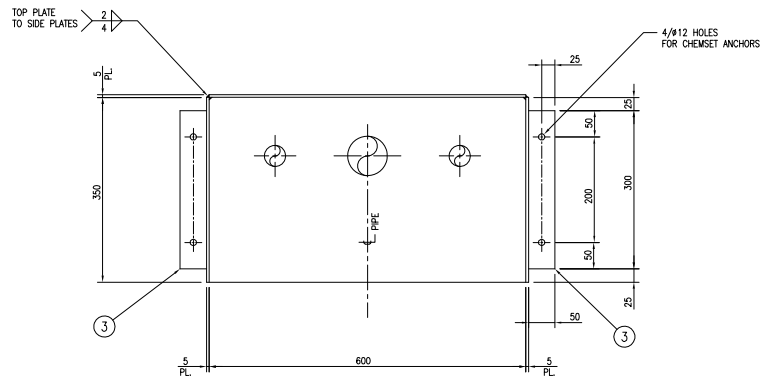
100% DIESEL FUELS

CONTACT THE DRAWING & DESIGN TEAM NOT BE COPIED IN WHOLE OR PART WITHOUT THE WRITTEN CONSENT OF GLADSTONE PORTS LTD.

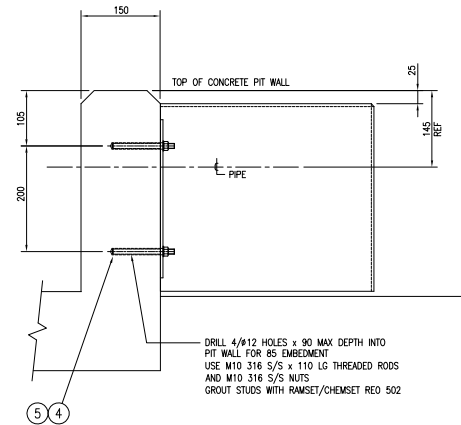
U.S. 19 41 4
VAN 130 847 310

GLD GLADSTONE MARINE REFUELLING FACILITY

GLADSTONE HARBOUR TRAWLER WHARF DIESEL LINE UPGRADE TO U.P.P. UNISTRUT SUPPORT BRACKET DETAILS

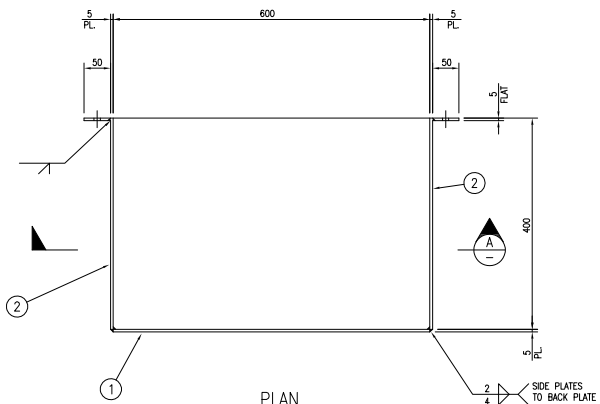


VIEW A
SCALE 1:5



SIDE VIEW
SCALE 1:5

DRILL 4/12 HOLES x 90 MAX DEPTH INTO PIT WALL FOR 85 EMBEDMENT
USE M10 316 S/S x 110 LG THREADED RODS AND M10 316 S/S NUTS
GROUT STUDS WITH RAMSET/CHEMSET RED 502



PLAN
SCALE 1:5

GPC Gladstone Ports Corporation

APPROVED

Name: Erin Clark
Date: 8:44am 05/10/2022

PRELIMINARY ISSUE

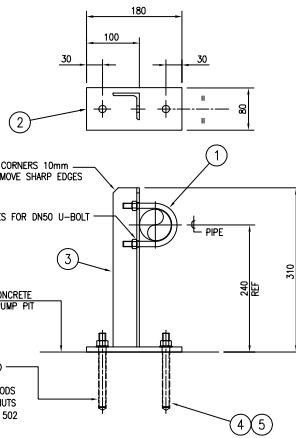
ITEM	NO	OFF	DESCRIPTION	REMARKS
5	4		HEX NUT M10 GRADE 8.8 A4-70	316 S/S
4	4		M10 x 110 LG THREADED ROD	316 S/S
3	2		FLAT 50 x 5 THK x 300 LG DRILLED	316 S/S
2	2		PLATE 400 x 5 THK x 350 LG	316 S/S
1	2		PLATE 350 x 5 THK x 600 LG	316 S/S

A1-87582	GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN	REFERENCE DRAWINGS	SPECIFICATIONS	A	ISSUED FOR REVIEW	25-3-22	GLY	DRN	CHK	○	○	○	○	○	○	○	○
No.	REVISION DESCRIPTION	DATE															

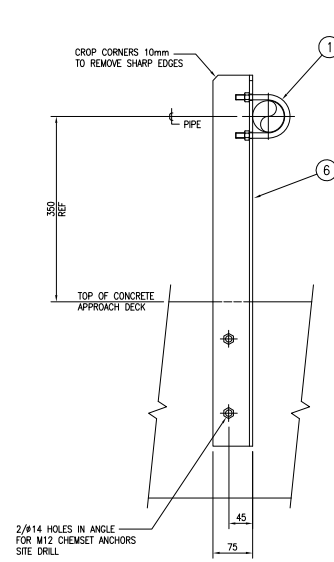


GLD GLADSTONE MARINE REFUELLING FACILITY
GLADSTONE HARBOUR TRAWLER WHARF
DIESEL LINE UPGRADE TO U.P.P.
PUMP PIT - PIPE COVER BOX

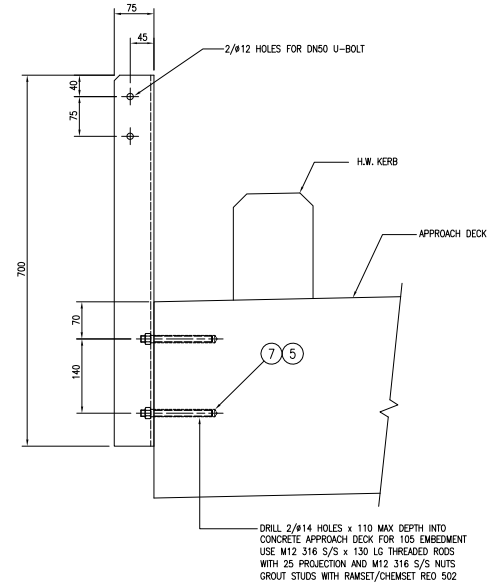
MOC No.	PROJECT No.	EQUIPMENT No.	INDEX SIZE	SITE SAP No.	DRAWING No.	SHEET	REV.
	M21008		M A1	11850	87596	2	A



PIPE SUPPORT 'PS-1'
SCALE 1:5



PIPE SUPPORT 'PS-2'
SCALE 1:5



GPC Gladstone Ports Corporation

APPROVED

Name: Erin Clark

Date: 8:44am 05/10/2022

PRELIMINARY ISSUE

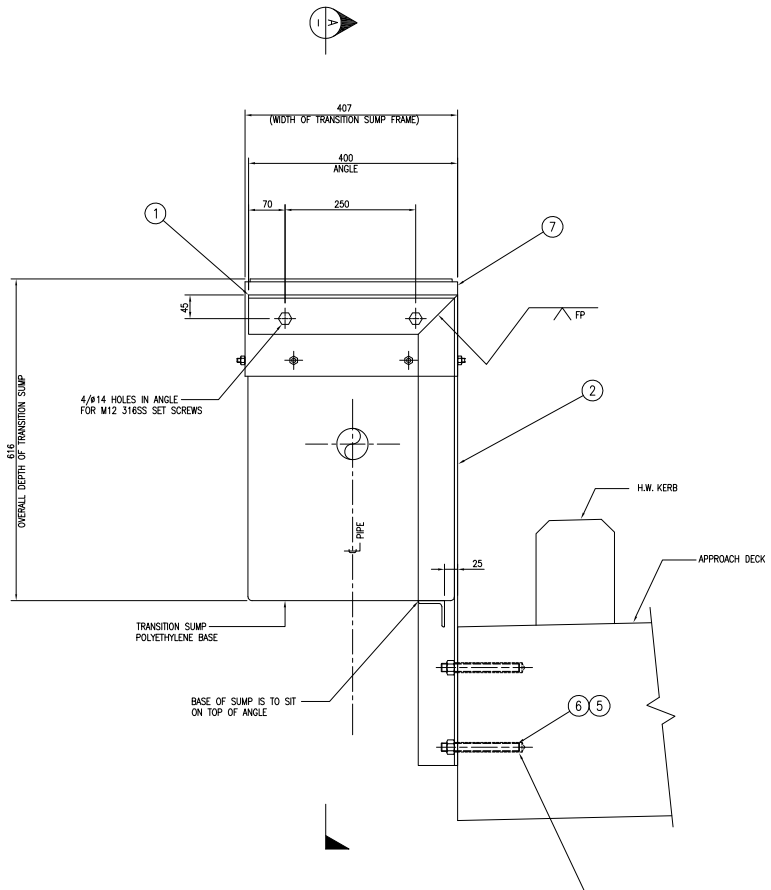
ITEM	NO OFF	DESCRIPTION	REMARKS
7	2	M12 x 130 LG THREADED ROD	316 S/S
6	1	75 x 6 THK ANGLE x 700 LG	316 S/S
5	4	HEX NUT M12 GRADE 8.8 A4-70	316 S/S
4	2	M12 x 110 LG THREADED ROD	316 S/S
3	1	50 x 6 THK ANGLE x 300 LG	316 S/S
2	1	10 THK PLATE 1180 LG x 80 W	316 S/S
1	2	U-BOLT DN50 HEAVY DUTY	316 S/S



QLD GLADSTONE MARINE REFUELLING FACILITY
GLADSTONE HARBOUR TRAWLER WHARF
DIESEL LINE UPGRADE TO U.P.P.
PIPE SUPPORT DETAILS

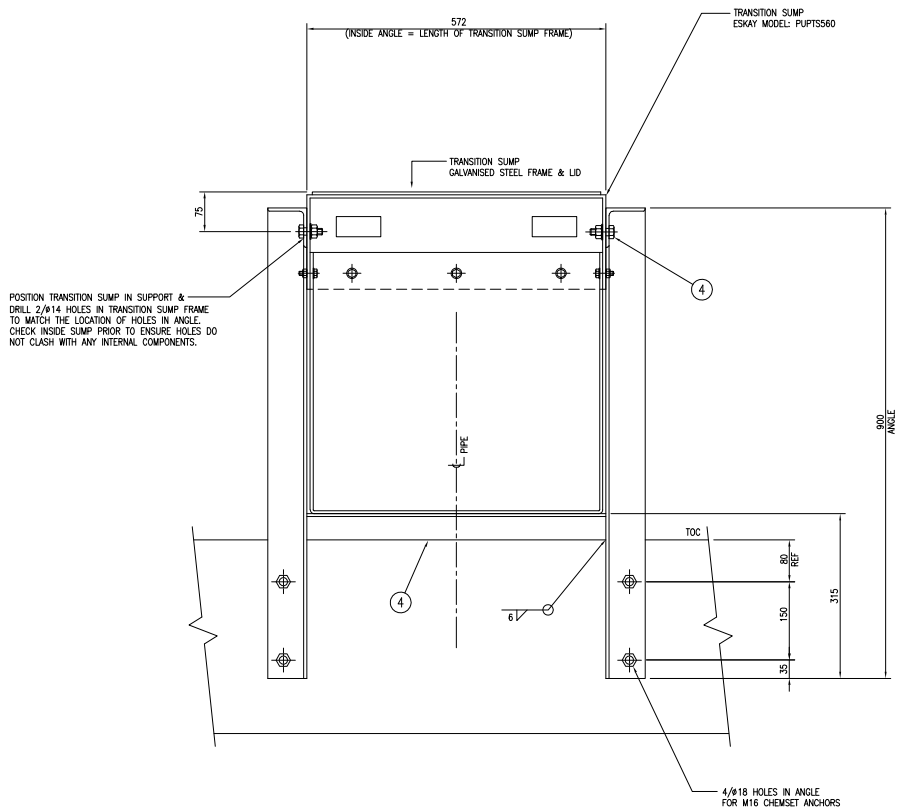
No.	REVISION DESCRIPTION	DATE	DRN	CHK	○	○	○	○	○	○
A1-87582	GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN	25-3-22	GLY							

WOC No.	PROJECT No.	EQUIPMENT No.	INDEX, SIZE.	SITE, SAP No.	DRAWING No.	SHEET, REV.
	M21008		L A1	11850	87597	0 A



SIDE VIEW
SCALE 1:5

DRILL 4/818 HOLES x 130 MAX DEPTH INTO CONCRETE APPROACH DECK FOR 125 EMBEDMENT USE M16 316 S/S x 160 LG THREADED RODS WITH 35 PROJECTION AND M16 316 S/S NUTS GROUT STUDS WITH RAMSET/CHEMSET REQ 502



VIEW A
1:5

POSITION TRANSITION SUMP IN SUPPORT & DRILL 2/814 HOLES IN TRANSITION SUMP FRAME TO MATCH THE LOCATION OF HOLES IN ANGLE. CHECK INSIDE SUMP PRIOR TO ENSURE HOLES DO NOT CLASH WITH ANY INTERNAL COMPONENTS.



APPROVED

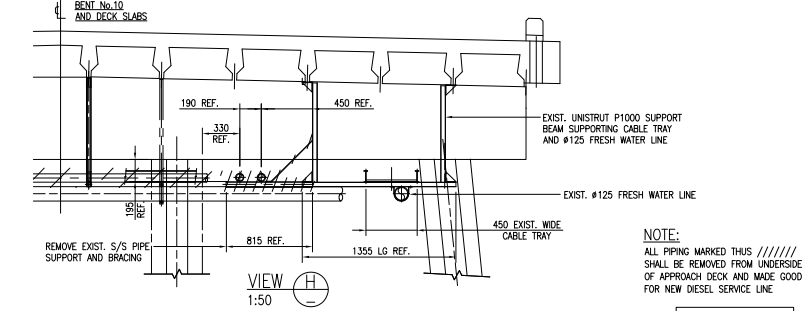
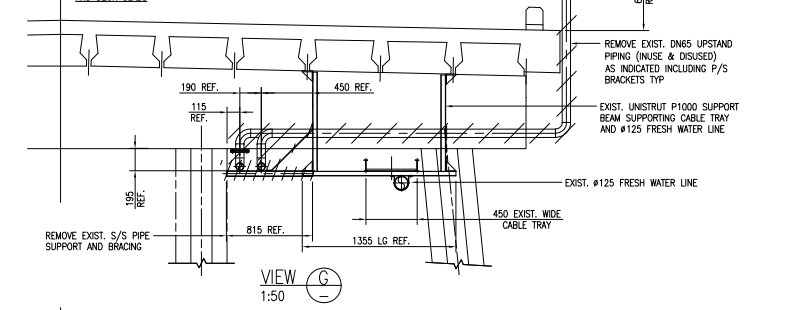
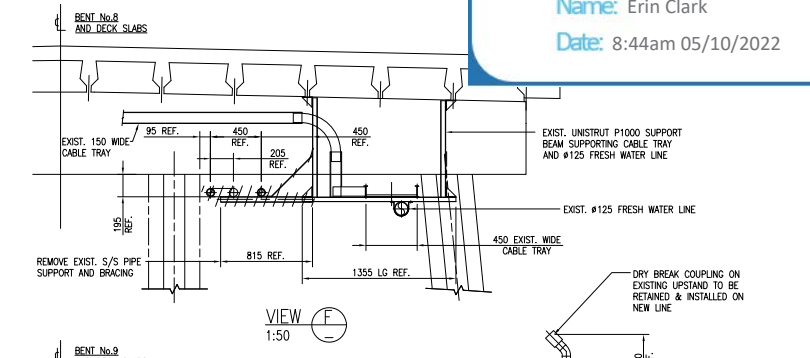
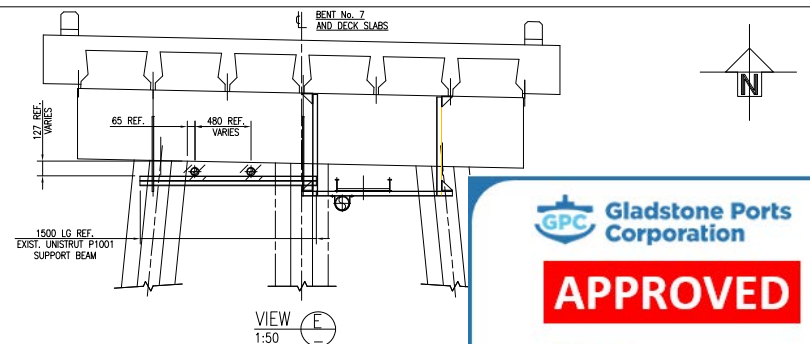
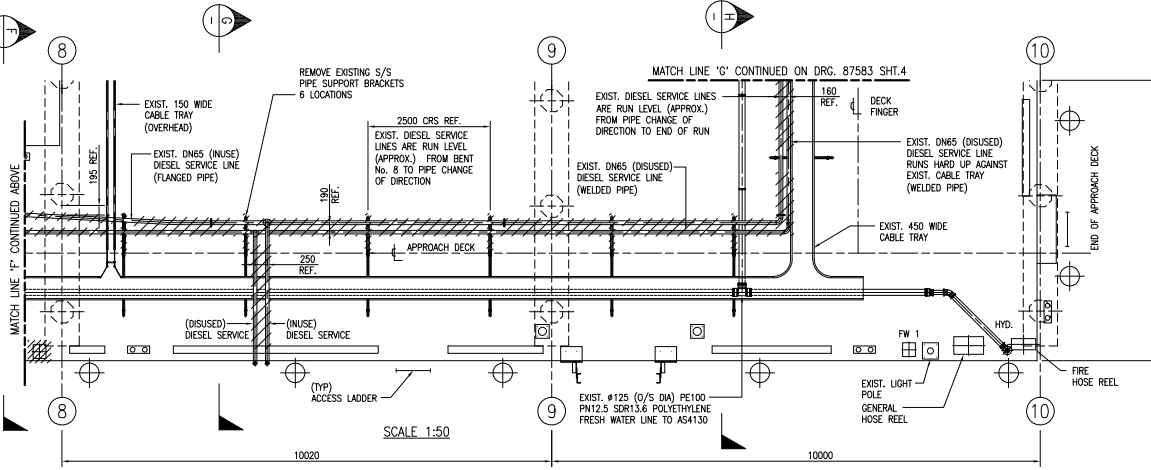
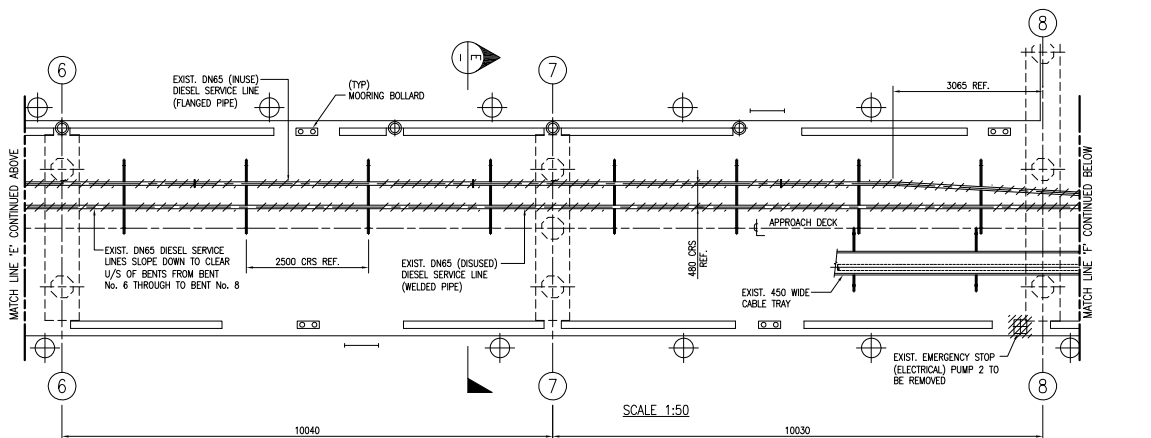
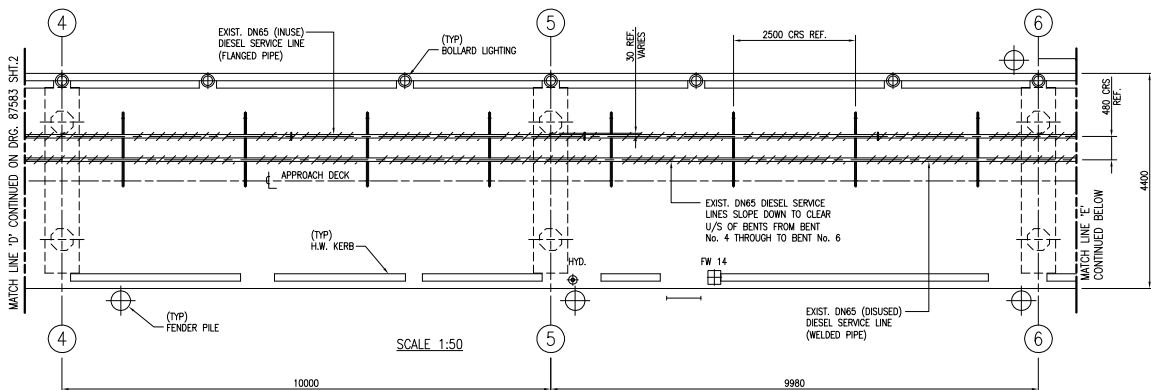
Name: Erin Clark
Date: 8:44am 05/10/2022

NOTE
ALL TRANSITION SUMP DIMENSIONS ARE TO BE CONFIRMED PRIOR TO COMMENCING FABRICATION. SHOULD DIMENSIONS DIFFER FROM THOSE SHOWN ON THIS DRAWING THE SUPPORT IS TO BE ADJUSTED TO SUIT

PRELIMINARY
ISSUE

ITEM	NO	OFF	DESCRIPTION	REMARKS
7	1		TRANSITION SUMP ESKAY MODEL: PUPTS560	
6	4		HEX NUT M16 GRADE 8.8 A4-70	316 S/S
5	4		M16 x 160 LG THREADED ROD	316 S/S
4	4		M12 x 45 LG SET SCREW c/w HEX NUT & WASHER	316 S/S
3	1		ANGLE 50 x 6 THK x 572 LG	316 S/S
2	2		ANGLE 75 x 6 THK x 900 LG	316 S/S
1	2		ANGLE 75 x 6 THK x 400 LG	316 S/S

A1-87582		GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN		SPECIFICATIONS		A		ISSUED FOR REVIEW		25-3-22		GLY		MOC. No.		PROJECT No.		EQUIPMENT No.		INDEX. SIZE.		SITE SAP No.		DRAWING No.		SHEET. REV.	
No.	REVISION	DESCRIPTION	DATE	DRN	CHK	0	0	0	0	0	0	0	0	0	M	A1	11850	87598	0	A							
<p>GLADSTONE HARBOUR TRAWLER WHARF DIESEL LINE UPGRADE TO U.P.P. TRANSITION SUMP SUPPORT</p> <p>BAILEY'S MARINE FUELS AUSTRALIA COPYRIGHT THIS DRAWING & DESIGN MUST NOT BE COPIED IN WHOLE OR PART WITHOUT THE WRITTEN CONSENT OF GRADIAN BAILEY FITZ LTD.</p> <p>QLD GLADSTONE MARINE REFUELLING FACILITY</p>																											



GPC Gladstone Ports Corporation

APPROVED

Name: Erin Clark
Date: 8:44am 05/10/2022

NOTE:
ALL PIPING MARKED THUS // //// SHALL BE REMOVED FROM UNDERSIDE OF APPROACH DECK AND MADE GOOD FOR NEW DIESEL SERVICE LINE

PRELIMINARY ISSUE

A1-87582		GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN		SPECIFICATIONS		A		ISSUED FOR REVIEW		25-3-22		GLY		MOC. No.		PROJECT No.		EQUIPMENT No.		INDEX		SHEET. REV.	
GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN		REFERENCE DRAWINGS		SPECIFICATIONS		No.		REVISION DESCRIPTION		DATE		DRN		CHK		M21008				L		A1 11850 87583 3 A	

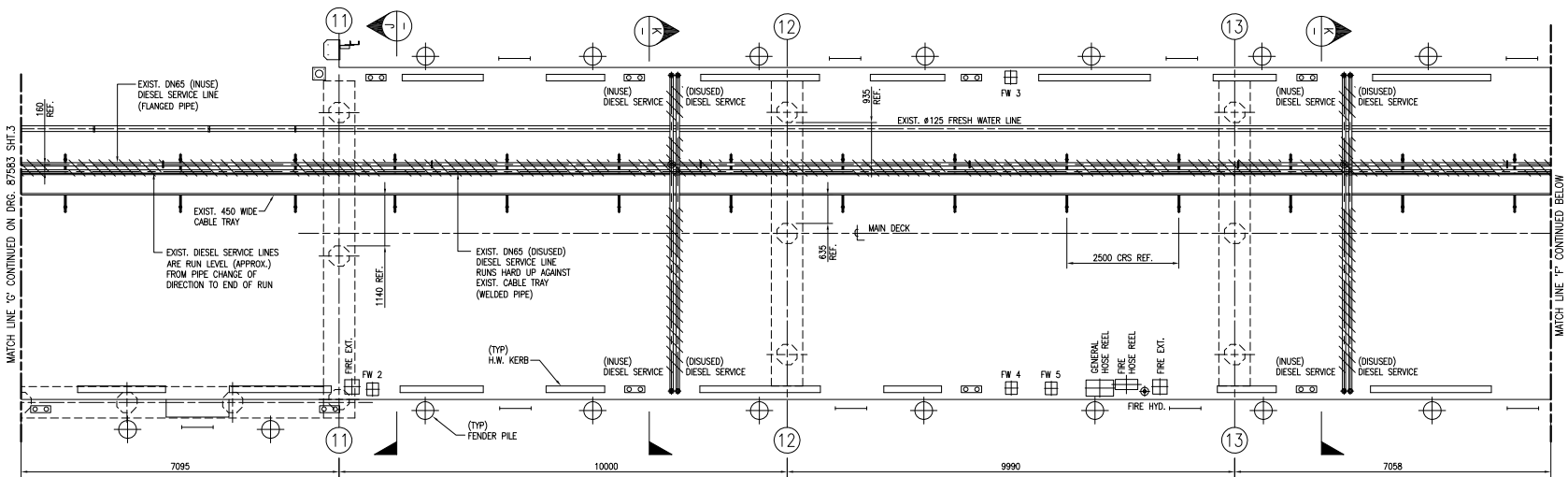


OLD GLADSTONE MARINE REFUELLING FACILITY

GLADSTONE HARBOUR TRAWLER WHARF
REMOVAL OF EXISTING STEEL DIESEL LINE
APPROACH DECK PIPING BENT #4 TO BENT #10

CONTRACT NO. 1300 8477 3160
DATE 10/10/2021
PROJECT NO. M21008
EQUIPMENT NO.

SHEET. REV. 3 A

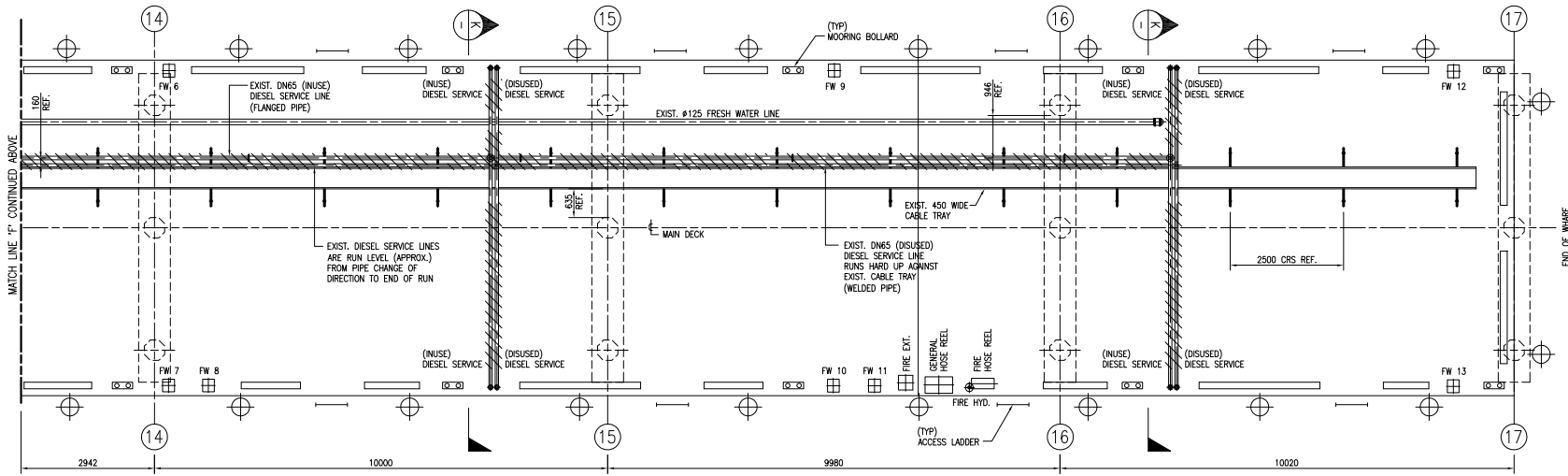
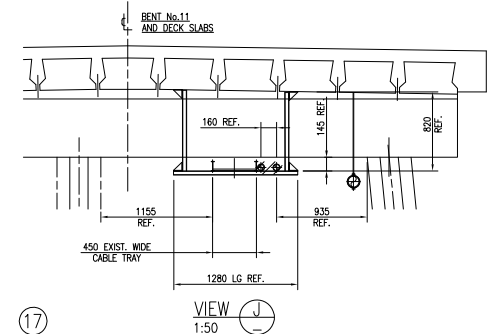
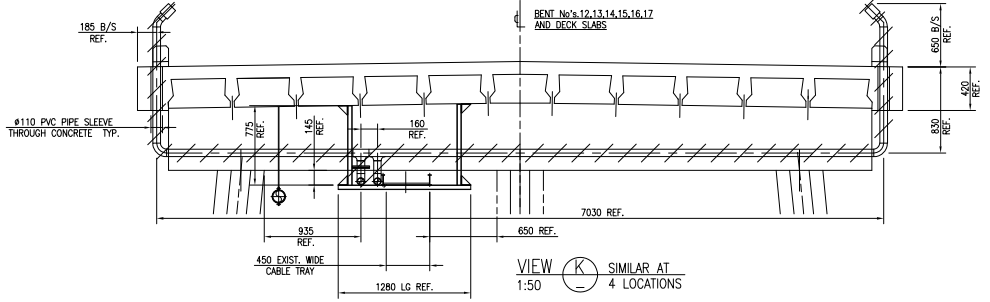


SCALE 1:50

GPC Gladstone Ports Corporation

APPROVED

Name: Erin Clark
Date: 8:44am 05/10/2022



NOTE:-
ALL PIPING MARKED THUS // // // // //
SHALL BE REMOVED FROM UNDERSIDE
OF MAIN DECK AND MADE GOOD

PRELIMINARY
ISSUE

A1-87582		GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN REFERENCE DRAWINGS		SPECIFICATIONS		A		ISSUED FOR REVIEW		25-3-22		GLY		MOC. No.		PROJECT No.		EQUIPMENT No.		INDEX. SIZE.		SITE SAP No.		DRAWING No.		SHEET. REV.	
						No.		REVISION DESCRIPTION		DATE		DRN		CHK		M21008				L		A1 11850		87583		4 A	



OLD GLADSTONE MARINE REFUELLING FACILITY

GLADSTONE HARBOUR TRAWLER WHARF
REMOVAL OF EXISTING STEEL DIESEL LINE
FINGER DECK PIPING BENT #11 TO BENT #17

CONTRACTOR TO BE ADVISED THAT THIS DRAWING IS DESIGN PROTECT AND BE COPIED IN WHOLE OR PART WITHOUT THE WRITTEN CONSENT OF GRADSTONE PORTS LTD.

ATTACHMENT 3: ORIGINAL DECISION NOTICE

4 October 2022

Graham Bailey Pty Ltd
C/- Michael Coumbe
PO Box 979
FREMANTLE WA 6160

Dear Mr Coumbe,

DECISION NOTICE – APPROVAL WITH CONDITIONS – DA2022/09/01

(GIVEN UNDER SECTION 63 *PLANNING ACT 2016* AND THE PROVISIONS OF GPC LAND USE PLAN 2012V2)

1. Application Details

This development application was **properly made** to the Gladstone Ports Corporation Limited on **27 June 2022**.

Application Number:	DA2022/09/01
Applicant Name:	Graham Bailey Pty Ltd
Applicant Contact Details:	Michael Coumbe Graham Bailey Pty Ltd PO Box 979 FREMANTLE, WA 6160 Email: mcoumbe@ampol.com.au
Approval sought (Land Use Plan)	Port application for works for Fuel Line replacement
Details of Proposed Development:	Upgrade of the pipework within the landside of the Gladstone Trawler Wharf diesel refuelling facility from single skinned steel to a secondary contained UPP semi-rigid pipework system.
Location Street Address:	Alf O'Rourke Drive, CALLEMONDAH QLD 4680
Location Real Property Description:	Lot 209 on SP120888 and Lot 210 on SP120888
Land Owner:	Gladstone Ports Corporation Limited
Land Use Plan Precincts:	Strategic Port Land – Marine Industry
Port Overlay Precincts:	Marine Services sub-precinct

2. Details Of Proposed Development

Baileys Marine Fuels are requiring approval to upgrade the pipework on the landside of the Gladstone trawler wharf diesel refuelling facility from single skinned steel to a secondary contained UPP semi-rigid pipework system. The extent of the proposed works are described as:

- Removal of the existing steel diesel line and underground lines for the refuelling facility
- New transition sump with ball valve isolation and
- Installation of 50 meters of 75-63mm secondary contained UPP diesel pipeline

3. Details Of Decision

This development application was **decided** on **5 October 2022**.

This development application is **approved in full with conditions**. These conditions are set out in Attachment 1 and are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

4. Details Of Approval

This development approval is a **Development Permit** given for:

- (a) Port Application for undertaking work in, on, over or under premises that materially affects the premises or their use including excavating or filling (*GPC Land Use Plan 2012v2*).

5. Conditions

This development approval is subject to the conditions in Attachment 1 - Part 1 and Part 2.

6. Further Development Permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

- (a) Not applicable

Note: Works within the development footprint have been considered 'excluded works' for development that is operational works for tidal work. Anything outside of these parameters may require further permits.

7. Referral Agencies for the Application

The proposed development did not trigger referral to any referral agencies

8. Approved Plans and Specifications

Copies of the following plans, specifications and/or drawings are approved and enclosed in Attachment 2:

Title	Drawn BY	Drawing No.	Sheet Revision	Date
Gladstone Harbour Trawler Wharf Alf O'Rourke Drive, Site Plan	Bailey's Marine Fuels Australia	88529	Sheet 0 Rev 0	16/11/2020
Gladstone Harbour Trawler Wharf removal of existing steel diesel line underground lines from pump pit	Bailey's Marine Fuels Australia	87583	Sheet 1 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf removal of existing steel diesel line underground lines from pump pit	Bailey's Marine Fuels Australia	87583	Sheet 2 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf removal of existing steel diesel line underground lines from pump pit	Bailey's Marine Fuels Australia	87583	Sheet 3 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf removal of existing steel diesel line underground lines from pump pit	Bailey's Marine Fuels Australia	87583	Sheet 4 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf diesel line upgrade to U.P.P. Key Plan	Bailey's Marine Fuels Australia	87582	Sheet 0 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf diesel line upgrade to U.P.P. Pump to isolation valve pit	Bailey's Marine Fuels Australia	87584	Sheet 1 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf diesel line upgrade to U.P.P. Isolation valve pit to Bent No 2	Bailey's Marine Fuels Australia	87584	Sheet 2 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf diesel line upgrade to U.P.P. Bent No. 2 to Bent No. 4	Bailey's Marine Fuels Australia	87584	Sheet 3 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf diesel line upgrade to U.P.P. Bent No. 4 to Bent No. 6	Bailey's Marine Fuels Australia	87584	Sheet 4 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf diesel line upgrade to U.P.P. Bent No. 6 to Bent No. 8.	Bailey's Marine Fuels Australia	87584	Sheet 5 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf diesel line upgrade to U.P.P. bunker point riser – Bent No. 8 to Bent o. 10	Bailey's Marine Fuels Australia	87584	Sheet 6 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf diesel line upgrade to U.P.P. Pump Pit Details	Bailey's Marine Fuels Australia	87584	Sheet 7 Rev A	25/03/2022
Gladstone Harbour Trawler Wharf diesel line upgrade to U.P.P. Isolation valve pit details	Bailey's Marine Fuels Australia	87584	Sheet 8 Rev A	25/03/2022

Title	Drawn BY	Drawing No.	Sheet Revision	Date
Gladstone Harbour Trawler Wharf diesel line upgrade to U.P.P. bunker Point Riser & Transition Sump	Bailey's Marine Fuels Australia	87584	Sheet 9 Rev A	25/03/2022

12. Currency Period for the Approval

Pursuant to section 85 of the Planning Act, this development approval will lapse at the end of the periods set out below:

- (a) For Port Application this approval lapses 6 years after this approval decision date.

13. Rights of Appeal

No legislated appeal rights are afforded with this decision notice as the application was not made under the provisions of the *Planning Act 2016*.

For further information please contact Trudi Smith, Planning Specialist, on 07 4976 1314 or the undersigned on 07 4976 1287 or via email planning@gpcl.com.au.

Yours sincerely,



Erin Clark
Principal Planner

Enc. Attachment 1: Conditions of Approval
Attachment 2: Approved plans and specifications

Attachment 1 Conditions of Approval

PART 1: ASSESSMENT MANAGER CONDITIONS

In general the development proposal is in compliance with the requirements of Gladstone Ports Corporation Limited (GPC). This development approval is subject to each the following conditions which are stated by GPC, the Assessment Manager.

PART 1: ASSESSMENT MANAGER CONDITIONS

Part 1a: Approval sought under GPC Land Use Plan 2012v2 – Port Application

CONDITIONS
GENERAL
<ol style="list-style-type: none"> 1. Development must be carried out generally in accordance with the Approved plans, except where modified by conditions of this permit. 2. Unless otherwise stated, all conditions must be complied with and completed prior to the commencement of the development. 3. Where additional “approval” is required under these conditions by GPC for drawings or documentation the proponent must submit for review, amend to the satisfaction of, and obtain written approval from the Assessment Manager. 4. Furthermore, GPC will require no less than 10 business days, unless otherwise conditioned by GPC, to review the drawings or documentation provided prior to the commencement of the works. 5. The proponent must at its cost and expense, keep and maintain the development footprint in a state that is satisfactory to the Port.
ENGINEERING
<ol style="list-style-type: none"> 6. The proponent is required to apply for and obtain from GPC a Permit to Dig/Excavate prior to commencing works by contacting, Port Infrastructure Asset Manager on (07) 4976 1333. All reasonable measures must be taken to identify and protect existing services onsite, recorded or otherwise, and where necessary the proponent will submit a plan to GPC for approval to adjust any existing services found during this excavation that was not originally shown on the proposed plans. 7. Upon completion of the works, the proponent must supply GPC with certified “As Constructed” plans in both hard copy (2 of) and electronic (CAD format) which illustrate all infrastructure and services installed on, under or over Port land associated with the activity. The proponent must also certify that the development is constructed as per design and generally in accordance with the approved plans prior to the use commencing. Plans shall be certified by an appropriately qualified and competent person, including RPEQ Engineer or Licenced Building Certifier. 8. Any site lighting used during construction should not negatively impact on the visibility of Navigational Aids utilised for the primary shipping channels nor illuminate a landward glare beyond the site boundary. Lighting must be reviewed during construction with respect to navigation. Where an issue is identified or a validated complaint received, the proponent must immediately rectify to the satisfaction of GPC.
INFRASTRUCTURE
<ol style="list-style-type: none"> 9. The applicant must notify the Assessment Manager (GPC) of damage caused to any port or port user infrastructure or services including, but not limited to, security related devices, buildings, fences, lighting etc., roads, walkways and underground services or infrastructure during construction. The

proponent must undertake necessary repairs at their expense and to the satisfaction of the Assessment Manager (GPC).

CONSTRUCTION MANAGEMENT

10. The hours for the construction of the facility (i.e. operation of any machinery and/or other equipment) shall be restricted to between 6.30am and 6:30pm Monday to Friday and 6.30am to 12.30pm Saturday. No works shall be undertaken on Sunday or on public holidays. Any variations to these times will be subject to the written approval of GPC.
11. At all times, maintain and operate an adequate waste disposal service, including the maintenance of refuse bins and associated storage areas and appropriate storage and disposal of regulated waste e.g. materials containing asbestos, so as not to cause an environmental nuisance or create a safety hazard to the public.
12. In the event a laydown area is required or works are required to be carried out outside the immediate area shown on the approved plans, or were deemed necessary by the Assessment Manager (GPC), the proponent or their contractor must obtain a Consent to Enter from GPC's Property Advisor prior to works commencing. All works are to achieve safety for the property, staff and customers.
13. To ensure public safety with regard to potential hazards, security fencing to a minimum height of 1.8m is to be provided around the development footprint and materials storage area prior to works commencing at the site.
14. All fencing is to be of a design that provides maximum security and/or separation without adversely affecting overall amenity and streetscape quality.
Note: One way of achieving compliance is to provide mesh cloth screening to the security fence.
15. A designated parking area and the location of security fencing is to be identified on a site plan and provided to the Assessment Manager prior to any works commencing at the site.
16. A Construction Traffic Management Plan (CTMP) shall be submitted to the Assessment Manager, for approval, prior to commencing any works onsite. The plan shall be developed in accordance with Austroad's Guide To Temporary Traffic Management (AGTTGM) and where applicable, the amendments referenced in the Qld Guide To Temporary Traffic Management (QGTTM).
17. The proponent shall reinstate any damage caused to the existing carpark pavement, concrete kerb or footpath, etc. as a result of the works, to the same standard and quality as the original construction unless as agreed in writing by the Assessment Manager (GPC).. The GPC Port Infrastructure Engineer can be contacted on (07) 49761127 to obtain detailed drawings of the existing infrastructure.
18. No mud, dirt or other debris is to be tracked onto public roads during construction and operation of development.
19. Any construction fill material used must be uncontaminated and reused from onsite or sourced from a licensed quarry.

WASTE MANAGEMENT

20. Any spillage of sediment, wastes, fuels, chemicals, contaminants, or other materials at the storage site, on port roads or on the wharf must be cleaned immediately. Such spillage must not be cleaned up by hosing, sweeping or otherwise releasing such materials to any stormwater drainage system, roadside gutters or waters.

AMENITY

21. The extent of filling or excavation at the site is to be no more than 1.5m high within 2m of the boundary at any time during the works. Screening is to be attached to any security fencing erected at the site to ensure that visual amenity is maintained at all times.

ENVIRONMENT

Construction Environmental Management Plans

22. Prior to construction works commencing on site, an Environmental Management Plan (EMP) specific to these works, is to be submitted to the Assessment Manager (GPC) for approval.
23. The construction must be undertaken in accordance with the approved EMP that ensures:
- environmental risks, including but not limited to, noise, odour, lighting, dust, are identified, managed and continually assessed in relation to the construction activity;
 - any stormwater runoff within the development footprint is managed during any rain event by providing bunding (or the like) around any stockpiles of soil (or other materials) to ensure that contamination of the Marina/ nearby waters does not occur. that staff are trained and aware of their obligations under the EMP, including a copy of the management plan and development approval available on site at all times;
 - that reviews of environmental performance are undertaken at least annually; and
 - any amendments to the EMP are to be submitted to GPC for review and approval.

Once approved by the Assessment Manager, the activity must be carried out in accordance with this EMP.

Note: GPC has a guideline for the development of environmental management plans that may be utilised in meeting the requirements of this condition.

Incident notification

24. At all times, Gladstone Ports Corporation Environment Hotline (07) 4976 1617 is to be notified of the occurrence of any:
- release / spill of contaminants (e.g. fuels / chemicals / sewerage) greater than 250L to land;
 - release / spill of contaminants (e.g. fuels / chemicals / sewerage) of any amount to water;
 - any environmental complaints received by the holder of this approval; and
 - non-compliance with conditions of this approval or any other environmental approval obtained in relation to the approved activity.

ACID SULPHATE SOIL

25. In the event acid sulphate soils are disturbed/excavated and require treatment on site, a site specific Acid sulphate Management Plan must be submitted to GPC for approval prior to such works commencing. Once the management plan is approved, the works must be carried out in accordance with this plan.

ADVICE NOTES

1. All other relevant approvals must be obtained before commencement of the development or operation of the development.
2. Where a Permit to Dig/Excavate prior to commencing excavation or digging for the development, the proponent or their contractor is required to apply for and obtain the permit by contacting the Port Infrastructure Asset Manager on 4976 1332 or bartono@gpcl.com.au.
3. Where a construction compound or laydown area is required, the proponent or their contractor is required to apply for and obtain a Consent to Enter from the Assessment Manager's Property Specialist via 07 4976 1334 or property@gpcl.com.au prior to works commencing.
4. Where works are to be undertaken outside tenured areas, the proponent or their contractor is required to apply for and obtain a Consent to Enter from GPC's Property Specialist via 07 4976 1334 or property@gpcl.com.au prior to works commencing.
5. The *Environmental Protection Act* 1994 states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks, construction, and operational phases of this development, are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm.
6. Where the Applicant is required to submit further documentation to the Assessment Manager, this is to be directed to the Planning section at planning@gpcl.com.au, including reference to the allocated development application number.
7. Where communication with GPC Port Security is required e.g. for schedules or service requests, direct communication to the following: pfso@gpcl.com.au, contracted_security@gpcl.com.au and gpcsupervisor@diamondprotection.com.

Attachment 2 Approved Plans and Specifications



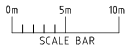
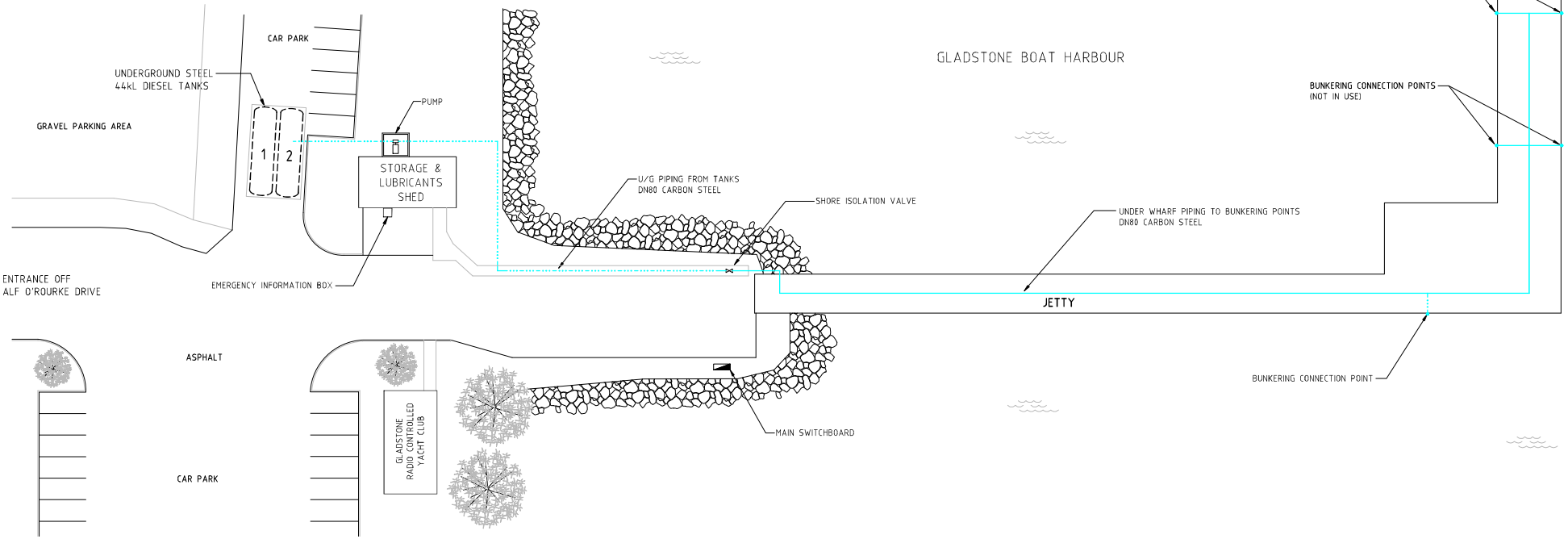
Gladstone Ports Corporation

APPROVED

Name: Erin Clark

Date: 8:44am 05/10/2022

TANK SCHEDULE			
NK	PRODUCT	TYPE	CAPACITY
1	DIESEL	U/G HORIZONTAL	44,000 L
2	DIESEL	U/G HORIZONTAL	44,000 L



SITE PLAN
SCALE 1:250

GENERAL USE
ISSUE

10850-XXX		GLADSTONE HARBOUR TRAWLER WHARF - HAZARDOUS AREA DRAWING		0		APPROVED FOR GENERAL USE		16-11-20		GLY		PAM		JT		MC						QLD GLADSTONE MARINE REFUELLING FACILITY GLADSTONE HARBOUR TRAWLER WHARF ALF O'ROURKE DRIVE SITE PLAN	
10850-86530-0		GLADSTONE HARBOUR TRAWLER WHARF - DANGEROUS GOODS PLAN		A		PRELIMINARY		13-10-20		GLY										PROJECT No. _____ EQUIPMENT No. _____ INDEX: SIZE: SITE SAP No. DRAWING No. SHEET: REV.			
1		2		3		4		5		6		7		8		9		10		11		12	
REFERENCE DRAWINGS				SPECIFICATIONS				No.		REVISION DESCRIPTION		DATE		DRN		CHK		① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩ ⑪ ⑫ ⑬ ⑭ ⑮ ⑯ ⑰ ⑱ ⑲ ⑳		A1 10850 86529 0 0			

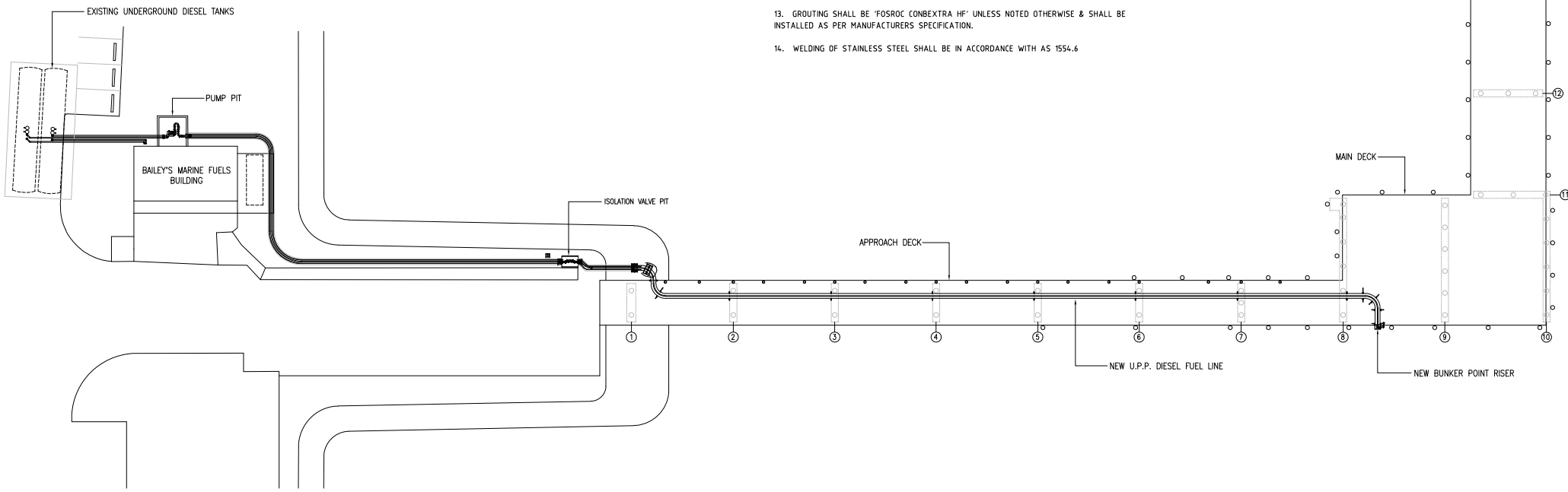
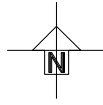
REFERENCE DRAWINGS		SPECIFICATIONS	
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A1-87583 SHT.2	REMOVAL OF EXISTING STEEL DIESEL LINE - PIPING ALONG WHARF APPROACH TO BENT #4	AS 1554	STRUCTURAL STEEL WELDING
A1-87583 SHT.3	REMOVAL OF EXISTING STEEL DIESEL LINE - APPROACH DECK PIPING BENT #4 TO BENT #10	AS 4041	PRESSURE PIPING
A1-87583 SHT.4	REMOVAL OF EXISTING STEEL DIESEL LINE - FINGER DECK PIPING BENT #11 TO BENT #17	AS 1940	FLAMMABLE LIQUIDS STORAGE & HANDLING
A1-87584 SHT.1	DIESEL LINE UPGRADE TO U.P.P. - PUMP TO ISOLATION VALVE PIT	EN 14125	THERMOPLASTIC & FLEXIBLE METAL PIPEWORK FOR UNDERGROUND INSTALLATION AT PETROL FILLING STATIONS
A1-87584 SHT.2	DIESEL LINE UPGRADE TO U.P.P. - ISOLATION VALVE PIT TO BENT #2	SD 207560	AMPOL - PIPING DESIGN & MATERIALS STANDARD
A1-87584 SHT.3	DIESEL LINE UPGRADE TO U.P.P. - BENT #2 TO BENT #4		
A1-87584 SHT.4	DIESEL LINE UPGRADE TO U.P.P. - BENT #4 TO BENT #6		
A1-87584 SHT.5	DIESEL LINE UPGRADE TO U.P.P. - BENT #6 TO BENT #8		
A1-87584 SHT.6	DIESEL LINE UPGRADE TO U.P.P. - BENT #8 TO BENT #10 & NEW RISER		
A1-87584 SHT.7	DIESEL LINE UPGRADE TO U.P.P. - PUMP PIT DETAILS		
A1-87584 SHT.8	DIESEL LINE UPGRADE TO U.P.P. - ISOLATION VALVE PIT DETAILS		
A1-87584 SHT.9	DIESEL LINE UPGRADE TO U.P.P. - BUNKER POINT RISER & TRANSITION SUMP		
A1-87595 SHT.1	DIESEL LINE UPGRADE TO U.P.P. - UNISTRUT SUPPORT BRACKET DETAILS		
A1-87595 SHT.2	DIESEL LINE UPGRADE TO U.P.P. - UNISTRUT SUPPORT BRACKET DETAILS		
A1-87595 SHT.3	DIESEL LINE UPGRADE TO U.P.P. - UNISTRUT SUPPORT BRACKET DETAILS		
A1-87596 SHT.1	DIESEL LINE UPGRADE TO U.P.P. - ISOLATION VALVE BOX FABRICATION DETAILS		
A1-87596 SHT.2	DIESEL LINE UPGRADE TO U.P.P. - PUMP PIT PIPE COVER BOX FABRICATION DETAILS		
A1-87597	DIESEL LINE UPGRADE TO U.P.P. - PIPE SUPPORT DETAILS		
A1-87598	DIESEL LINE UPGRADE TO U.P.P. - TRANSITION SUMP SUPPORT DETAILS		
A3-18279	WRAPPED COATINGS FOR UNDERGROUND C.S. PIPING - STANDARD DRAWING		

PIPING NOTES:

- U.P.P. PIPING MATERIALS & INSTALLATION SHALL BE IN ACCORDANCE WITH STANDARD 'EN14125' & REFERENCE TO FRANKLIN FUELING SYSTEMS 'UPP PIPING - INSTALLATION GUIDE OVERVIEW'
- ALL U.P.P. PIPE & FITTINGS SHALL BE 'FRANKLIN FUELING SYSTEMS' PRODUCTS.
- THE CONTRACTOR IS TO SUPPLY ALL MATERIALS UNLESS NOTED OTHERWISE.
- WELDING, ERECTION & TESTING OF METALLIC PIPING SHALL BE IN ACCORDANCE WITH AMPOL DRG. B1-18260 AND AMPOL-PIPING DESIGN & MATERIALS STANDARD 'SD207560'
- STAINLESS STEEL PIPE SPOOLS DETAIL No. '1, 2 & 3' ARE TO BE HYDROTESTED TO 2900 kPa.
- STAINLESS STEEL PIPE SPOOL DETAIL No. '1' IS TO HAVE ONE BUTTWELD RADIOGRAPH TESTED.
- LINE THAT ARE CUT & CAPPED AND ARE TO REMAINED BURIED UNDERGROUND SHALL BE 'DENSO' WRAPPED AS PER DETAIL.8 ON AMPOL STD. DRG. A3-18279. WRAPPING IS TO EXTEND A MINIMUM 100mm BEYOND BARE METAL.

CIVIL & STEELWORK NOTES:

- UNDERGROUND PIPES AND CABLES WITHIN THE VICINITY OF PROPOSED EXCAVATIONS ARE TO BE DAY LIGHTED AND HAVE THEIR LOCATION CONFIRMED PRIOR TO THE COMMENCEMENT OF WORK.
- IN THE COURSE OF EXCAVATION IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF ALL EXISTING STRUCTURES AND EQUIPMENT. ANY DAMAGE IS TO BE MADE GOOD BY THE CONTRACTOR.
- EXCAVATIONS ARE TO BE CARRIED OUT WITH HAND TOOLS UNLESS NOTED OTHERWISE.
- ALL TRENCHING IS TO BE CARRIED OUT AS SPECIFIED ON THESE DRAWINGS
- ALL EXCAVATED MATERIAL NOT REUSED IS TO BE STORED & DISPOSED OF AS INSTRUCTED BY BAILEY'S MARINE FUELS & IN ACCORDANCE WITH APPLICABLE REGULATORY REQUIREMENTS.
- THE CONTRACTOR IS TO SUPPLY ALL MATERIALS UNLESS NOTED OTHERWISE.
- REINFORCING MATERIAL SHALL ALL CONFORM TO AS 4671 TO THE FOLLOWING GRADES: HOT ROLLED DEFORMED BARS - D500N
PLAIN ROUND BARS - STRUCTURAL GRADE - R250N
HARD DRAWN WIRE FABRIC - D500L
- FORM WORK SHALL BE ERECTED IN ACCORDANCE WITH AS 3610 WITH FORMED SURFACES FINISHED TO CLASS 3 FOR EXPOSED SURFACES, AND CLASS 5 FOR PERMANENTLY CONCEALED SURFACES, EXPOSED EDGES ARE TO BE CHAMFERED 25mm x 45'.
- REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH AS 3600 TABLE 4.10.3.2 EXPOSURE CLASSIFICATION B2.
- CONCRETE IS TO BE PORTLAND CEMENT TYPE 'A' AND IS TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 32MPa AT 28 DAYS. CONCRETE IS TO BE PLACED IN ACCORDANCE WITH AS-3600.
- CONCRETE SHALL BE COMPACTED WITH HIGH FREQUENCY VIBRATORS.
- CONCRETE PAVING IS TO BE WOOD FLOAT FINISHED.
- GROUTING SHALL BE 'FOSROC CONBEXTRA HF' UNLESS NOTED OTHERWISE & SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATION.
- WELDING OF STAINLESS STEEL SHALL BE IN ACCORDANCE WITH AS 1554.6



KEY PLAN
SCALE 1:200

PRELIMINARY
ISSUE

REFERENCE DRAWINGS		SPECIFICATIONS		A ISSUED FOR REVIEW		25-3-22		GLY		MOC. No.		PROJECT No.		EQUIPMENT No.		INDEX: SIZE: SITE SAP No. DRAWING No.		SHEET. REV.	
				No.		DATE		DRN		CHK		M21008				L A1 11850 87582		0 A	



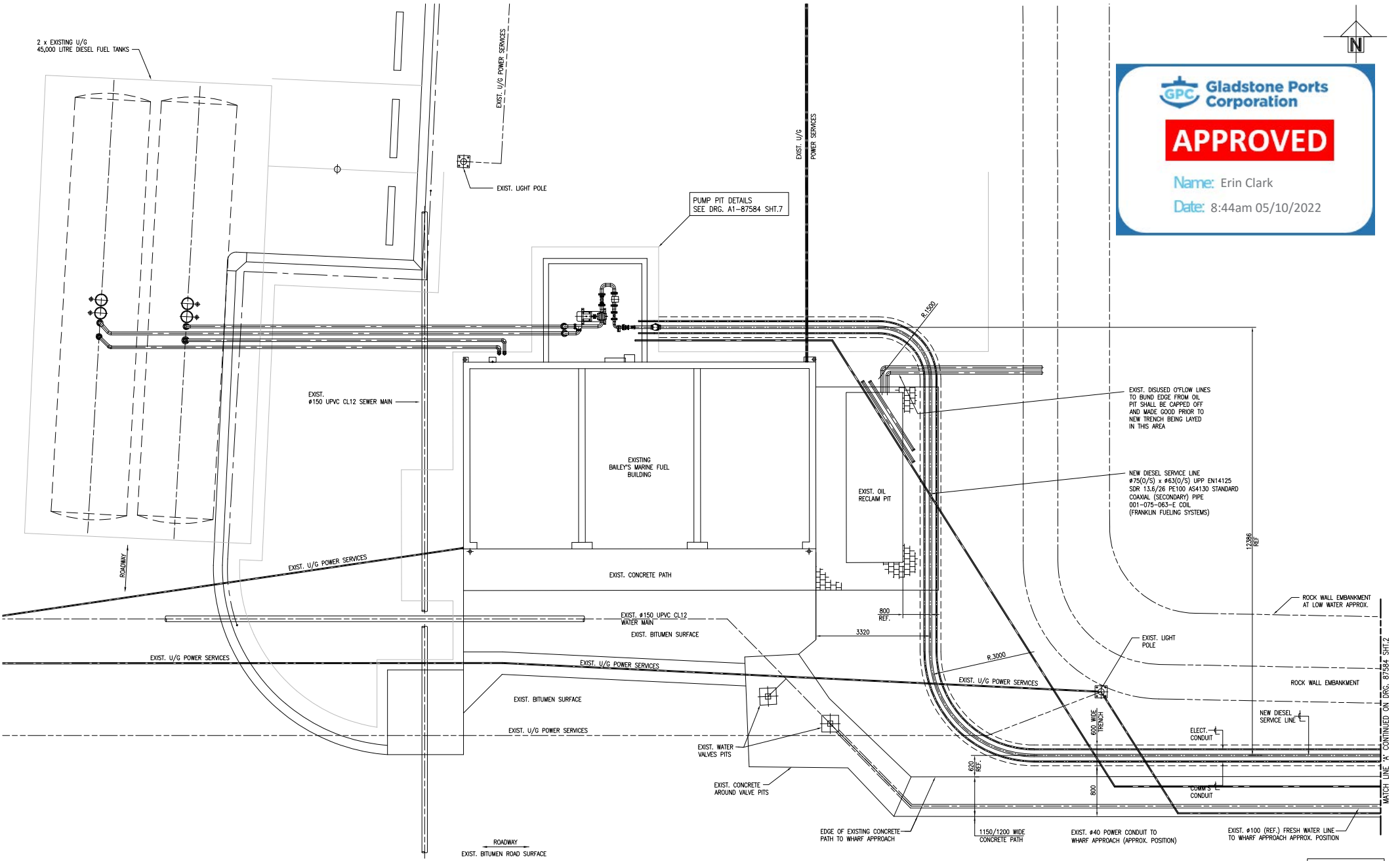
OLD GLADSTONE MARINE REFUELLING FACILITY
GLADSTONE HARBOUR TRAWLER WHARF
DIESEL LINE UPGRADE TO U.P.P.
KEY PLAN



Gladstone Ports Corporation

APPROVED

Name: Erin Clark
Date: 8:44am 05/10/2022



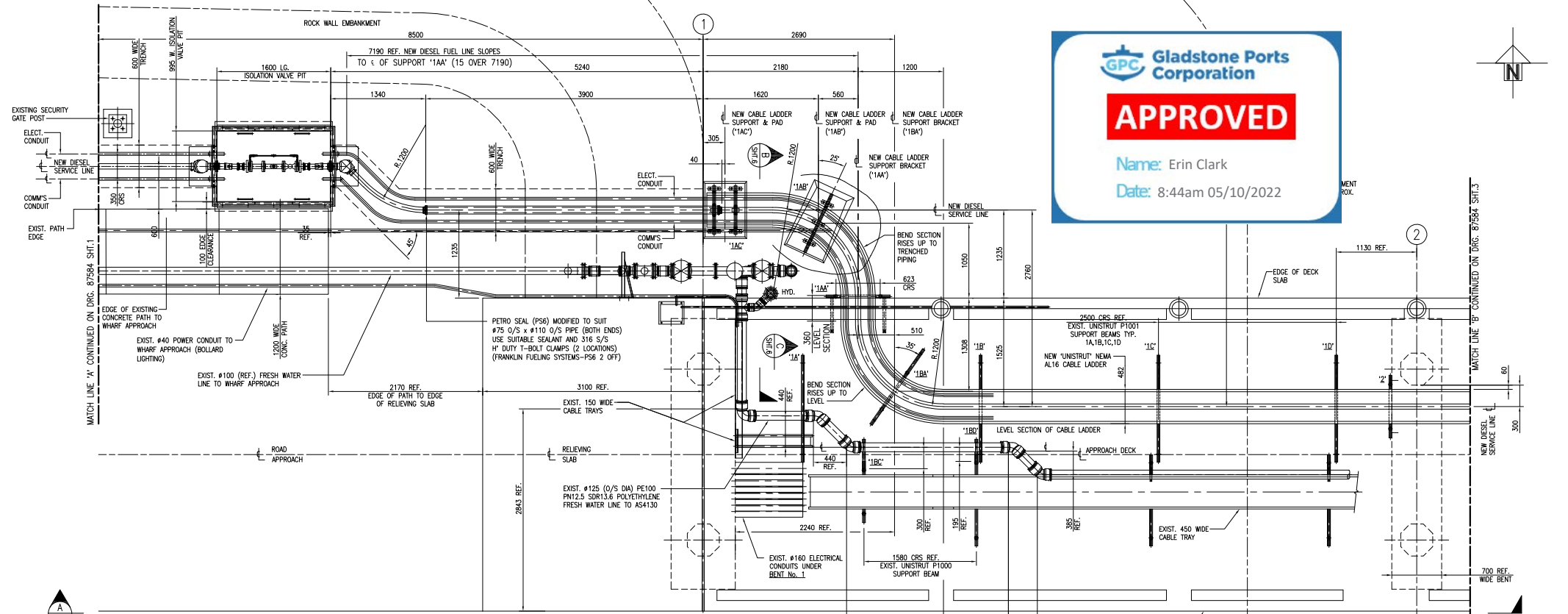
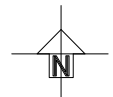
SCALE 1:50

PRELIMINARY
ISSUE

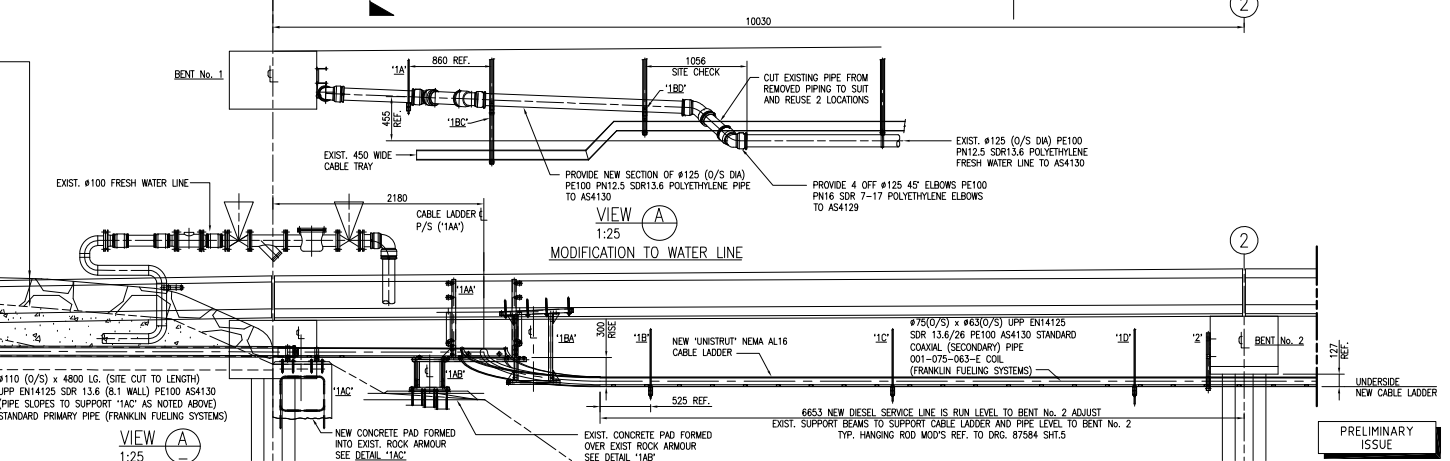
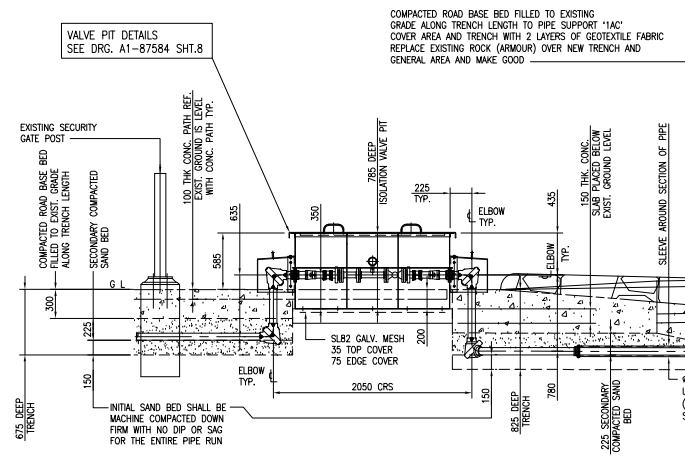
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						No.		REVISION DESCRIPTION		DATE		DRN		CHK		M21008				A1 11850 87584 1 A	



OLD GLADSTONE MARINE REFUELLING FACILITY
GLADSTONE HARBOUR TRAWLER WHARF
DIESEL LINE UPGRADE TO U.P.P.
PUMP TO ISOLATION VALVE PIT



PLAN - MATCH LINE 'A' TO BENT No.2
SCALE 1:25



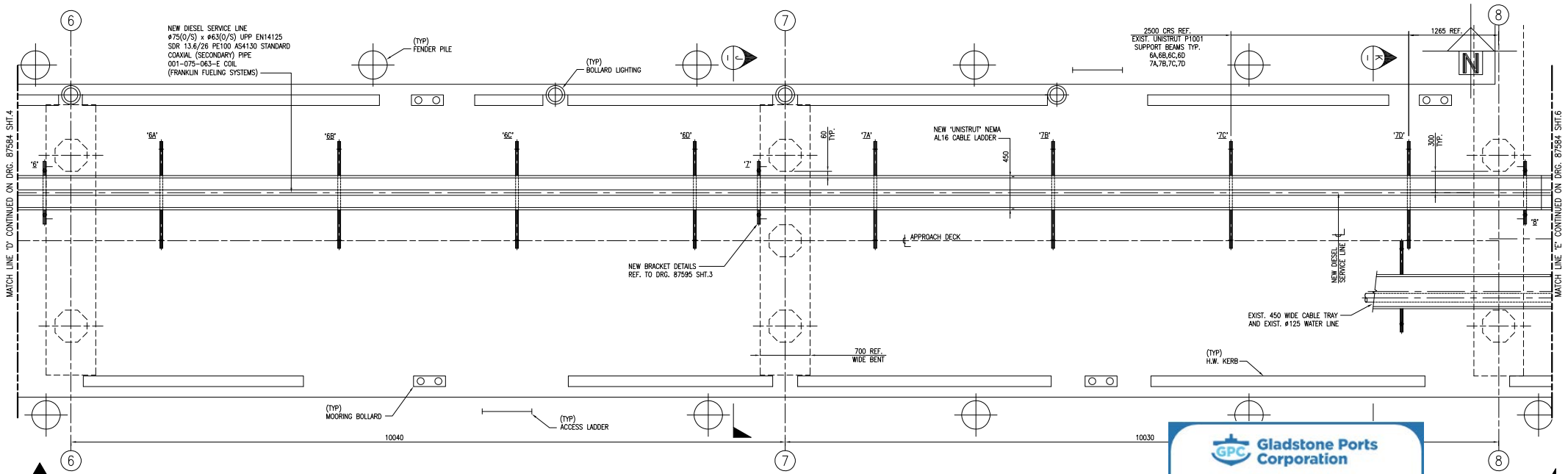
PRELIMINARY ISSUE

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						No.		REVISION DESCRIPTION		DATE		DRN		CHK		M21008				L		A1 11850		87584		2 A	



OLD GLADSTONE MARINE REFUELLING FACILITY
GLADSTONE HARBOUR TRAWLER WHARF
DIESEL LINE UPGRADE TO U.P.P.
ISOLATION VALVE PIT TO BENT No.2

CONTRACT NO. 1330/26 PE100 AS4130 STANDARD COAXIAL (SECONDARY) PIPE 001-075-063-E COIL (FRANKLIN FUELING SYSTEMS)

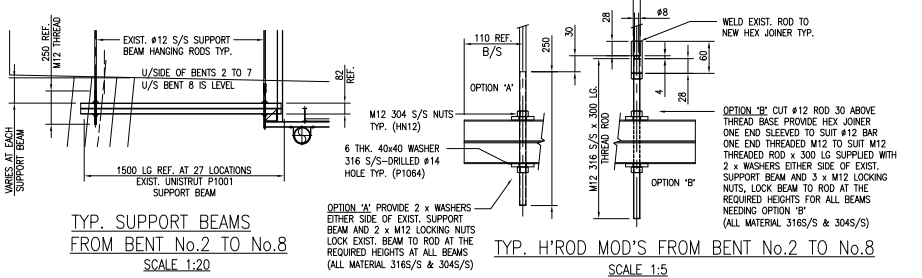
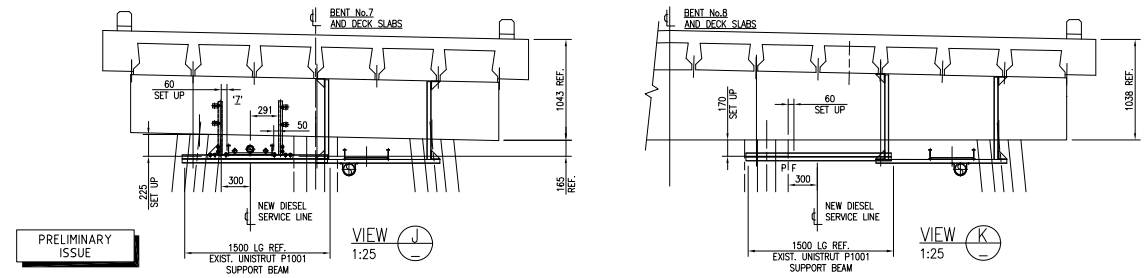
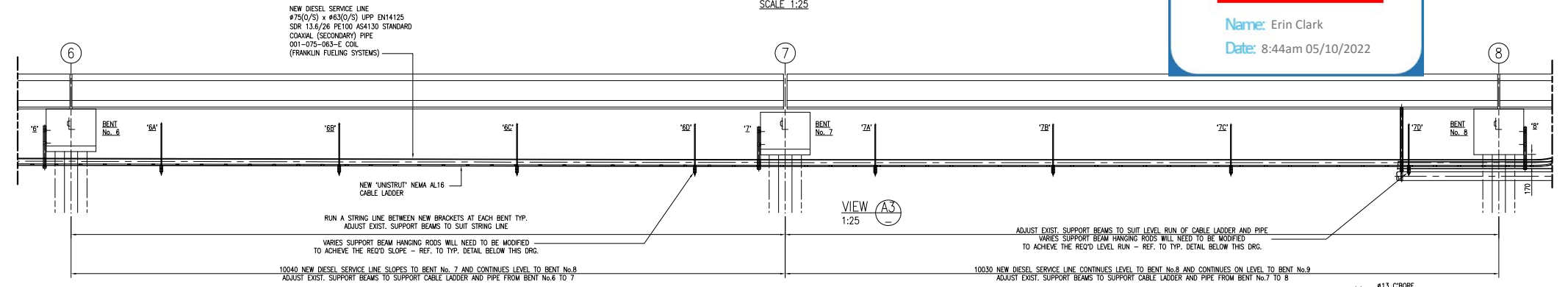


PLAN - BENT No.6 TO BENT No.8
SCALE 1:25

GPC Gladstone Ports Corporation

APPROVED

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Date: 8:44am 05/10/2022

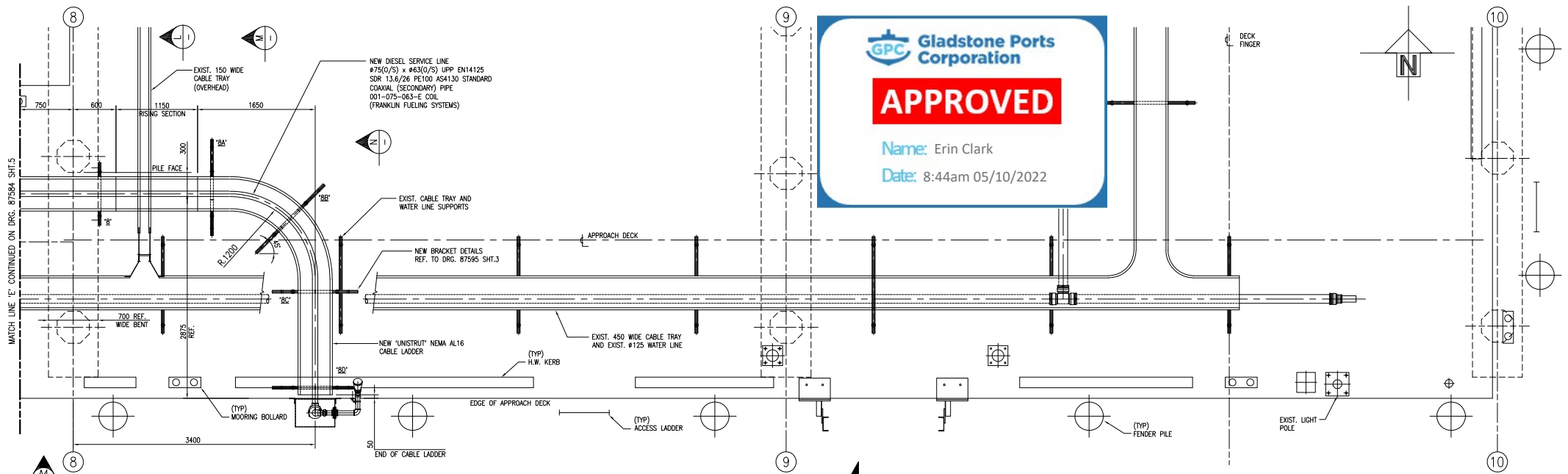


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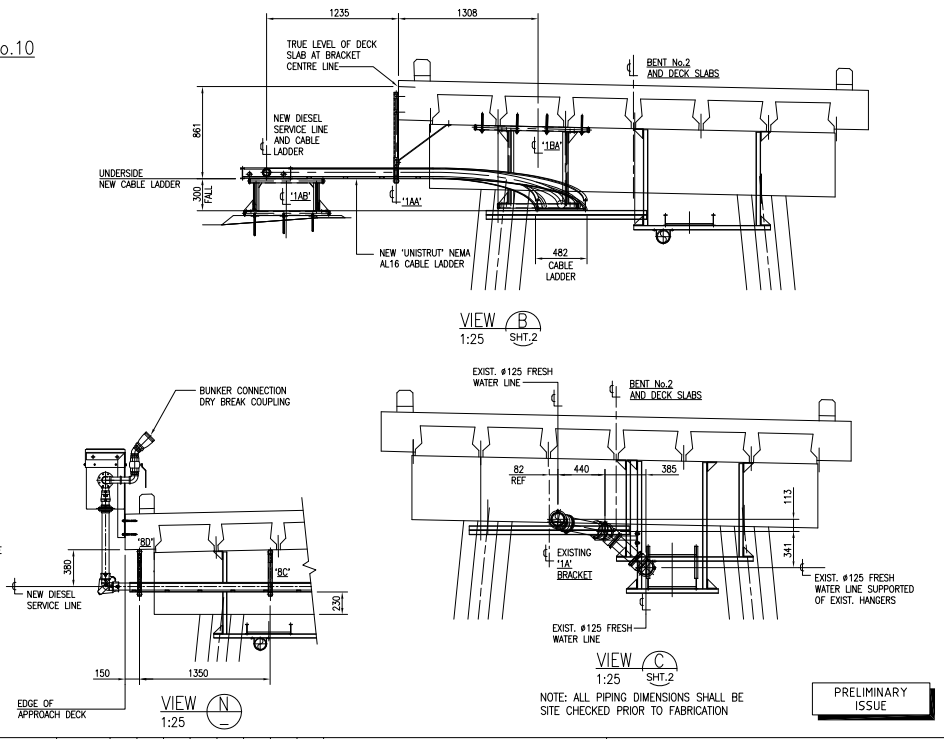
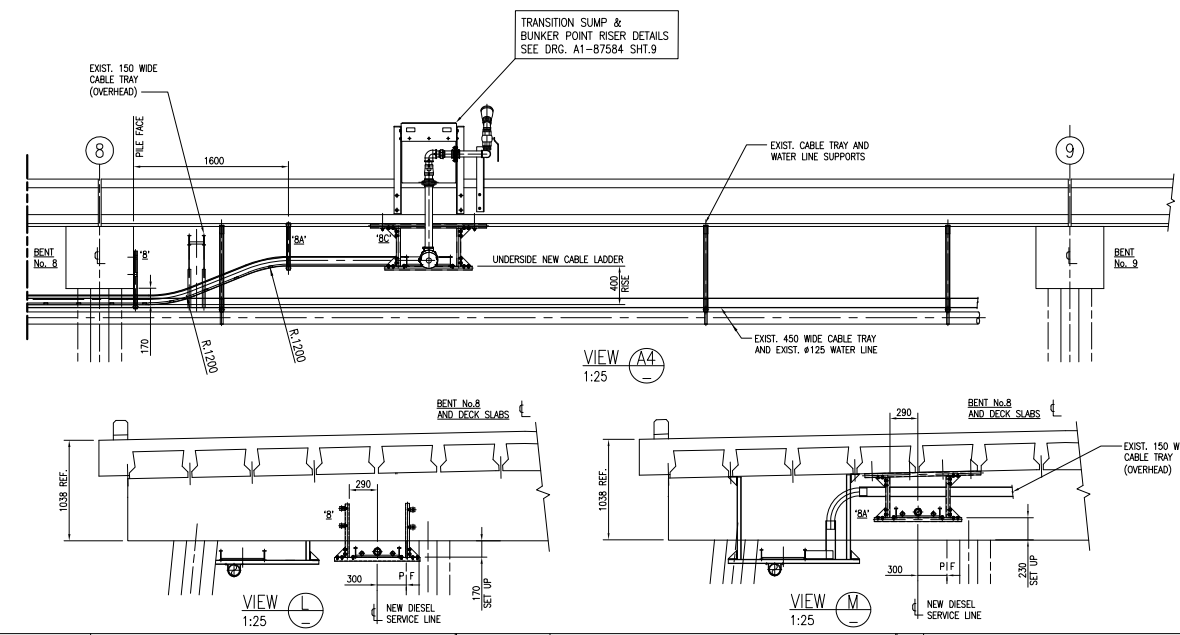
BAILEY'S MARINE FUELS

OLD GLADSTONE MARINE REFUELLING FACILITY
GLADSTONE HARBOUR TRAWLER WHARF
DIESEL LINE UPGRADE TO U.P.P.
BENT No.6 TO BENT No.8

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PLAN - BENT No.8 TO BENT No.10
SCALE 1:25



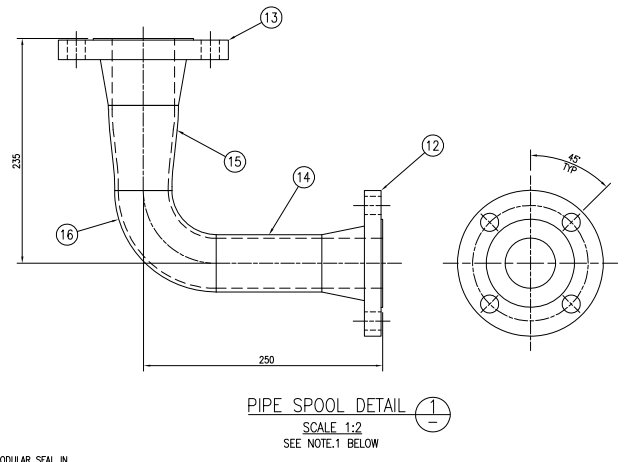
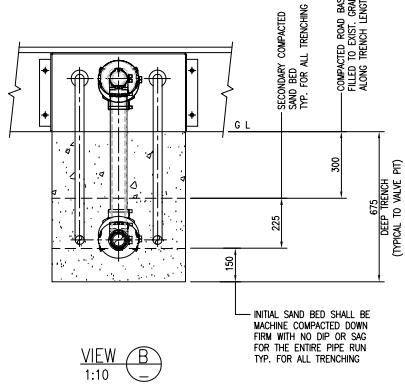
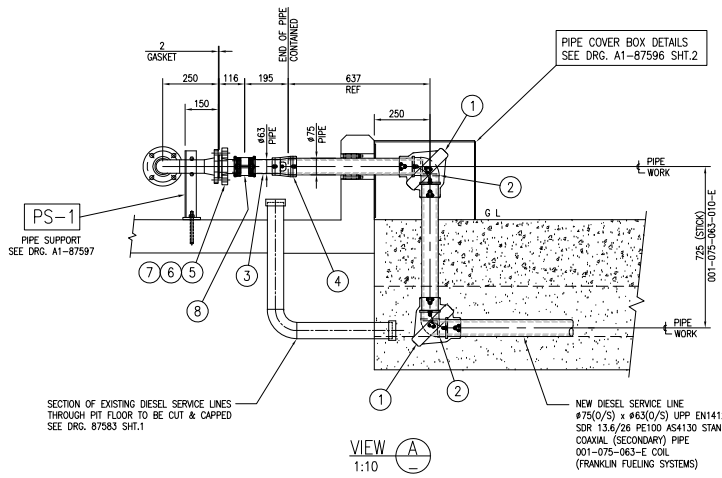
NOTE: ALL PIPING DIMENSIONS SHALL BE SITE CHECKED PRIOR TO FABRICATION

PRELIMINARY ISSUE

A1-8758Z		GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN REFERENCE DRAWINGS		SPECIFICATIONS		A		ISSUED FOR REVIEW		25-3-22		GLY		MOC. No.		PROJECT No.		EQUIPMENT No.		INDEX: SIZE: SITE SAP No. DRAWING No. SHEET. REV.		OLD GLADSTONE MARINE REFUELLING FACILITY	
						No.		REVISION DESCRIPTION		DATE		DRN		M21008				L		A1 11850 87584		GLADSTONE HARBOUR TRAWLER WHARF DIESEL LINE UPGRADE TO U.P.P. BUNKER POINT RISER - BENT No.8 TO BENT. No.10	



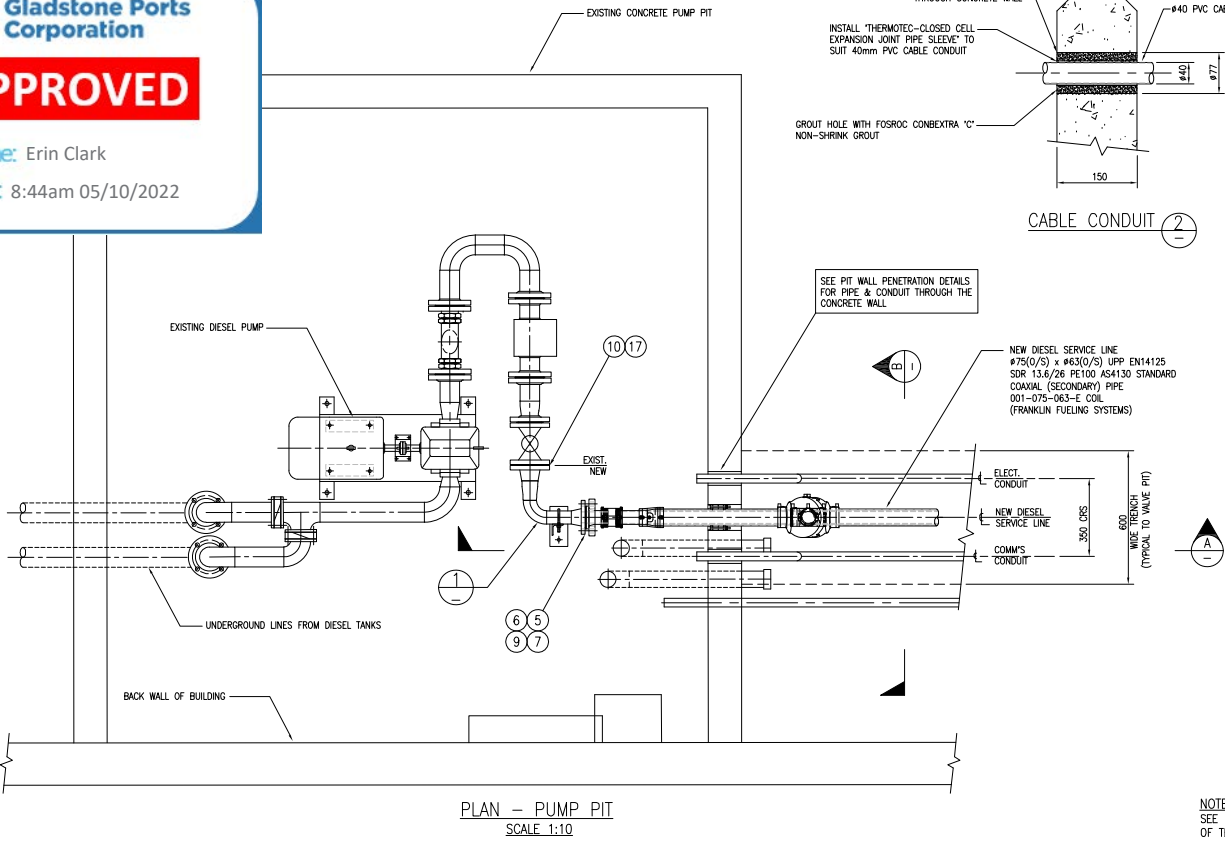
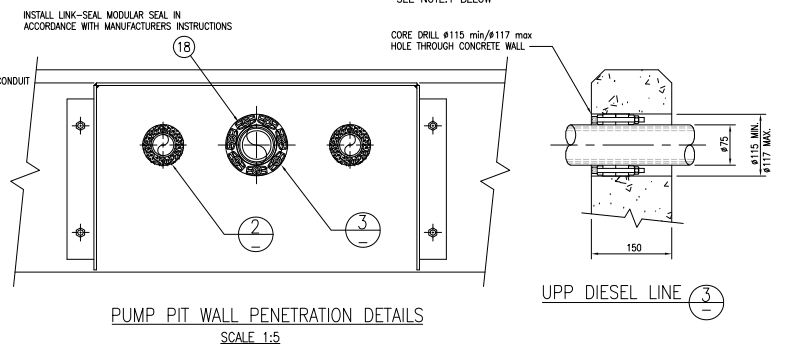
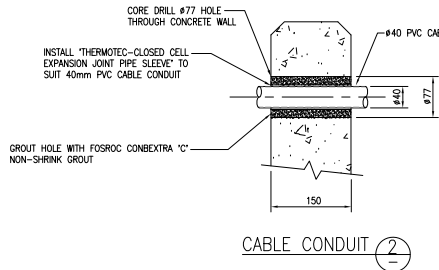
GLADSTONE HARBOUR TRAWLER WHARF
DIESEL LINE UPGRADE TO U.P.P.
BUNKER POINT RISER - BENT No.8 TO BENT. No.10



GPC Gladstone Ports Corporation

APPROVED

Name: Erin Clark
Date: 8:44am 05/10/2022



18	1	LINK-SEAL MODULAR SEAL			
		MODEL: LS-300-O-S316-7			
17	1	GASKET DN65 CL150 R/F			3mm THK
		MATERIAL: KLINGER C-4430			
16	1	ELBOW DN50 90° BUTTWELD SCH.40S	316 S/S		
15	1	REDUCER CONC. DN65 x DN50	316 S/S		
		BUTTWELD SCH.40S			
14	1	PIPE DN50 SCH.40S	316 S/S		
13	1	FLANGE DN65 CL150 R/F	316 S/S		
		WELDNECK SCH.40S			
12	1	FLANGE DN50 CL150 R/F	316 S/S		
		WELDNECK SCH.40S			
11	8	HEX NUT M16 GRADE 8.8 A4-70	316 S/S		
10	4	BOLT M16 HEX HEAD x 75 LG	316 S/S		
		GRADE 8.8 A4-70			
9	4	BOLT M16 HEX HEAD x 90 LG	316 S/S		
		GRADE 8.8 A4-70			
8	1	UPP FUSION LONG COUPLER 63mm	FRANKLIN		
		95mm LG. 02-063-L			
7	1	GASKET UPP 63mm FOR STUB 07.63	FRANKLIN		2mm THK.
6	1	BACKING FLANGE DN50 UPP 63mm	FRANKLIN		
		ANSI 06-063-A			
5	1	STUB FLANGE UPP STUB 63mm	FRANKLIN		
		05-063-L			
4	1	UPP FUSION REDUCER 75mmx63mm	FRANKLIN		
		SECONDARY & TEST PORT			
		49-075-063-TP-1			
3	1	Ø63 UPP STANDARD PRIMARY PIPE	FRANKLIN		
		EN14125 SDR 13.6 PE100 AS4130			
		001-063-006-E			
2	2	UPP ELECTROFUSION ELBOW 90°	FRANKLIN		
		63mm 03-063-EIF			
1	2	SC 75mm x 63mm UPP GEMINI 90°	FRANKLIN		
		ELBOW G3-075-063			

NOTE.1
SEE DRG. 87582 PIPING NOTES 5 & 6 FOR DETAILS OF TESTING REQUIREMENTS FOR PIPE SPOOLS

A1-87582		GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN REFERENCE DRAWINGS		SPECIFICATIONS		A		ISSUED FOR REVIEW		25-3-22		GLY		MOC. No.		PROJECT No.		EQUIPMENT No.		INDEX: SIZE: SITE SAP No. DRAWING No.		SHEET. REV.			
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BAILEY'S MARINE FUELS

GLD GLADSTONE MARINE REFUELLING FACILITY

GLADSTONE HARBOUR TRAWLER WHARF
DIESEL LINE UPGRADE TO U.P.P.
PUMP PIT DETAILS

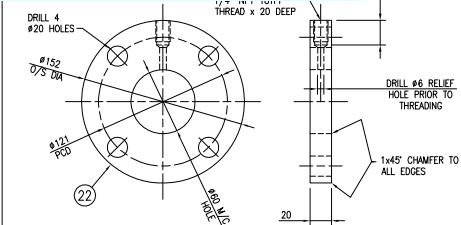
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U.A.P. 19 07 19 04 14
U.A.N. 130 8677 310

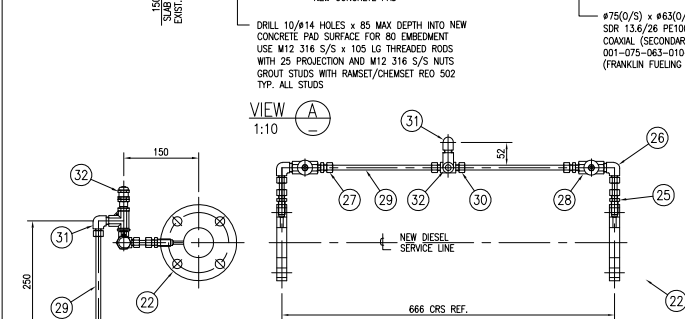
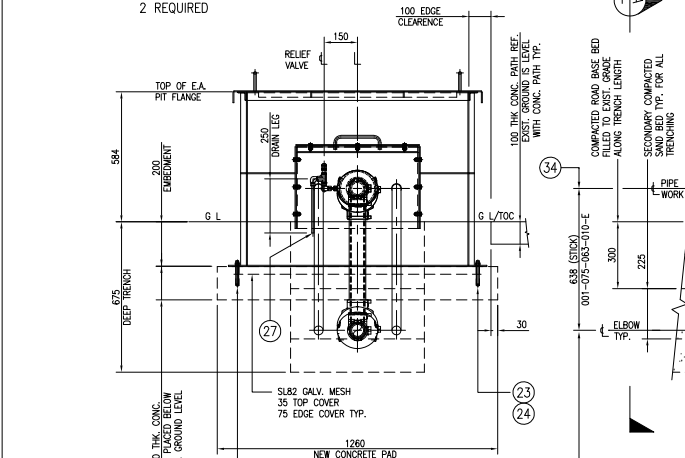
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Name: Erin Clark

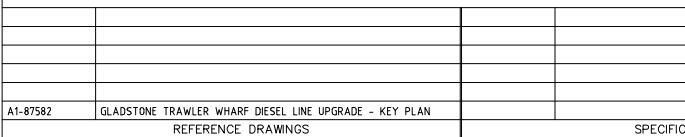
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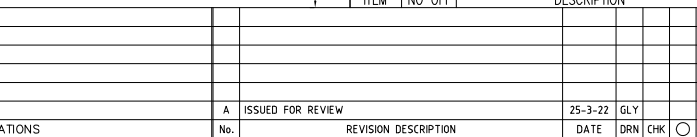
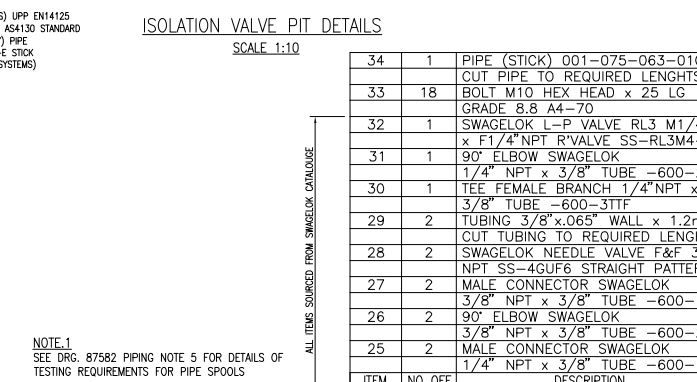
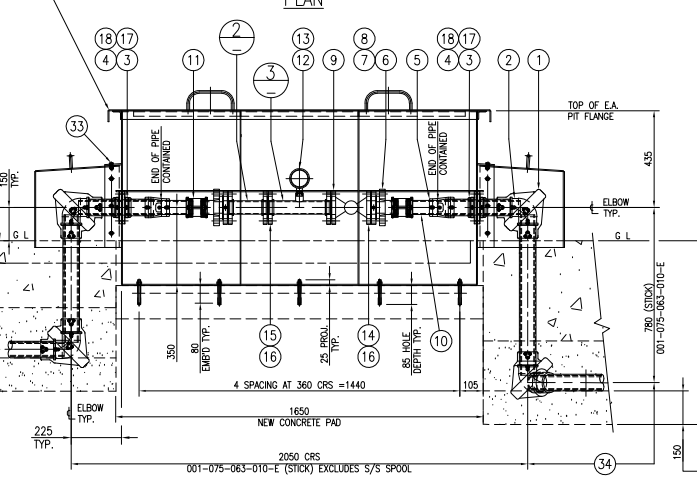
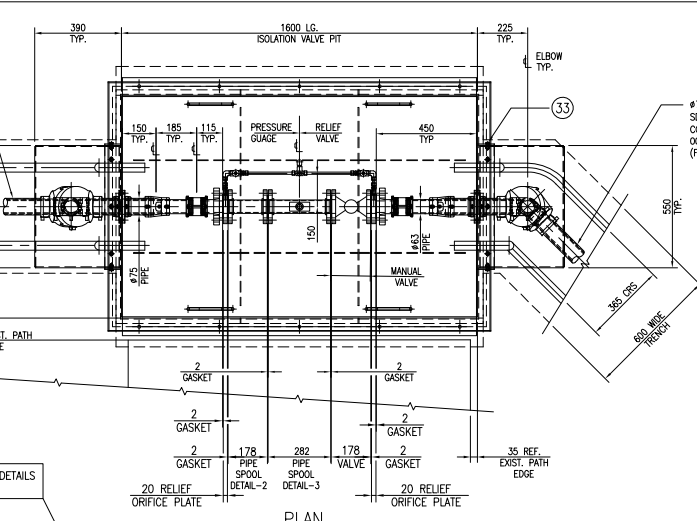
RELIEF ORIFICE PLATE DETAILS
SCALE 1:2
2 REQUIRED



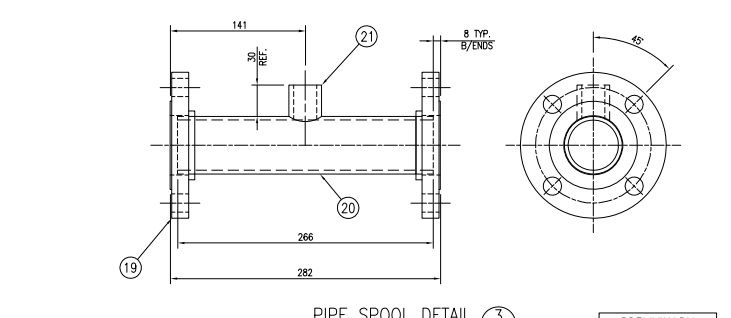
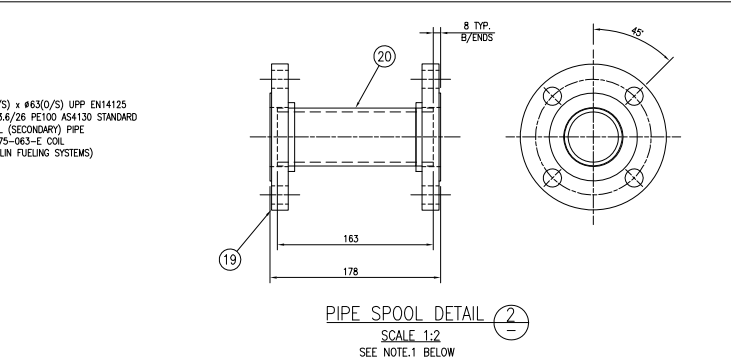
ISOLATION VALVE PIT DETAILS
SCALE 1:10



RELIEF VALVE & PIPE BYPASS DETAILS
SCALE 1:5



RELIEF VALVE & PIPE BYPASS DETAILS
SCALE 1:5



PIPE SPOOL DETAIL 3
SCALE 1:2
SEE NOTE.1 BELOW

ITEM	NO	DESCRIPTION	REMARKS
24	10	HEX NUT M12 GRADE 8.8 A2-70	304 S/S
23	10	M12 x 105 LG THREADED ROD	316 S/S
22	2	ROUND BAR Ø152.4 x 24 THK. MACHINE TO DIMENSIONS GIVEN	316 S/S
21	1	SOCKET DN25 SCREWED 150LB BSP	316 S/S
20	1	PIPE DN50 SCH.40S	316 S/S
19	4	FLANGE DN50 CL150 SLIP-ON R/F	316 S/S
18	8	HEX NUT M8 GRADE 8.8 A2-70	304 S/S
17	8	BOLT M8 HEX HEAD x 45 LG GRADE 8.8 A4-70	316 S/S
16	16	HEX NUT M16 GRADE 8.8 A2-70	304 S/S
15	8	BOLT M16 HEX HEAD x 80 LG GRADE 8.8 A4-70	316 S/S
14	8	BOLT M16 HEX HEAD x 120 LG GRADE 8.8 A4-70	316 S/S
13	1	RED. HEX. BUSH DN25x10 BSP M/F	304 S/S
12	1	PRESSURE GAUGE DIAL DIA. 100mm WIKA MODEL 213.53 PSI/1500 KPA 3/8" BSP	316 S/S
11	2	UPP FUSION LONG COUPLER 63mm 95mm LG. 02-063-L	FRANKLIN

ITEM	NO	DESCRIPTION	REMARKS
34	1	PIPE (STICK) 001-075-063-010-E	FRANKLIN 10m
33	18	PIPE (STICK) 001-075-063-010-E	FRANKLIN 10m
32	1	CUT PIPE TO REQUIRED LENGTHS	
31	1	BOLT M10 HEX HEAD x 25 LG GRADE 8.8 A4-70	316 S/S
30	1	SWAGelok L-P VALVE RL3 M1/4" NPT x F1/4" NPT R'VALVE SS-RL3M4-F4	316 S/S
29	2	1/4" NPT x 3/8" TUBE -600-2-4	316 S/S
28	2	TEE FEMALE BRANCH 1/4" NPT x 3/8" TUBE -600-3TTF	316 S/S
27	2	TUBING 3/8"x.065" WALL x 1.2m LG CUT TUBING TO REQUIRED LENGTHS	316 S/S
26	2	SWAGelok NEEDLE VALVE F&F 3/8" NPT SS-4GUF6 STRAIGHT PATTERN	316 S/S
25	2	MALE CONNECTOR SWAGelok 3/8" NPT x 3/8" TUBE -600-1-6	316 S/S
24	2	90° ELBOW SWAGelok 3/8" NPT x 3/8" TUBE -600-2-6	316 S/S
23	2	MALE CONNECTOR SWAGelok 1/4" NPT x 3/8" TUBE -600-1-4	316 S/S

ITEM	NO	DESCRIPTION	REMARKS
24	10	HEX NUT M12 GRADE 8.8 A2-70	304 S/S
23	10	M12 x 105 LG THREADED ROD	316 S/S
22	2	ROUND BAR Ø152.4 x 24 THK. MACHINE TO DIMENSIONS GIVEN	316 S/S
21	1	SOCKET DN25 SCREWED 150LB BSP	316 S/S
20	1	PIPE DN50 SCH.40S	316 S/S
19	4	FLANGE DN50 CL150 SLIP-ON R/F	316 S/S
18	8	HEX NUT M8 GRADE 8.8 A2-70	304 S/S
17	8	BOLT M8 HEX HEAD x 45 LG GRADE 8.8 A4-70	316 S/S
16	16	HEX NUT M16 GRADE 8.8 A2-70	304 S/S
15	8	BOLT M16 HEX HEAD x 80 LG GRADE 8.8 A4-70	316 S/S
14	8	BOLT M16 HEX HEAD x 120 LG GRADE 8.8 A4-70	316 S/S
13	1	RED. HEX. BUSH DN25x10 BSP M/F	304 S/S
12	1	PRESSURE GAUGE DIAL DIA. 100mm WIKA MODEL 213.53 PSI/1500 KPA 3/8" BSP	316 S/S
11	2	UPP FUSION LONG COUPLER 63mm 95mm LG. 02-063-L	FRANKLIN

PRELIMINARY ISSUE

ITEM	NO	DESCRIPTION	REMARKS
34	1	PIPE (STICK) 001-075-063-010-E	FRANKLIN 10m
33	18	CUT PIPE TO REQUIRED LENGTHS	
32	1	SWAGelok L-P VALVE RL3 M1/4" NPT x F1/4" NPT R'VALVE SS-RL3M4-F4	316 S/S
31	1	1/4" NPT x 3/8" TUBE -600-2-4	316 S/S
30	1	TEE FEMALE BRANCH 1/4" NPT x 3/8" TUBE -600-3TTF	316 S/S
29	2	TUBING 3/8"x.065" WALL x 1.2m LG CUT TUBING TO REQUIRED LENGTHS	316 S/S
28	2	SWAGelok NEEDLE VALVE F&F 3/8" NPT SS-4GUF6 STRAIGHT PATTERN	316 S/S
27	2	MALE CONNECTOR SWAGelok 3/8" NPT x 3/8" TUBE -600-1-6	316 S/S
26	2	90° ELBOW SWAGelok 3/8" NPT x 3/8" TUBE -600-2-6	316 S/S
25	2	MALE CONNECTOR SWAGelok 1/4" NPT x 3/8" TUBE -600-1-4	316 S/S

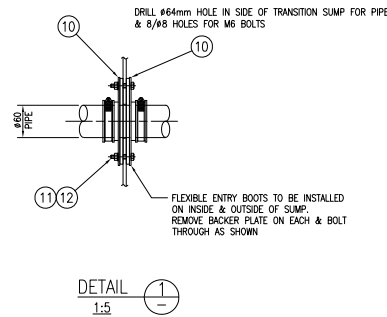
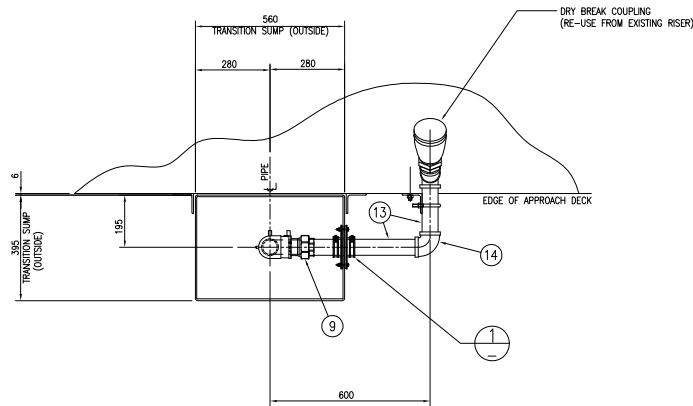
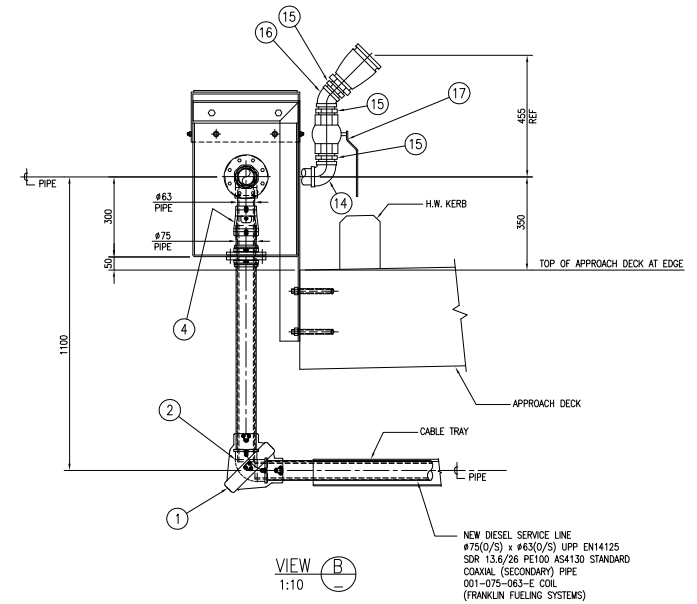
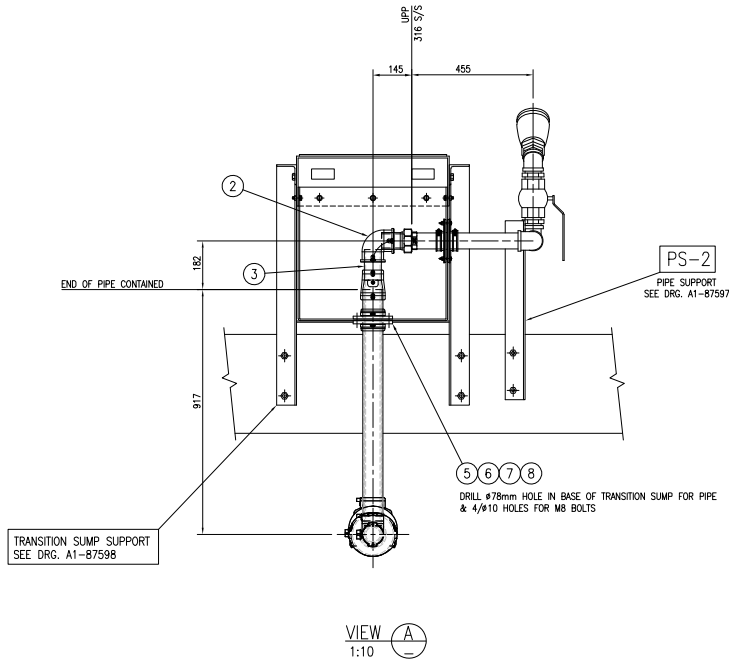
PRELIMINARY ISSUE

BAILEY'S FUELS
OLD GLADSTONE MARINE REFUELLING FACILITY
GLADSTONE HARBOUR TRAWLER WHARF
DIESEL LINE UPGRADE TO U.P.P.
ISOLATION VALVE PIT DETAILS

APPROVED

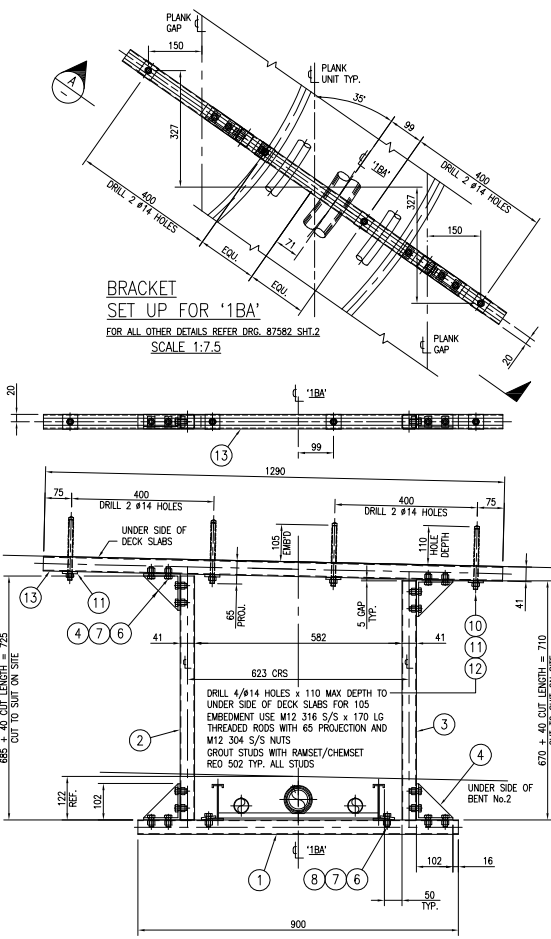
Name: Erin Clark

Date: 8:44am 05/10/2022



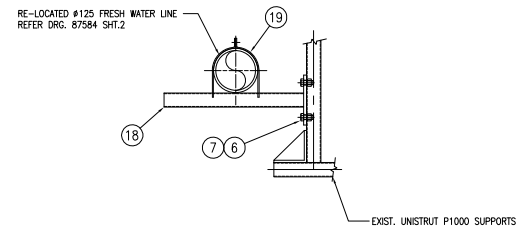
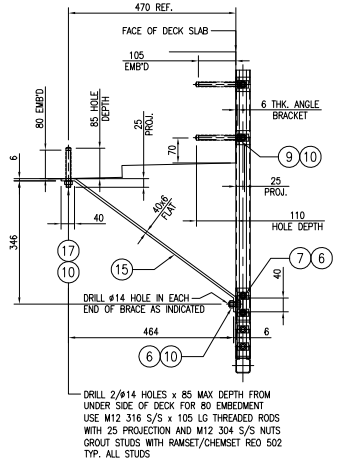
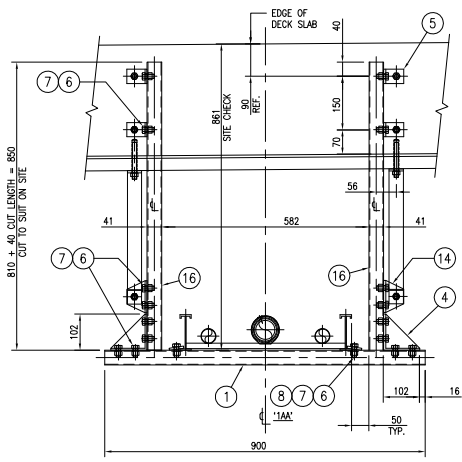
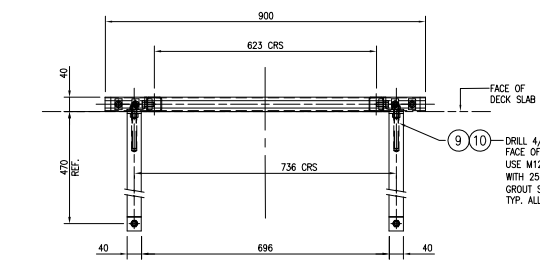
ITEM	NO	DESCRIPTION	QTY	REMARKS	DRG NUMBER
17	1	BALL VALVE DN50 THREADED BSPT	316 S/S		
		VELAN MODEL: EE-1000			
16	1	ELBOW 45° 150# THREADED BSPT	316 S/S		
15	3	HEX. NIPPLE 150# THREADED BSPT	316 S/S		
14	2	ELBOW 90° 150# THREADED BSPT	316 S/S		
13	1	PIPE DN50 SCH.80S	316 S/S		
12	8	HEX NUT M8 GRADE 8.8 A2-70	316 S/S		
11	8	BOLT M6 HEX HEAD x 40 LG	316 S/S		
10	2	APT FLEXIBLE ENTRY BOOT Ø61mm	FRANKLIN		
		FEB-175-SC			
9	1	UPP UNION TERM 63mm x 2" BSPT	FRANKLIN		
		92-063 UF BSPT FEMALE			
8	4	HEX NUT M8 GRADE 8.8 A2-70	316 S/S		
7	4	BOLT M8 HEX HEAD x 45 LG	316 S/S		
6	2	'JBS' H'DUTY T-BOLT CLAMP	BL'KWOODS		
		FULL S/S BW/01291650	430 S/S		
5	2	PETRO SEAL 50mmx75mm MODIFIED	FRANKLIN		
		TO SUIT Ø75 O/S PIPE (PS3)			
		05-063-L			
4	1	UPP FUSION REDUCER 75mmx63mm	FRANKLIN		
		SECONDARY & TEST PORT			
		49-075-063-TP-1			
3	1	Ø63 UPP STANDARD PRIMARY PIPE	FRANKLIN		
		EN14125 SDR 13.6 PE100 AS4130			
		001-063-006-E			
2	2	UPP ELECTROFUSION ELBOW 90°	FRANKLIN		
		63mm 03-063-EIF			
1	1	SC 75mm x 63mm UPP GEMINI 90°	FRANKLIN		
		ELBOW G3-075-063			

A1-87582		GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN REFERENCE DRAWINGS		SPECIFICATIONS		A		ISSUED FOR REVIEW		25-3-22		GLY		MOG. No.		PROJECT No.		EQUIPMENT No.		INDEX. No.		SITE SAP No.		DRAWING No.		SHEET. REV.	
No.	REVISION DESCRIPTION	DATE	DRN	CHK	○	○	○	○	○	○	○	○	○	○	M21008		L	A1	11850	87584	9	A					
<p style="text-align: center;">BAILEY'S MARINE FUELS</p> <p style="text-align: center;">GLD GLADSTONE MARINE REFUELLING FACILITY</p> <p style="text-align: center;">GLADSTONE HARBOUR TRAWLER WHARF DIESEL LINE UPGRADE TO U.P.P. BUNKER POINT RISER & TRANSITION SUMP</p> <p style="text-align: center;"><small>CONTRACTOR TO BE ADVISED THAT THIS DRAWING IS A DESIGN AND NOT TO BE COPIED IN WHOLE OR PART WITHOUT THE WRITTEN CONSENT OF GLADSTONE PORTS CORPORATION</small></p>																											



VIEW A
1:7.5

TYP. BRACKET DETAILS FOR '1BA'
SCALE 1:7.5
REFER DRAWING 87584 SHT.2



TYP. BRACKET DETAILS FOR '1BC' & '1BD'
SCALE 1:7.5

GPC Gladstone Ports Corporation

APPROVED

Name: Erin Clark
Date: 8:44am 05/10/2022

PRELIMINARY ISSUE

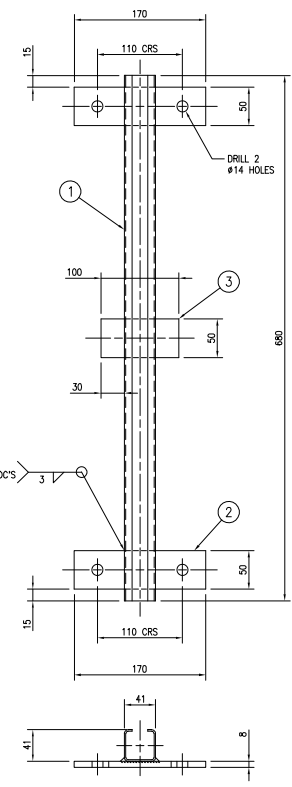
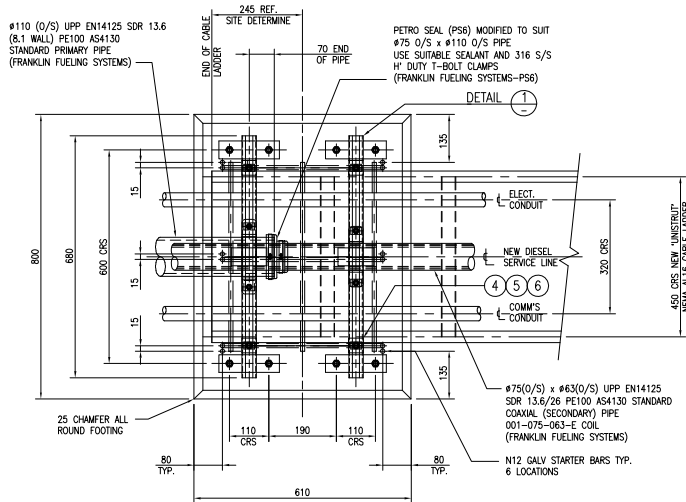
ITEM	NO	OFF	DESCRIPTION	REMARKS
19	2		UNISTRUT P2062 S/S PIPE CLAMP	316 S/S
18	2		UNISTRUT PCL300 BRACKET & BRACE	316 S/S
17	2		M12 x 105 LG THREADED ROD	316 S/S
16	2		UNISTRUT P1000-SS x 850 LG	316 S/S
15	2		BRACE MADE FROM 40x6 FLAT BAR AS INDICATED DRILLED ø14 HOLES	316 S/S
14	2		UNISTRUT P1357 90° ANGLE BRACKET	316 S/S
13	1		UNISTRUT P1000-SS x 1290 LG	316 S/S
12	4		M12 x 170 LG THREADED ROD	316 S/S
11	4		UNISTRUT P1064-SS WASHER	316 S/S
10	12		M12 HEX NUT	304 S/S
9	4		M12 x 130 LG THREADED ROD	316 S/S
8	4		UNISTRUT 16A LUG50SS WASHER	316 S/S
7	40		UNISTRUT P1013-SS STRUT NUT	316 S/S
6	40		UNISTRUT HHS1230 M12 BOLT	316 S/S
5	4		UNISTRUT P1068 90° ANGLE BRACKET	316 S/S
4	6		UNISTRUT P2484 90° BRACKET	316 S/S
3	1		UNISTRUT P1000-SS x 710 LG	316 S/S
2	1		UNISTRUT P1000-SS x 725 LG	316 S/S
1	2		UNISTRUT P1000-SS x 900 LG	316 S/S

A1-87582		GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN REFERENCE DRAWINGS		SPECIFICATIONS		A		ISSUED FOR REVIEW		25-3-22		GLY		MOG. No.		PROJECT No.		EQUIPMENT No.		INDEX: SIZE: SITE SAP No. DRAWING No.		SHEET. REV.	
No.	REVISION DESCRIPTION	DATE	DRN	CHK	○	○	○	○	○	○	○	○	○	○	M21008		M	A1	11850	87595	1	A	
<p>BAILEY'S MARINE FUELS</p> <p>GLD GLADSTONE MARINE REFUELLING FACILITY</p> <p>GLADSTONE HARBOUR TRAWLER WHARF DIESEL LINE UPGRADE TO U.P.P. UNISTRUT SUPPORT BRACKET DETAILS</p> <p>CONTRACTOR: THE DRAWING & DESIGN MUST NOT BE COPIED IN WHOLE OR PART WITHOUT THE WRITTEN CONSENT OF GRANITE BUILT PTY LTD. (A/N 130 8677 316)</p>																							

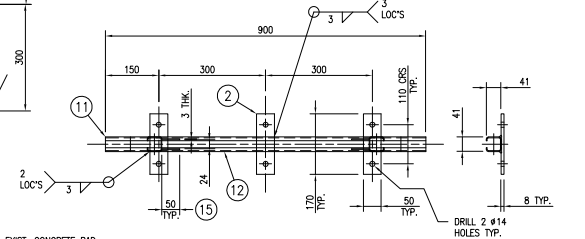
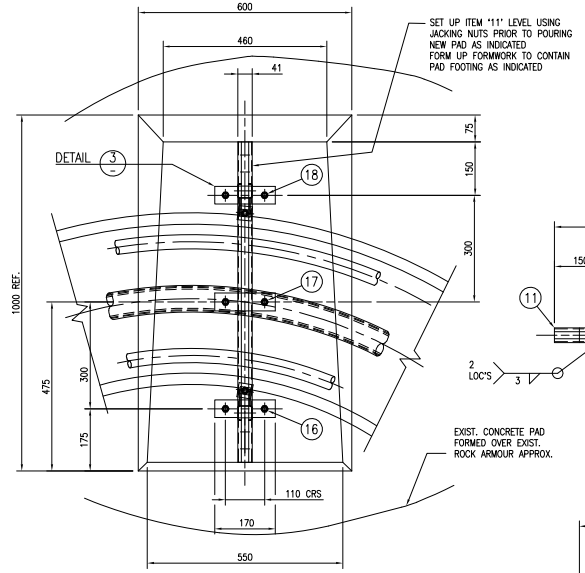
APPROVED

Name: Erin Clark

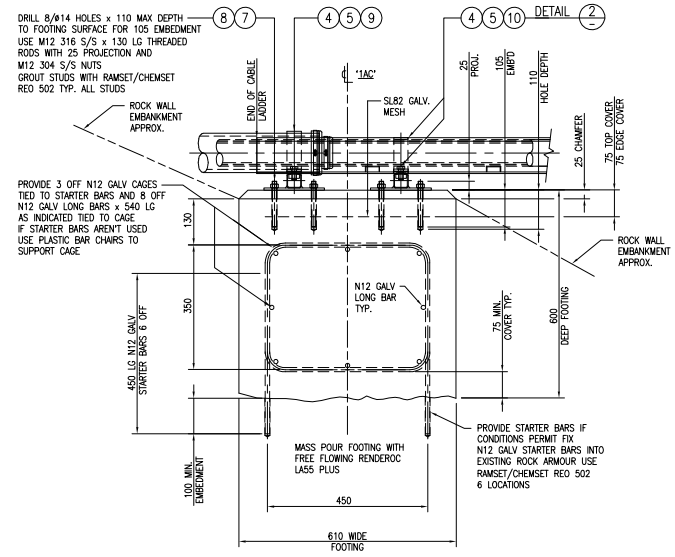
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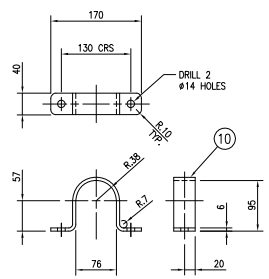
DETAIL 1 No. REQ'D - 2 OFF
SCALE 1:5



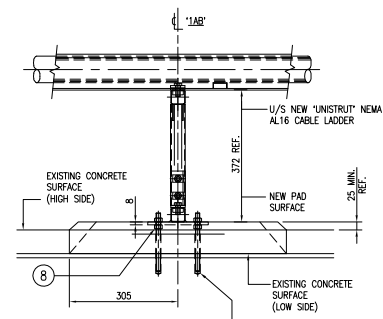
DETAIL 3 No. REQ'D - 1 OFF
SCALE 1:7.5



TYP. BRACKET DETAILS FOR '1AC'
SCALE 1:7.5
REFER DRAWING 87584 SHT.2

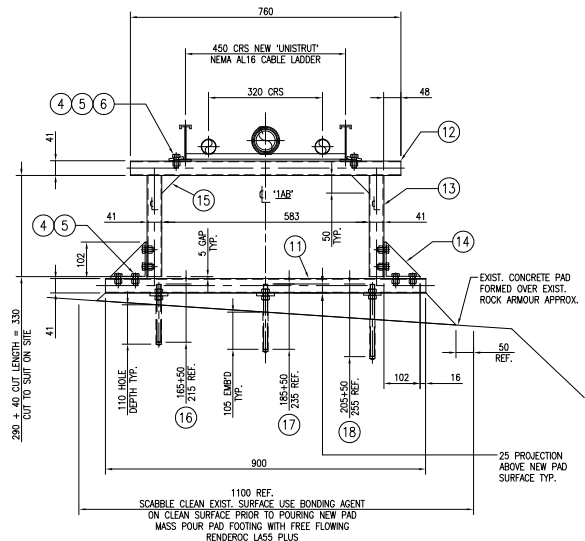


DETAIL 2 No. REQ'D - 1 OFF
SCALE 1:5



DRILL 6/#14 HOLES x 110 MAX DEPTH INTO EXISTING CONCRETE PAD SURFACE FOR 10S EMBEDMENT USE M12 316 S/S THREADED RODS AS INDICATED WITH 25 PROJECTION ABOVE NEW PAD SURFACE AND WITH 2 x M12 304 S/S NUTS (ONE TO LEVEL BR/PLATES AND ONE TO LOCK) DETERMINE M12 THREADED ROD LENGTHS ON SITE CUT EXCESS ROD OFF TO 25 PROJ. AFTER SETUP GROUT STUDS WITH RAMSET/CHEMSET REO 502 TYP. ALL STUDS

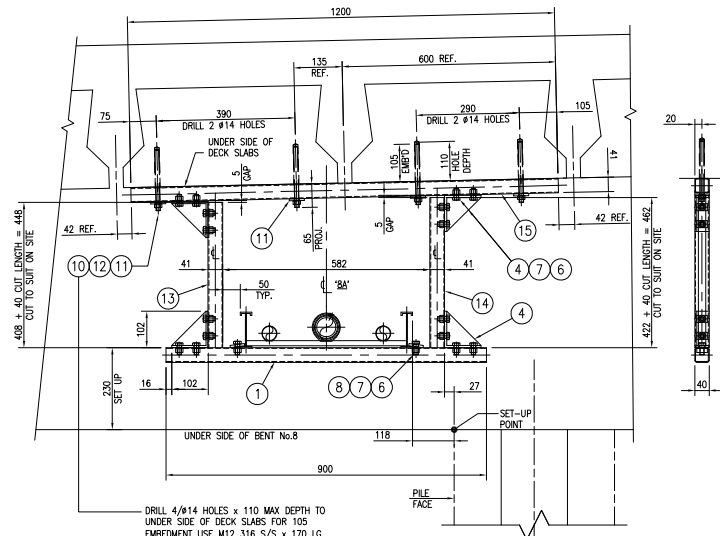
TYP. BRACKET DETAILS FOR '1AB'
SCALE 1:7.5
REFER DRAWING 87584 SHT.2



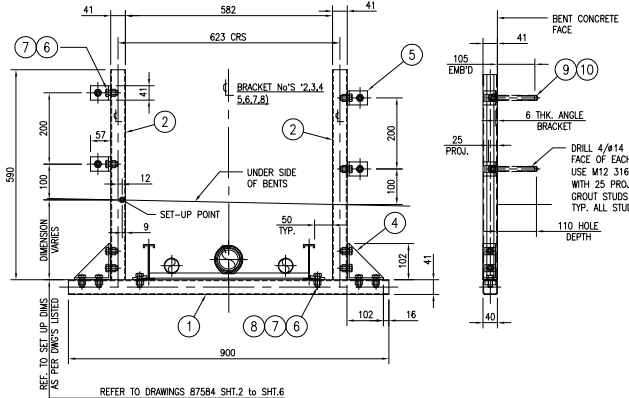
15	4	GUSSET 50x45x3 FLAT AS INDICATED	316 S/S
14	2	UNISTRUT P2484 90° BRACKET	316 S/S
13	2	UNISTRUT P1000-SS x 330 LG	316 S/S
12	1	UNISTRUT P1000-SS x 760 LG	316 S/S
11	1	UNISTRUT P1000-SS x 900 LG	316 S/S
10	1	SADDLE MADE FROM 40x6 FLAT BAR x 210 LG AS INDICATED DRILLED #14 HOLES	316 S/S
9	1	UNISTRUT UN15-114 SADDLE CLAMP	316 S/S
8	20	M12 HEX NUT	304 S/S
7	8	M12 x 130 LG THREADED ROD	316 S/S
6	6	UNISTRUT 16A LUG50SS WASHER	316 S/S
5	18	UNISTRUT P1013-SS STRUT NUT	316 S/S
4	18	UNISTRUT HHS1230 M12 BOLT	316 S/S
3	2	FLAT BAR 50 x 8THK x 100 LG	316 S/S
2	4	FLAT BAR 50 x 8THK x 170 LG	316 S/S
1	2	UNISTRUT P1000-SS x 680 LG	316 S/S

PRELIMINARY ISSUE

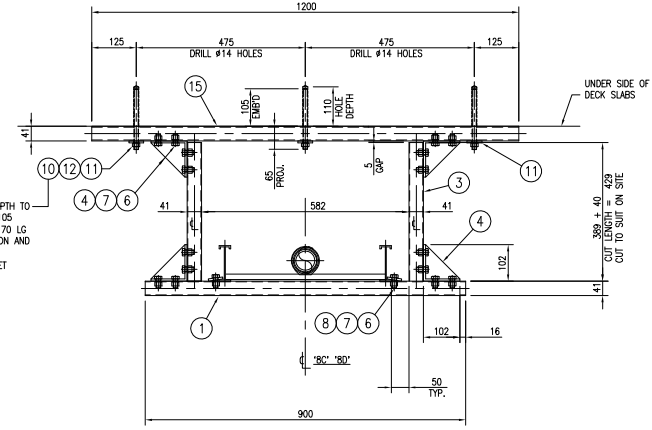
ITEM	NO	OFF	DESCRIPTION	REMARKS	DWG NUMBER	ITEM	NO	OFF	DESCRIPTION	REMARKS
18	2		M12 x 255 LG THREADED ROD	316 S/S						
17	2		M12 x 235 LG THREADED ROD	316 S/S						
16	2		M12 x 215 LG THREADED ROD	316 S/S						



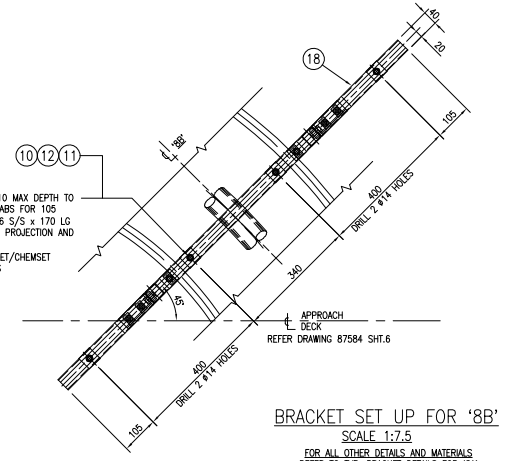
TYP. BRACKET DETAILS FOR '8A'
SCALE 1:7.5
REFER DRAWING 87584 SHT.6



TYP. BRACKET DETAILS AT BENT No'S 2,3,4,5,6,7,8
SCALE 1:7.5



TYP. BRACKET DETAILS FOR '8C' & '8D'
SCALE 1:7.5
REFER DRAWING 87584 SHT.6



BRACKET SET UP FOR '8B'
SCALE 1:7.5
FOR ALL OTHER DETAILS AND MATERIALS REFER TO TYP. BRACKET DETAILS FOR '8A'

DRILL 3/8" HOLES x 110 MAX DEPTH TO UNDER SIDE OF DECK SLABS FOR 105 EMBEDMENT USE M12 316 S/S x 170 LG THREADED RODS WITH 65 PROJECTION AND M12 304 S/S NUTS GROUT STUDS WITH RAMSET/CHEMSET RED 502 TYP. ALL STUDS

DRILL 4/8" HOLES x 110 MAX DEPTH TO UNDER SIDE OF DECK SLABS FOR 105 EMBEDMENT USE M12 316 S/S x 170 LG THREADED RODS WITH 65 PROJECTION AND M12 304 S/S NUTS GROUT STUDS WITH RAMSET/CHEMSET RED 502 TYP. ALL STUDS

DRILL 4/8" HOLES x 110 MAX DEPTH FROM FACE OF EACH BENT FOR 105 EMBEDMENT USE M12 316 S/S x 130 LG THREADED RODS WITH 25 PROJECTION AND M12 304 S/S NUTS GROUT STUDS WITH RAMSET/CHEMSET RED 502 TYP. ALL STUDS

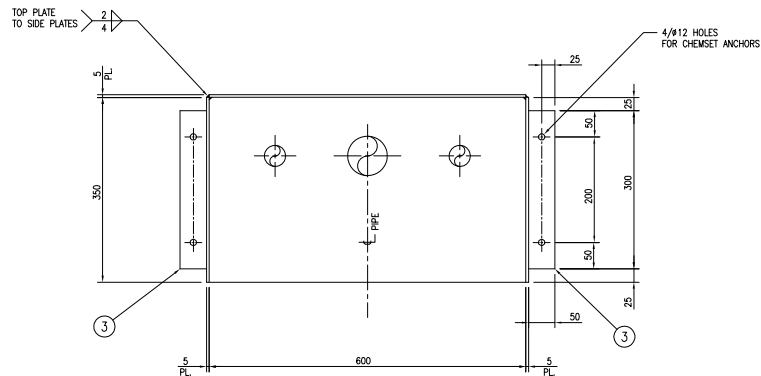
ITEM	NO	OFF	DESCRIPTION	REMARKS
20	5		UNISTRUT P1000-SS x 462 LG	316 S/S
19	5		UNISTRUT P1000-SS x 448 LG	316 S/S
18	10		UNISTRUT P1000-SS x 1350 LG	316 S/S
17	5		UNISTRUT P1000-SS x 862 LG	316 S/S
16	5		UNISTRUT P1000-SS x 848 LG	316 S/S
15	3		UNISTRUT P1000-SS x 1200 LG	316 S/S
14	1		UNISTRUT P1000-SS x 462 LG	316 S/S
13	1		UNISTRUT P1000-SS x 448 LG	316 S/S
12	44		M12 x 170 LG THREADED ROD	316 S/S
11	44		UNISTRUT P1064-SS WASHER	316 S/S
10	68		M12 HEX NUT	304 S/S
9	24		M12 x 130 LG THREADED ROD	316 S/S
8	34		UNISTRUT 16A LUG50SS WASHER	316 S/S
7	236		UNISTRUT P1013-SS STRUT NUT	316 S/S
6	236		UNISTRUT HHS1230 M12 BOLT	316 S/S
5	24		UNISTRUT P1068 90° ANGLE BRACKET	316 S/S
4	56		UNISTRUT P2484 90° BRACKET	316 S/S
3	4		UNISTRUT P1000-SS x 429 LG	316 S/S
2	7		UNISTRUT P1000-SS x 590 LG	316 S/S
1	17		UNISTRUT P1000-SS x 900 LG	316 S/S

PRELIMINARY ISSUE

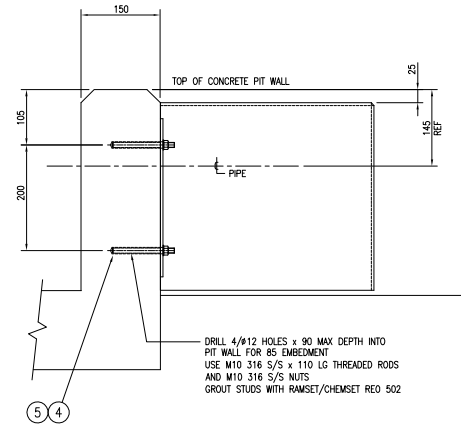
A1-87582	GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN REFERENCE DRAWINGS	SPECIFICATIONS	A	ISSUED FOR REVIEW	25-3-22	GLY	MOG. No.	PROJECT No.	EQUIPMENT No.	INDEX SIZE	SITE SAP No.	DRAWING No.	SHEET. REV.
			No.	REVISION DESCRIPTION	DATE	DRN		M21008		M	A1	11850 87595	3 A



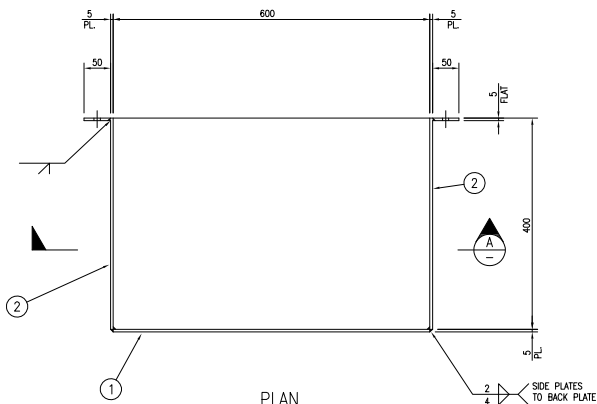
GLD GLADSTONE MARINE REFUELLING FACILITY
GLADSTONE HARBOUR TRAWLER WHARF
DIESEL LINE UPGRADE TO U.P.P.
UNISTRUT SUPPORT BRACKET DETAILS



VIEW A
SCALE 1:5



SIDE VIEW
SCALE 1:5



PLAN
SCALE 1:5

GPC Gladstone Ports Corporation

APPROVED

Name: Erin Clark

Date: 8:44am 05/10/2022

PRELIMINARY ISSUE

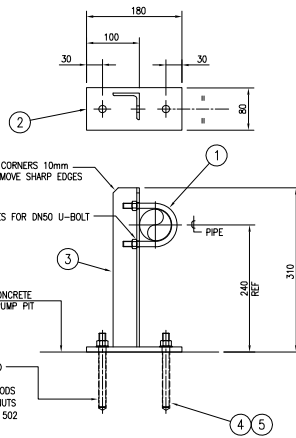
ITEM	NO	OFF	DESCRIPTION	REMARKS
5	4		HEX NUT M10 GRADE 8.8 A4-70	316 S/S
4	4		M10 x 110 LG THREADED ROD	316 S/S
3	2		FLAT 50 x 5 THK x 300 LG DRILLED	316 S/S
2	2		PLATE 400 x 5 THK x 350 LG	316 S/S
1	2		PLATE 350 x 5 THK x 600 LG	316 S/S

A1-87582	GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN	REFERENCE DRAWINGS	SPECIFICATIONS	A	ISSUED FOR REVIEW	25-3-22	GLY	DRN	CHK	○	○	○	○	○	○	○	○
No.	REVISION DESCRIPTION	DATE															



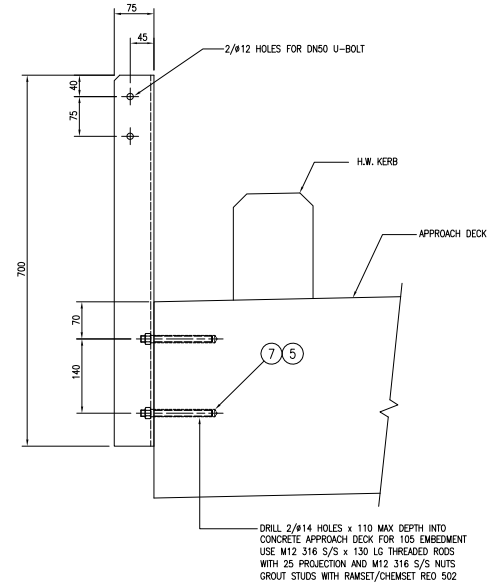
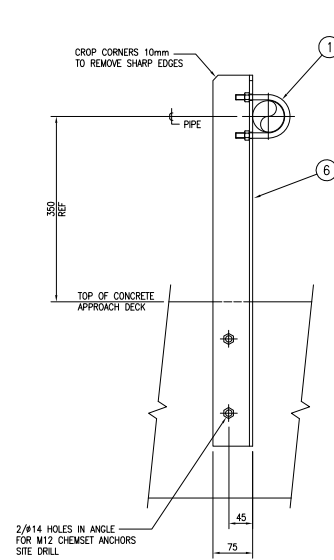
GLD GLADSTONE MARINE REFUELLING FACILITY
GLADSTONE HARBOUR TRAWLER WHARF
DIESEL LINE UPGRADE TO U.P.P.
PUMP PIT - PIPE COVER BOX

MOC No.	PROJECT No.	EQUIPMENT No.	INDEX SIZE	SITE SAP No.	DRAWING No.	SHEET	REV.
	M21008		M A1	11850	87596	2	A



DRILL 2/#14 HOLES x 90 MAX DEPTH INTO CONCRETE PIT BASE FOR 85 EMBEDMENT USE M12 316 S/S x 110 LG THREADED RODS WITH 25 PROJECTION AND M12 316 S/S NUTS GROUT STUDS WITH RAMSET/CHEMSET RED 502

PIPE SUPPORT 'PS-1'
SCALE 1:5



PIPE SUPPORT 'PS-2'
SCALE 1:5

Gladstone Ports Corporation

APPROVED

Name: Erin Clark

Date: 8:44am 05/10/2022

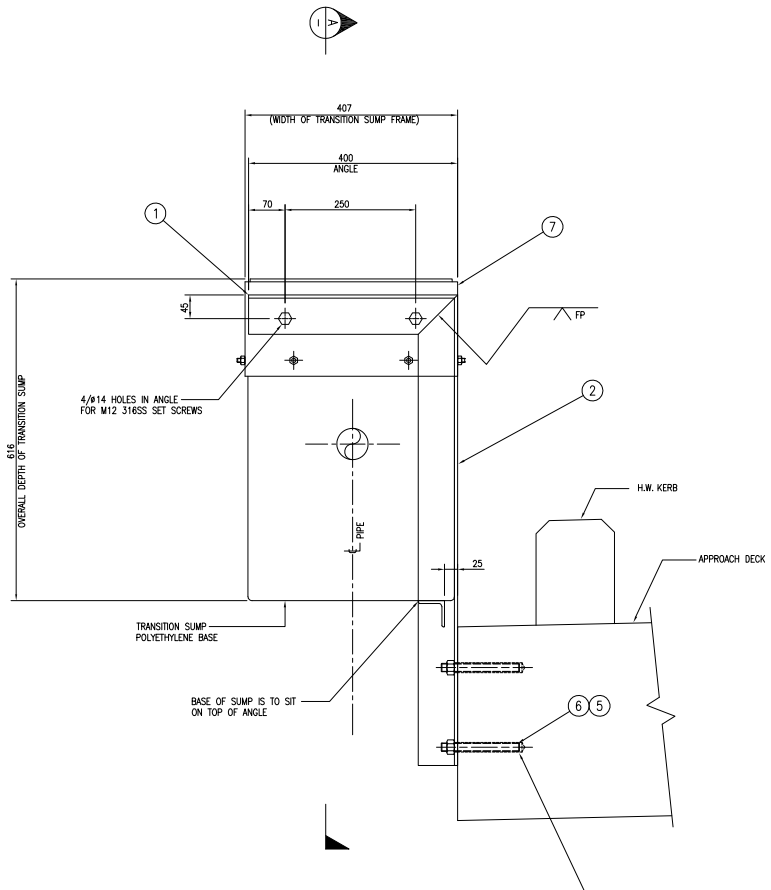
PRELIMINARY ISSUE

ITEM	NO OFF	DESCRIPTION	REMARKS
7	2	M12 x 130 LG THREADED ROD	316 S/S
6	1	75 x 6 THK ANGLE x 700 LG	316 S/S
5	4	HEX NUT M12 GRADE 8.8 A4-70	316 S/S
4	2	M12 x 110 LG THREADED ROD	316 S/S
3	1	50 x 6 THK ANGLE x 300 LG	316 S/S
2	1	10 THK PLATE 1180 LG x 80 W	316 S/S
1	2	U-BOLT DN50 HEAVY DUTY	316 S/S

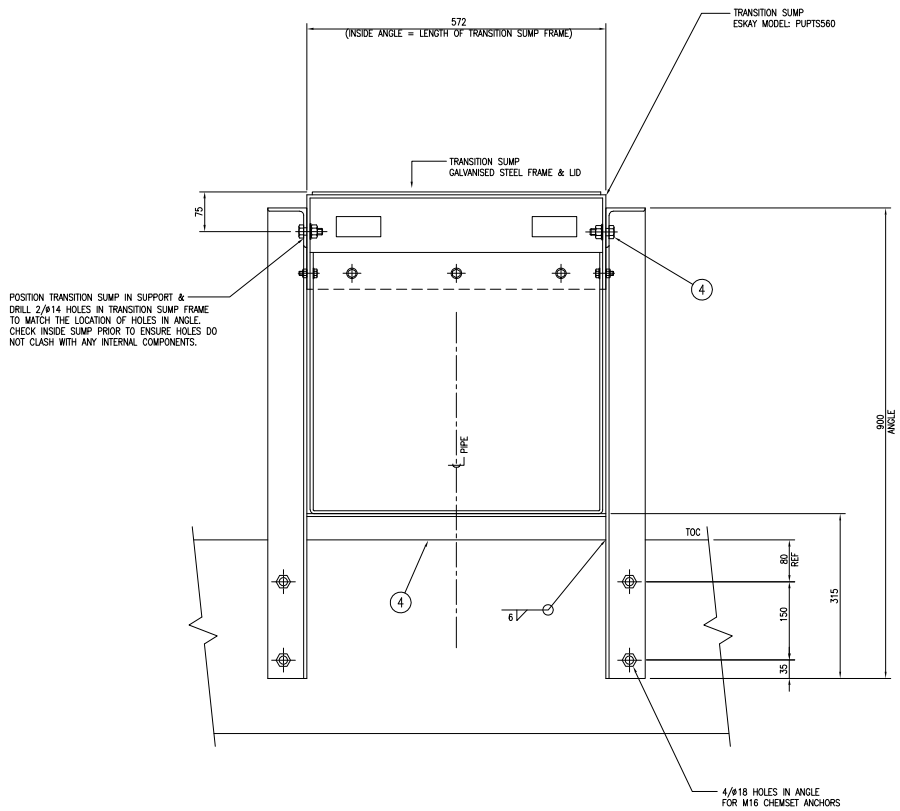
No.	REVISION DESCRIPTION	DATE	DRN	CHK	○	○	○	○	○	○
A1-87582	GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN	25-3-22	GLY							
	REFERENCE DRAWINGS									

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AUSTRALIA
1800 667 370
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QLD GLADSTONE		MARINE REFUELLING FACILITY	
GLADSTONE HARBOUR TRAWLER WHARF			
DIESEL LINE UPGRADE TO U.P.P.			
PIPE SUPPORT DETAILS			
WOC No.	PROJECT No.	EQUIPMENT No.	INDEX, SIZE, SITE, SAP No., DRAWING No., SHEET, REV.
	M21008		L A1 11850 87597 0 A



SIDE VIEW
SCALE 1:5



VIEW A
1:5


APPROVED
 Name: Erin Clark
 Date: 8:44am 05/10/2022

NOTE
 ALL TRANSITION SUMP DIMENSIONS ARE TO BE CONFIRMED PRIOR TO COMMENCING FABRICATION. SHOULD DIMENSIONS DIFFER FROM THOSE SHOWN ON THIS DRAWING THE SUPPORT IS TO BE ADJUSTED TO SUIT

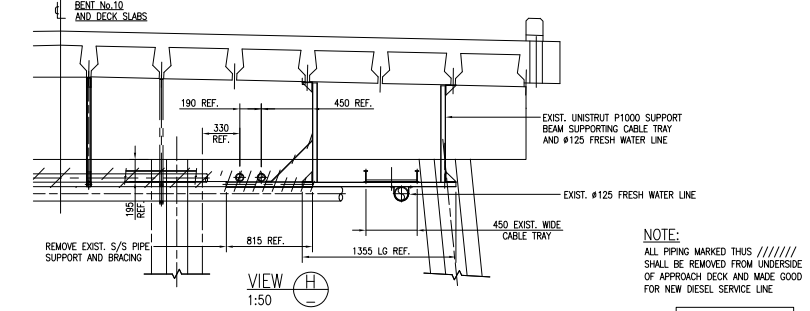
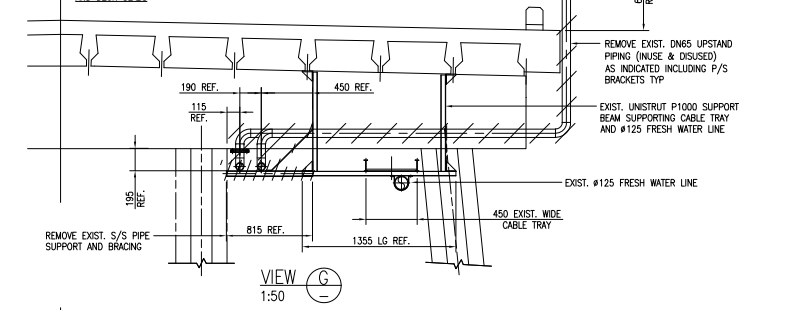
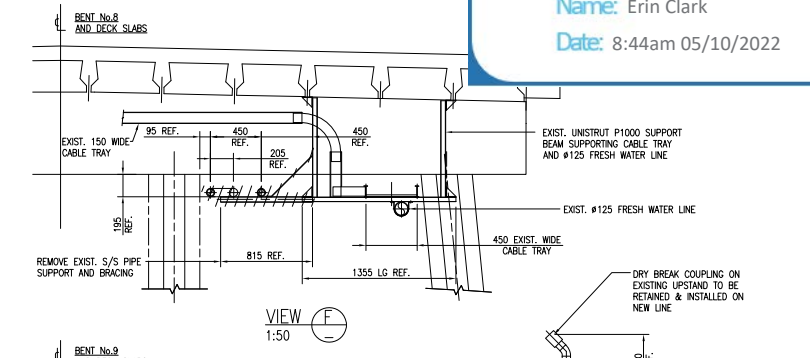
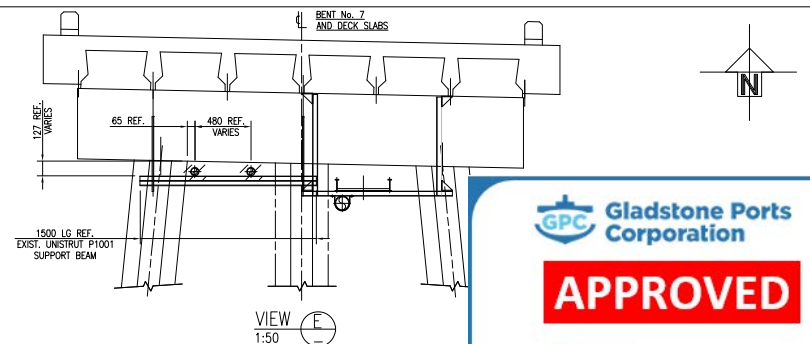
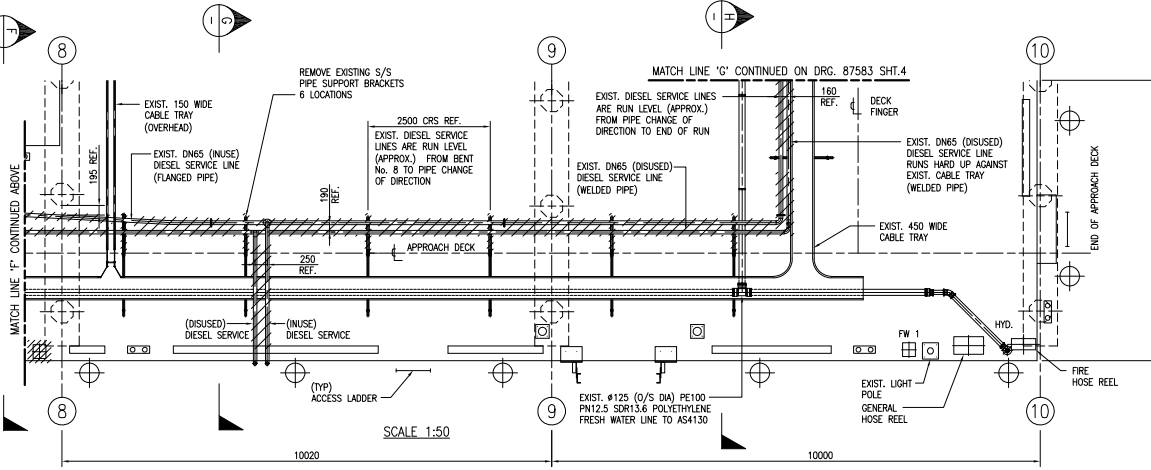
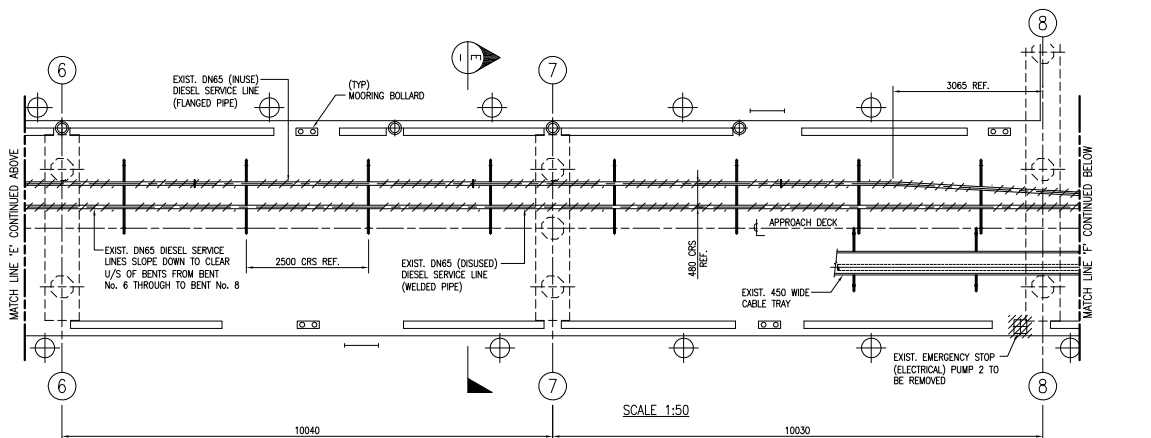
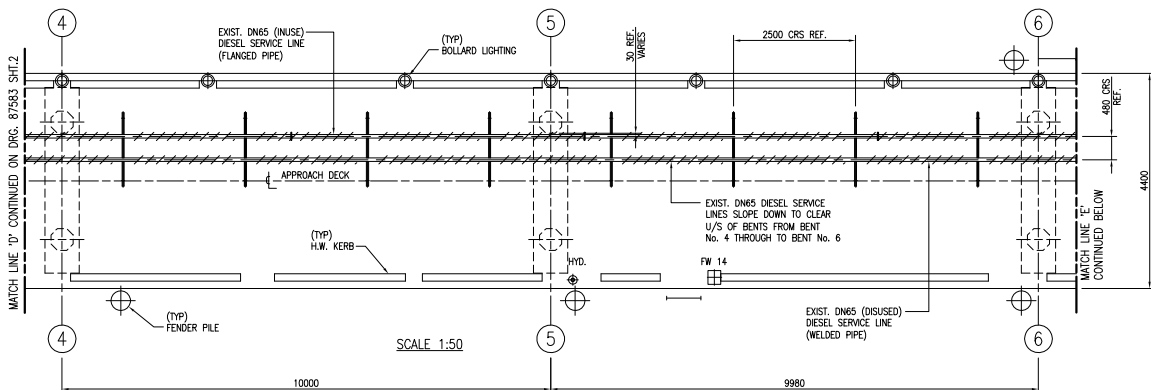
PRELIMINARY
ISSUE

ITEM	NO	OFF	DESCRIPTION	REMARKS
7	1		TRANSITION SUMP ESKAY MODEL: PUPTS560	
6	4		HEX NUT M16 GRADE 8.8 A4-70	316 S/S
5	4		M16 x 160 LG THREADED ROD	316 S/S
4	4		M12 x 45 LG SET SCREW c/w HEX NUT & WASHER	316 S/S
3	1		ANGLE 50 x 6 THK x 572 LG	316 S/S
2	2		ANGLE 75 x 6 THK x 900 LG	316 S/S
1	2		ANGLE 75 x 6 THK x 400 LG	316 S/S

A1-87582		GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN		SPECIFICATIONS		A		ISSUED FOR REVIEW		25-3-22		GLY		MOC. No.		PROJECT No.		EQUIPMENT No.		INDEX. SIZE.		SITE SAP No.		DRAWING No.		SHEET. REV.	
		REFERENCE DRAWINGS				No.		REVISION DESCRIPTION		DATE		DRN		M21008						M		A1 11850		87598		0 A	

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QLD GLADSTONE MARINE REFUELLING FACILITY
 GLADSTONE HARBOUR TRAWLER WHARF
 DIESEL LINE UPGRADE TO U.P.P.
 TRANSITION SUMP SUPPORT



GPC Gladstone Ports Corporation

APPROVED

Name: Erin Clark
Date: 8:44am 05/10/2022

NOTE:
ALL PIPING MARKED THUS // //// SHALL BE REMOVED FROM UNDERSIDE OF APPROACH DECK AND MADE GOOD FOR NEW DIESEL SERVICE LINE

PRELIMINARY ISSUE

A1-87582		GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN		SPECIFICATIONS		A		ISSUED FOR REVIEW		25-3-22		GLY		MOC. No.		PROJECT No.		EQUIPMENT No.		INDEX		SITE SAP No.		DRAWING No.		SHEET. REV.			
GLADSTONE TRAWLER WHARF DIESEL LINE UPGRADE - KEY PLAN		REFERENCE DRAWINGS		SPECIFICATIONS		No.		REVISION DESCRIPTION		DATE		DRN		CHK		M21008				L		A1		11850		87583		3 A	



OLD GLADSTONE MARINE REFUELLING FACILITY

GLADSTONE HARBOUR TRAWLER WHARF
REMOVAL OF EXISTING STEEL DIESEL LINE
APPROACH DECK PIPING BENT #4 TO BENT #10

CONTRACT: THE DRAWINGS & DESIGN MUST NOT BE COPIED IN WHOLE OR PART WITHOUT THE WRITTEN CONSENT OF GRADNAP BULK FTS LTD.
JAN 1991 8477 316

Schedule 1 Appeals

section 229

1 Appeal rights and parties to appeals

- (1) Table 1 states the matters that may be appealed to—
 - (a) the P&E court; or
 - (b) a tribunal.
- (2) However, table 1 applies to a tribunal only if the matter involves—
 - (a) the refusal, or deemed refusal of a development application, for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (b) a provision of a development approval for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (c) if a development permit was applied for—the decision to give a preliminary approval for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (d) a development condition if—
 - (i) the development approval is only for a material change of use that involves the use of a building classified under the Building Code as a class 2 building; and

-
- (ii) the building is, or is proposed to be, not more than 3 storeys; and
 - (iii) the proposed development is for not more than 60 sole-occupancy units; or
 - (e) a decision for, or a deemed refusal of, an extension application for a development approval that is only for a material change of use of a classified building; or
 - (f) a decision for, or a deemed refusal of, a change application for a development approval that is only for a material change of use of a classified building; or
 - (g) a matter under this Act, to the extent the matter relates to the Building Act, other than a matter under that Act that may or must be decided by the Queensland Building and Construction Commission; or
 - (h) a decision to give an enforcement notice—
 - (i) in relation to a matter under paragraphs (a) to (g); or
 - (ii) under the *Plumbing and Drainage Act 2018*; or
 - (i) an infrastructure charges notice; or
 - (j) the refusal, or deemed refusal, of a conversion application; or
 - (l) a matter prescribed by regulation.
- (3) Also, table 1 does not apply to a tribunal if the matter involves—
- (a) for a matter in subsection (2)(a) to (d)—
 - (i) a development approval for which the development application required impact assessment; and
 - (ii) a development approval in relation to which the assessment manager received a properly made submission for the development application; or
 - (b) a provision of a development approval about the identification or inclusion, under a variation approval, of a matter for the development.

- (4) Table 2 states the matters that may be appealed only to the P&E Court.
- (5) Table 3 states the matters that may be appealed only to the tribunal.
- (6) In each table—
 - (a) column 1 states the appellant in the appeal; and
 - (b) column 2 states the respondent in the appeal; and
 - (c) column 3 states the co-respondent (if any) in the appeal; and
 - (d) column 4 states the co-respondents by election (if any) in the appeal.
- (7) If the chief executive receives a notice of appeal under section 230(3)(f), the chief executive may elect to be a co-respondent in the appeal.
- (8) In this section—
storey see the Building Code, part A1.1.

Table 1
Appeals to the P&E Court and, for certain matters, to a tribunal

1. Development applications

For a development application other than an excluded application, an appeal may be made against—

- (a) the refusal of all or part of the development application; or
- (b) the deemed refusal of the development application; or
- (c) a provision of the development approval; or
- (d) if a development permit was applied for—the decision to give a preliminary approval.

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant	The assessment manager	If the appeal is about a concurrence agency’s referral response—the concurrence agency	<ol style="list-style-type: none"> 1 A concurrence agency that is not a co-respondent 2 If a chosen assessment manager is the respondent—the prescribed assessment manager 3 Any eligible advice agency for the application 4 Any eligible submitter for the application
<p>2. Change applications</p> <p>For a change application other than an excluded application, an appeal may be made against—</p> <p>(a) the responsible entity’s decision on the change application; or</p> <p>(b) a deemed refusal of the change application.</p>			

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 The applicant</p> <p>2 If the responsible entity is the assessment manager—an affected entity that gave a pre-request notice or response notice</p>	<p>The responsible entity</p>	<p>If an affected entity starts the appeal—the applicant</p>	<p>1 A concurrence agency for the development application</p> <p>2 If a chosen assessment manager is the respondent—the prescribed assessment manager</p> <p>3 A private certifier for the development application</p> <p>4 Any eligible advice agency for the change application</p> <p>5 Any eligible submitter for the change application</p>
<p>3. Extension applications</p> <p>For an extension application other than an extension application called in by the Minister, an appeal may be made against—</p> <p>(a) the assessment manager’s decision on the extension application; or</p> <p>(b) a deemed refusal of the extension application.</p>			

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 The applicant</p> <p>2 For a matter other than a deemed refusal of an extension application—a concurrence agency, other than the chief executive, for the application</p>	<p>The assessment manager</p>	<p>If a concurrence agency starts the appeal—the applicant</p>	<p>If a chosen assessment manager is the respondent—the prescribed assessment manager</p>
<p>4. Infrastructure charges notices</p> <p>An appeal may be made against an infrastructure charges notice on 1 or more of the following grounds—</p> <p>(a) the notice involved an error relating to—</p> <p style="padding-left: 20px;">(i) the application of the relevant adopted charge; or</p> <p><i>Examples of errors in applying an adopted charge—</i></p> <ul style="list-style-type: none"> • the incorrect application of gross floor area for a non-residential development • applying an incorrect ‘use category’, under a regulation, to the development <p style="padding-left: 20px;">(ii) the working out of extra demand, for section 120; or</p> <p style="padding-left: 20px;">(iii) an offset or refund; or</p> <p>(b) there was no decision about an offset or refund; or</p> <p>(c) if the infrastructure charges notice states a refund will be given—the timing for giving the refund; or</p> <p>(d) for an appeal to the P&E Court—the amount of the charge is so unreasonable that no reasonable relevant local government could have imposed the amount.</p>			

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the infrastructure charges notice	The local government that gave the infrastructure charges notice	—	—
<p>5. Conversion applications An appeal may be made against—</p> <p>(a) the refusal of a conversion application; or</p> <p>(b) a deemed refusal of a conversion application.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant	The local government to which the conversion application was made	—	—
<p>6. Enforcement notices An appeal may be made against the decision to give an enforcement notice.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the enforcement notice	The enforcement authority	—	If the enforcement authority is not the local government for the premises in relation to which the offence is alleged to have happened—the local government

Table 1
Appeals to the P&E Court and, for certain matters, to a tribunal

7. Enforcement notices under the *Plumbing and Drainage Act 2018*

An appeal may be made against the decision to give an enforcement notice.

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the enforcement notice	The local government that gave the enforcement notice	—	—

Table 2
Appeals to the P&E Court only

1. Appeals from tribunal

An appeal may be made against a decision of a tribunal, other than a decision under section 252, on the ground of—

- (a) an error or mistake in law on the part of the tribunal; or
- (b) jurisdictional error.

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A party to the proceedings for the decision	The other party to the proceedings for the decision	—	—

2. Eligible submitter appeals

For a development application or change application other than an excluded application, an appeal may be made against the decision to approve the application, to the extent the decision relates to—

- (a) any part of the development application or change application that required impact assessment; or
- (b) a variation request.

Table 2 Appeals to the P&E Court only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 For a development application—an eligible submitter for the development application</p> <p>2 For a change application—an eligible submitter for the change application</p>	<p>1 For a development application—the assessment manager</p> <p>2 For a change application—the responsible entity</p>	<p>1 The applicant</p> <p>2 If the appeal is about a concurrence agency’s referral response—the concurrence agency</p>	<p>Another eligible submitter for the application</p>
<p>3. Eligible submitter and eligible advice agency appeals</p> <p>For a development application or change application other than an excluded application, an appeal may be made against a provision of the development approval, or a failure to include a provision in the development approval, to the extent the matter relates to—</p> <p>(a) any part of the development application or change application that required impact assessment; or</p> <p>(b) a variation request.</p>			

Table 2 Appeals to the P&E Court only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 For a development application—an eligible submitter for the development application</p> <p>2 For a change application—an eligible submitter for the change application</p> <p>3 An eligible advice agency for the development application or change application</p>	<p>1 For a development application—the assessment manager</p> <p>2 For a change application—the responsible entity</p>	<p>1 The applicant</p> <p>2 If the appeal is about a concurrence agency’s referral response—the concurrence agency</p>	<p>Another eligible submitter for the application</p>
<p>4. Compensation claims</p> <p>An appeal may be made against—</p> <p>(a) a decision under section 32 about a compensation claim; or</p> <p>(b) a decision under section 265 about a claim for compensation; or</p> <p>(c) a deemed refusal of a claim under paragraph (a) or (b).</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person dissatisfied with the decision	The local government to which the claim was made	—	—

Table 2 Appeals to the P&E Court only			
<p>5. Registered premises</p> <p>An appeal may be made against a decision of the Minister under chapter 7, part 4.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 A person given a decision notice about the decision</p> <p>2 If the decision is to register premises or renew the registration of premises—an owner or occupier of premises in the affected area for the registered premises who is dissatisfied with the decision</p>	<p>The Minister</p>	<p>—</p>	<p>If an owner or occupier starts the appeal—the owner of the registered premises</p>
<p>6. Local laws</p> <p>An appeal may be made against a decision of a local government, or conditions applied, under a local law about—</p> <p>(a) the use of premises, other than a use that is the natural and ordinary consequence of prohibited development; or</p> <p>(b) the erection of a building or other structure.</p>			

Table 2 Appeals to the P&E Court only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who— (a) applied for the decision; and (b) is dissatisfied with the decision or conditions.	The local government	—	—

Table 3 Appeals to a tribunal only			
<p>1. Building advisory agency appeals</p> <p>An appeal may be made against giving a development approval for building work to the extent the building work required code assessment against the building assessment provisions.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A building advisory agency for the development application related to the approval	The assessment manager	The applicant	<p>1 A concurrence agency for the development application related to the approval</p> <p>2 A private certifier for the development application related to the approval</p>

Table 3 Appeals to a tribunal only			
<p>2. Inspection of building work</p> <p>An appeal may be made against a decision of a building certifier or referral agency about the inspection of building work that is the subject of a building development approval under the Building Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant for the development approval	The person who made the decision	—	—
<p>3. Certain decisions under the Building Act and the <i>Plumbing and Drainage Act 2018</i></p> <p>An appeal may be made against—</p> <p>(a) a decision under the Building Act, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under that Act; or</p> <p>(b) a decision under the <i>Plumbing and Drainage Act 2018</i>, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under that Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who received, or was entitled to receive, an information notice about the decision	The entity that made the decision	—	—
<p>4. Failure to decide an application or other matter under the Building Act</p> <p>An appeal may be made against a failure to make a decision under the Building Act within the period required under that Act, other than a failure by the Queensland Building and Construction Commission to make a decision, if an information notice about the decision was required to be given under that Act.</p>			

Table 3 Appeals to a tribunal only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who was entitled to receive notice of the decision	The entity that failed to make the decision	—	—
<p>5. Failure to decide an application or other matter under the <i>Plumbing and Drainage Act 2018</i></p> <p>An appeal may be made against a failure to make a decision under the <i>Plumbing and Drainage Act 2018</i> within the period required under that Act, other than a failure by the Queensland Building and Construction Commission to make a decision, if an information notice about the decision was required to be given under that Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who was entitled to receive an information notice about the decision	The entity that failed to make the decision	—	—