

21 September 2022

Gladstone Ports Corporation
C/- James Lawley
Wide Bay Shipping Service
PO Box 5245
VICTORIA POINT QLD 4165

Via: jiml@pacifictug.com

Dear Jim,

DECISION NOTICE – APPROVAL WITH CONDITIONS – DA2022/02/01

(GIVEN UNDER SECTION 63 PLANNING ACT 2016)

1. Application Details

This development application was **properly made** to the Gladstone Ports Corporation Limited on **27 January 2022**.

Application Number:	DA2022/02/01
Applicant Name:	Wide Bay Shipping Services Pty Ltd on behalf of Gladstone Ports Corporation
Applicant Contact Details:	James Lawley Wide Bay Shipping Service PO Box 5245 VICTORIA POINT QLD 4165 Email: jiml@pacifictug.com
Approval Sought (Land Use Plan):	1. Material change of use for Port services – Pilotage and support services and Port Infrastructure for Marine facility 2. Operational work that is tidal work, where not excluded tidal work, for full demolition and jetty upgrade and extension.
Approval Sought (TIA):	3. Prescribed assessable development within limits of a port
Approval Sought (SDAP):	4. Tidal works or work in a coastal management district
Details of Proposed Development:	Demolition of jetty to facilitate an upgrade and extension
Location Street Address:	45 Wharf Drive <i>known as 31 Wharf Drive</i> BURNETT HEADS QLD 4670

Location Real Property Description:	Part of Lot 276 on SP128643 and Part of Lot 501 on SP279707
Land Owner:	Department of Resources and Gladstone Ports Corporation Limited
Land Use Plan Precincts:	Strategic Port Land – Wharves Precinct and Light Industry & Innovation Precinct
Local Government Area:	Bundaberg

2. Details Of Proposed Development

The development is described as:

1. Material change of use for Port services – Pilotage and support services and Port Infrastructure for Marine facility (tug facility);
2. Operational work that is tidal work, where not excluded tidal work, for full demolition and jetty upgrade and extension;
3. Operational work that is tidal work or work in a coastal management district; and
4. Prescribed assessable development within the port limits of the Port of Bundaberg.

The development includes the demolition of the existing timber jetty, and upgrade of the existing jetty including new mooring piles and fenders, walkway for tug access, gangway/ landing and services e.g. lighting, power and water. The project will also include the reinstatement of the functional jetty to replace the existing timber jetty.

3. Details Of Decision

This development application was **decided** on **21 September 2022**.

This development application is **approved in full with conditions**. These conditions are set out in Attachment 1 and are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

This application **is not** taken to have been approved (a deemed approval) under section 64(5) of the *Planning Act 2016*.

4. Details Of Approval

This development approval is a **Development Permit** given for:

- (a) Material Change of Use for Port services – Pilotage and support services and Port Infrastructure for Marine facility; and
- (b) Operational work that is tidal work, where not excluded tidal work, for full demolition and jetty upgrade and extension.

5. Conditions

This development approval is subject to the conditions in Attachment 1 - Part 1 and Part 2.

6. Further Development Permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

- (a) Any Plumbing or Building works, as required.
- (b) Any other Operational works that are not 'Accepted, subject to requirements' of the Port of Bundaberg LUP 2020.

7. Properly made submissions

Not applicable – No part of the application required public notification.

8. Referral Agencies for the Application

The referral agencies for this application are:

For an application involving	Name of referral agency	Address
<p><i>Planning Regulation 2017:</i></p> <ul style="list-style-type: none"> • <i>Schedule 10, Part 17, Division 3, Table 1 - Operational work that is tidal works or work in a coastal management district</i> • <i>Schedule 10, Part 17, Division 3, Table 2 - Operational work that is tidal works or work in a coastal management district</i> • <i>Schedule 10, Part 6, Division 3, Subdivision 3, Table 1 - Operational work that is the removal, destruction or damage of a marine plant (potential)</i> 	<p>State Assessment Referral Agency - Department of State Development, Infrastructure, Local Government and Planning</p>	<p>Wide Bay Burnett State Assessment Referral Agency (SARA) PO Box 979 BUNDABERG QLD 4670 WBBSARA@dsgdmip.qld.gov.au</p>

9. Approved Plans and Specifications

Copies of the following plans, specifications and/or drawings are approved and enclosed in Attachment 2:

Drawing/report title	Prepared by	Date	Reference no.	Version	Approval subject to the following changes
Aspect of development: Material Change of Use and Operational works					
Tug Berth Layout Plan	FSA Consulting Engineers	17.08.22	FS3034B-S301	Rev 2	Per conditions

Gladstone Ports Corporation Limited

T: +61 7 4976 1333 • Fax: +61 7 4972 3045 • 40 Goondoon St/PO Box 259, Gladstone QLD, 4680, AUSTRALIA • www.gpcl.com.au
ACN 131 965 896 ABN 96 263 788 242

Demolition Plan	LONJAC	20.06.21	LJ-0010-01-G002	Rev 1	-
Project Notes Sheet 1 of 2	FSA Consulting Engineers	05.05.22	FS3034B-S002	Rev 2	Per conditions
Project Notes Sheet 2 of 2	FSA Consulting Engineers	05.05.22	FS3034B-S003	Rev 2	Per conditions
Pile Layout Plan	FSA Consulting Engineers	16.05.22	FS3034B-S300	Rev 1	Per conditions
Elevation/ Sections	FSA Consulting Engineers	16.05.22	FS3034B-S302	Rev 1	Per conditions
Sections/ Detail	FSA Consulting Engineers	16.05.22	FS3034B-S304	Rev 1	Per conditions
Elevation/ Sections	FSA Consulting Engineers	16.05.22	FS3034B-S305	Rev 1	Per conditions
Gangway Ramp Plan	FSA Consulting Engineers	16.05.22	FS3034B-S310	Rev 1	Per conditions
Sections/ Detail	FSA Consulting Engineers	16.05.22	FS3034B-S311	Rev 1	Per conditions
Gangway to TMR Platform Plan/ Sections	FSA Consulting Engineers	16.05.22	FS3034B-S312	Rev 1	Per conditions
Concrete Slab Reinforcement Detail	FSA Consulting Engineers	16.05.22	FS3034B-S313	Rev 1	Per conditions

12. Currency Period for the Approval

Pursuant to section 85 of the Planning Act, this development approval will lapse at the end of the periods set out below:

- (a) For Material Change of Use this approval lapses if the first change of use does not happen within 6 years after the approval has effect.
- (b) For approvals other than a Material Change of Use or Reconfiguring a Lot, the approval lapses if the development does not substantially start within 2 years of this approval taking effect.

13. Rights of Appeal

The rights of applicants to appeal to a tribunal or the Planning and Environment Court against decisions about a development application are set out in chapter 6, part 1 of the *Planning Act*

2016. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).

Attachment 3 is an extract from the *Planning Act 2016* that sets down the applicant's appeal rights and the appeal rights of a submitter.

For further information please contact Trudi Smith, Planning Specialist, on 07 4976 1314 or the undersigned on 07 4976 1287 or via email planning@gpcl.com.au .

Yours sincerely,



Erin Clark
Principal Planner

Cc: State Assessment Referral Agency - Department of State Development, Infrastructure, Local Government and Planning
Bundaberg Regional Council

Enc. Attachment 1: Conditions of Approval
Part 1 – Conditions imposed by the assessment manager
Part 2 – Conditions required by the referral agency response
State Assessment and Referral Agency (WBB)
Attachment 2: Approved plans and specifications
Attachment 3: Extract of appeal provisions.

Attachment 1 Conditions of Approval

PART 1: ASSESSMENT MANAGER CONDITIONS

In general the development proposal is in compliance with the requirements of Gladstone Ports Corporation Limited (GPC). This development approval is subject to each the following conditions which are stated by GPC, the Assessment Manager.

Part 1a: Approval sought under Planning Act 2016 - Material change of use for Port services – Pilotage and support services and Port Infrastructure for Marine facility and Operational work that is tidal work, where not excluded tidal work

GENERAL

1. Development must be carried out generally in accordance with the Approved plans, except where modified by conditions of this permit.
2. Unless otherwise stated, all conditions must be complied with and completed prior to the commencement of the development.
3. Where additional “approval” is required under these conditions by the Assessment Manager for drawings or documentation the proponent must submit for review, amend to the satisfaction of, and obtain written approval from the Assessment Manager, no less than 10 business days before the specified timing of the condition. Works are not to commence and are not deemed approved until any additional drawings or documents have been approved in writing by the Assessment Manager.

Note: This is used to assess the drawings or documentation provided prior to the commencement of the works. Should further information be required for assessment, the Assessment Manager will require a further 5 business days to complete the review.

ENGINEERING & PLANNING

4. Prior to any works commencing for relevant part a. or b. below, the proponent must supply to the Assessment Manager for approval, a full set of 100% design RPEQ certified ‘for construction’ plans (and the electronic CAD format) for the relevant part:
 - a) Piled berth structure;
 - b) Sheet pile abutment structure and all services and infrastructure to be installed on land.

The plans must illustrate all infrastructure and services installed on, under or over Port land associated with the development. The relevant plans must also include how the structure will tie in to adjacent land.

Note: The intent of the condition is to supply a full set of finalised ‘for construction’ plans to demonstrate what is to be constructed on port land/areas. Either part of this condition can be constructed in any order i.e. does not need to be completed sequentially and can be undertaken concurrently.

5. Upon completion of the all works on land, the proponent must supply the Assessment Manager with the full suite of project RPEQ certified “as constructed” plans in electronic CAD format which illustrate all infrastructure and services installed on, under or over Port land associated with the development, including tidal works.
6. Prior to the use commencing, the proponent must certify in writing to the Assessment Manager that the development is constructed as per design and that the development has been constructed generally in accordance with the Approved plans.
7. The approved tidal structure must have appropriate corrosion prevention systems.
8. The approved development must provide an adequate firefighting service and equipment. Prior to any works commencing for this service, detailed engineering drawings of fire-fighting infrastructure,

including emergency access ladders, must be submitted to, and approved by the Assessment Manager.

Amended Plans

9. Prior to commencement of works on the sheet pile abutment infrastructure or land based services/ infrastructure, whichever comes first, submit to and have approved by the Assessment Manager amended plans and/or documents which incorporate the following:
 - a) existing services connections to be terminated and any new infrastructure and service connections (i.e. water, power, sewer, communications, switchboards), required to service the development, including details on expected daily/peak consumption rates, construction materials, alignments and depths; and
 - b) an updated general arrangement overall site plan showing all additional information and approved works/ structures.

Once approved, the additional/ amended plans will form part of the Approved plans.

Infrastructure

10. Any connection required to GPC's or Third Party Service Provider (i.e. BRC, Ergon) infrastructure must be established prior to the commencement of the use.
11. Car parking for personnel using the approved facility must be accommodated within adjacent lease area in Lot 501 and secured from general public access.
12. The applicant must notify the Assessment Manager of damage caused to any port or port user infrastructure or services including, but not limited to, security related devices, buildings, fences, lighting etc., roads, walkways and underground services or infrastructure, as a result of the approved use or during construction. The proponent must undertake necessary repairs at their expense and to the satisfaction of the Assessment Manager.

Lighting

13. Any site lighting used during construction should not impact on the visibility of Navigational Aids utilised for the primary shipping channels nor illuminate a landward glare beyond the site boundary. Lighting will be continually reviewed during construction and operations with respect to navigation and will be revised as required in response to negative impacts as they arise.
14. Prior to the commencement of the use, design and install all external lighting in accordance with AS4282 – *Control of the obtrusive effects of outdoor lighting* so as not to cause nuisance to residents, the airport, navigational aids or obstruct or distract pedestrian or vehicular traffic.
15. Prior to works commencing, the proponent must ensure all details of proposed mitigation measure/s to reduce skyglow from all external lighting associated with the development have been documented and are available for review by the Assessment Manager upon request.
16. Lighting must be designed to facilitate a safe and secure parking and/ or access area, lit to a standard appropriate for safe night time operations.

Landscaping

17. The proponent must maintain the property frontage in a clean and tidy manner, and mow any grassed areas regularly.

Emergency access

18. Within twelve months of the finalisation and naming of an access road to the facility/ site by GPC, the street name and a number shall be clearly visible on signage, and where appropriate the business or facility name. Until such time as the roadway is finalised, to ensure emergency

access is facilitated by the approved use, the street address or facility name, must be clearly visible and discernible from the primary roadway by appropriate directional/ site signage.

Waste

19. At all times, maintain and operate an adequate waste disposal service for the marine facility, including the maintenance of refuse bins and associated storage areas so as not to cause an environmental nuisance.

Note: This service may be provided on a location outside of the development footprint with adequate signage.

Tidal Works

20. Upon completion of the tidal works, the proponent must supply the Assessment Manager with RPEQ certified "As Constructed" plans in both hard copy (2 of) and the associated electronic (CAD format) which illustrate all infrastructure and services installed on, under or over Port land associated with the activity unless otherwise approved in writing by the Assessment Manager.
21. The proponent must liaise with all shipping customers using the Port of Bundaberg during the works to avoid any potential conflicts, ensuring scheduling is managed to this effect.
22. Any material which is deposited or any debris which falls or is deposited on tidal lands or into tidal waters during the construction of the approved development shall be removed by the applicant at their cost and expense. The applicant is to notify the Assessment Manager if any material or debris is deposited.
23. Upon completion of construction, the applicant shall provide the Assessment Manager with written confirmation that the seabed is clear of foreign materials.
24. If, as a result of the works, or other cause attributable to the proponent, any bank or tidal structure is displaced, the proponent at its cost and expense shall restore the bank or structure to its former condition and take such other action as is necessary to ensure the stability of the bank or structure to the satisfaction of the Assessment manager.

Construction Vessel Management

25. Prior to works within Port Limits commencing, supply GPC a Marine Execution Plan that has been approved by the Regional Harbour Master, where relevant.
26. Prior to works within Port Limits commencing, the proponent or their contractor must supply to GPC for review and approval an Emergency Management Plan for the works within Port Limits for all potential incidents e.g. contaminant spill, riverine flood, adverse weather etc.
27. Prior to works within Port Limits commencing, the proponent or their contractor must supply to GPC for review and approval an Environmental Management Plan, work procedures or equivalent, for the construction works within Port Limits.
28. At all times during construction, Gladstone Ports Corporation Environment Hotline (07) 4976 1617 is to be notified of the occurrence of any release / spill of contaminants (e.g. fuels / chemicals / sewerage of any amount to water within Port Limits).

Construction Management

29. The hours for the construction or works (i.e. operation of any machinery and/or other equipment) shall be restricted to between 6.30am and 6:30pm Monday to Saturday. No works shall be undertaken on Sunday or on public holidays. Any variations to these times will be subject to the written approval of the Assessment Manager.

30. Where the works require excavation, digging or installation into land, the proponent is required to apply for and obtain from GPC a Permit to Dig/Excavate prior to commencing works by contacting, Port Infrastructure Asset Manager on (07) 4976 1333. All reasonable measures must be taken to identify and protect existing services recorded or otherwise, and where necessary the proponent will submit a plan to GPC for approval to adjust any existing services found during this excavation that was not originally shown on the proposed plans
31. Prior to any construction works commencing on site, a Construction Traffic Management Plan (CTMP) specific to the construction works being undertaken must be submitted to the Assessment manager for approval. The CTMP must be amended and approved by the Assessment Manager as necessary for any proposed or amended construction works.
32. Once approved, the works must be carried out in accordance with the CTMP and will form part of the approved plans.
33. Upon completion of the construction works, the proponent must reinstate the property to the same condition as prior to works being undertaken, with the exception of the approved works, unless agreed to in writing by the Assessment Manager.
34. In the event any additional construction compound is required on port land outside the proponents lease areas for offices, laydown areas, employee car parking or stockpiling areas etc., the proponent or their contractor must obtain a Consent to Enter from GPC's Property Specialist via 07 4976 1334 or property@gpcl.com.au prior to works commencing.
35. The construction compound, including offices, laydown areas and employee car parking, is to be contained within the nominated area unless otherwise approved in writing by the Assessment Manager.
36. No mud, dirt or other debris is to be tracked onto public roads during construction and operation of the development.

ENVIRONMENT

Construction Environmental Management Plans

37. Prior to construction works commencing on site an Construction Environmental Management Plan (CEMP) specific to this application and its associated works must be submitted to the Assessment Manager (GPC) for approval, that ensures:
 - a. environmental risks, including but not limited to, noise, odour, lighting, dust, waste and potential and actual acid sulphate soils are identified, managed and continually assessed in relation to the construction activity;
 - b. that staff are trained and aware of their obligations under the CEMP, a copy of which must be kept and available on site at all times;
 - c. that reviews of environmental performance are undertaken at least annually; and
 - d. any amendments to the CEMP are to be submitted to GPC for review and approval.

Once approved by the Assessment Manager (GPC), the construction activity must be carried out in accordance with this CEMP.

Note: GPC has a guideline for the development of environmental management plans that may be utilised in meeting the requirements of this condition.

Operational Environmental Management Plan

38. Prior to operational works commencing on site an Operational Environmental Management Plan (OEMP) specific to this application and its associated works must be submitted to the Assessment Manager (GPC) for approval, that ensures:
- environmental risks, including but not limited to, noise, odour, lighting, dust, waste and potential and actual acid sulphate soils are identified, managed and continually assessed in relation to the operational activity;
 - any hazardous or flammable risks associated with the approved use are considered and addressed;
 - that staff are trained and aware of their obligations under the OEMP, a copy of which must be kept and available on site at all times;
 - that reviews of environmental performance are undertaken at least annually; and
 - any amendments to the OEMP are to be submitted to GPC for review and approval.

Once approved by the GPC, the operational activity must be carried out in accordance with this OEMP.

Incident notification

39. At all times, Gladstone Ports Corporation Environment Hotline (07) 4976 1617 is to be notified of the occurrence of any:
- release / spill of contaminants (e.g. fuels / chemicals / sewerage) greater than 20L to land;
 - release / spill of contaminants (e.g. fuels / chemicals / sewerage) of any amount to water;
 - any environmental complaints received by the holder of this approval; and
 - non-compliance with environment related conditions of this approval, or any other environmental approval obtained in relation to the approved activity.
40. Environmental incident notification must be included in any Environmental Management Plans for the premises/development.

ADVICE NOTES

1. Refuelling of vessels used in construction must be undertaken in accordance with DTMR's *Guide for the prevention of ship-sourced pollution and for the safe transfer of bunkers in Queensland waters* for the Safe transfer of Bunker.
2. All other relevant approvals must be obtained before commencement of the development or operation of the development, including any Building works or Plumbing and drainage works.
3. Where a Permit to Dig/Excavate prior to commencing excavation or digging for the development, the proponent or their contractor is required to apply for and obtain the permit by contacting the Port Infrastructure Asset Manager on 4976 1332 or bartono@gpcl.com.au.
4. Where a construction compound or laydown area is required, the proponent or their contractor is required to apply for and obtain a Consent to Enter from the Assessment Manager's Property Specialist via 07 4976 1334 or property@gpcl.com.au prior to works commencing.
5. Where works are to be undertaken outside tenured areas, the proponent or their contractor is required to apply for and obtain a Consent to Enter from GPC's Property Specialist via 07 4976 1334 or property@gpcl.com.au prior to works commencing.
6. The *Environmental Protection Act 1994* states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks, construction, and operational phases of this development, are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm.
7. This decision notice does not represent an approval to commence Building work.
8. Connections to water and sewerage infrastructure will require Plumbing and Drainage works approvals from a suitably qualified person. A copy of these approvals shall be provided to GPC for reference.
9. Where the Applicant is required to submit further documentation to the Assessment Manager, this is to be directed to the Planning section at planning@gpcl.com.au, including reference to the allocated development application number.

PART 2: REFERRAL AGENCY CONDITIONS

Referral Agency Name: Department of State Development, Infrastructure, Local Government and Planning



Our Reference: 2206-29250 SRA
Your Reference: DA2022/02/01

31 August 2022

The Chief Executive Officer
Port of Gladstone Ports Corporation Limited
PO Box 259
GLADSTONE QLD 4680
planning@gpcl.com.au

Attention: Erin Clark

Dear Ms Clark

Changed Referral Agency Response with Conditions—Buss Street and 45 Wharf Drive, Burnett Heads

(Given under section 28 of the Development Assessment Rules)

On 19 August 2022, the State Assessment and Referral Agency (SARA) received notice of a change to the development application described below. SARA has assessed the changes and now provides this changed referral agency response which replaces the response dated 26 July 2022.

Applicant Details

Applicant Name:	Wide Bay Shipping Services on behalf of Gladstone Ports Corporation
Applicant Contact Details:	PO Box 5245 VICTORIA POINT QLD 4165 jjml@pacifictug.com

Location Details

Street Address:	Buss Street and 45 Wharf Drive, Burnett Heads
Real Property Description:	Part of Lot 276 on SP128643 and Part of Lot 501 on SP279707
Local Government Area:	Bundaberg Regional Council

Application Details

Development Permit	Material Change of Use for Port Services – Pilotage and Support Services and Port Infrastructure for Marine Facility
Development Permit	Operational Work that is Tidal Work, where not Excluded Tidal Work, for Partial Demolition and Jetty Upgrade and Extension

Referral Triggers

The development application was referred to SARA under the following provisions of the Planning Regulation 2017:

- Schedule 10, Part 17, Division 3, Table 1, Item 1 (10.17.3.1.1)—Operational work that is tidal works
- Schedule 10, Part 17, Division 3, Table 2, Item 1 (10.17.3.2.1)—Operational work that is tidal works in tidal waters

Conditions

Under section 56(1)(b)(i) of *Planning Act 2016*, the conditions set out in **Attachment 1** must be attached to any development approval.

Advice to the Applicant

SARA offers advice about the application to the applicant—see **Attachment 2**.

Reasons for Referral Agency Response

SARA must provide reasons for its referral agency response. These reasons are set out in **Attachment 3**.

Representations

An applicant may make representations to a concurrence agency, at any time before the application is decided, about changing a matter in the referral agency response (s.30 Development Assessment Rules). Copies of the relevant provisions are in **Attachment 4**.

A copy of this response has been sent to the applicant for their information.

For further information please contact Cavannah Deller, A/ Senior Planning Officer, on 07 3244 9343 or via email WBBSARA@dasilgp.qld.gov.au who will be pleased to assist.

Yours sincerely



David Hooper
Manager

cc Mr Jim Lawley, JimL@pacifictug.com

enc **Attachment 1**—Changed Conditions to be Imposed
Attachment 2—Advice to the Applicant
Attachment 3—Reasons for Referral Agency Response
Attachment 4—Representations about a Referral Agency Response Provisions
Attachment 5—Approved Plans

Attachment 1—Changed Conditions to be Imposed

No.	Conditions	Condition Timing
Operational Work		
10.17.3.1.1—Operational work that is tidal works—The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of Environment and Science to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):		
1.	<p>The upgrade of the existing tug wharf and demolition of the mooring structure and gangway system must be undertaken generally in accordance with the following plans:</p> <ul style="list-style-type: none"> • Tug Berthing Layout Plan prepared by FSA Consulting Engineers, dated 16-05-22, dwg no. FS3034B-S301, issue 1 • <u>Tug Berthing Layout Plan prepared by FSA Consulting Engineers, dated 17-08-22, dwg no. FS3034B – S301, issue 2</u> • Elevation/Sections prepared by FSA Consulting Engineers, dated 16-05-22, dwg no. FS3034B-S302, issue 1 • Demolition Plan prepared by Lonjac, dated 20.6.2021, drg no. LJ-0010-01-G002, revision 1. 	For the duration of the works
2.	For the proposed works, only use clean materials and ensure that the works do not cause contamination.	For the duration of the works
3.	Erosion and sediment control measures which are in accordance with Best Practice Erosion and Sediment Control (BPESC) guidelines for Australia (International Erosion Control Association), are to be installed and maintained to prevent the release of sediment to tidal waters.	For the duration of the works
4.	<p>Should the tug wharf collapse, fail or otherwise suffer structural consequences which impact their integrity or ability to function as intended, the works must be:</p> <p>(a) reinstated in accordance with this development approval; or</p> <p>(b) removed and disposed of at an appropriately licensed facility.</p>	As soon as reasonably practicable subsequent to the damage
5.	<p>Submit “As Constructed drawings” to palm@des.qld.gov.au or mail to:</p> <p>Department of Environment and Science Permit and Licence Management Implementation and Support Unit GPO Box 2454 BRISBANE QLD 4001</p>	Within two (2) weeks of the completion of the works
6.	<p>(a) In the event that the works cause disturbance or oxidisation of acid sulfate soil, the affected soil must be treated and thereafter managed (until the affected soil has been neutralised or contained) in accordance with the current <i>Queensland Acid Sulfate Soil Technical Manual: Soil management guidelines</i>, prepared by the former Department of Science, Information Technology, Innovation and the Arts, 2014.</p> <p>(b) Certification by an appropriately qualified person, confirming that the</p>	<p>(a) Upon disturbance or oxidisation until the affected soil has been neutralised or contained</p> <p>(b) At the time the</p>

	<p>affected soil has been neutralised or contained, in accordance with (a) above is to be provided to palm@des.qld.gov.au or mailed to:</p> <p>Department of Environment and Science Permit and Licence Management Implementation and Support Unit GPO Box 2454 BRISBANE QLD 4001</p> <p>Note: Appropriately qualified person means a person or persons who has professional qualifications, training, skills and experience relevant to soil chemistry or acid sulfate soil management and can give authoritative assessment, advice and analysis in relation to acid sulfate soil management using the relevant protocols, standards, methods or literature.</p>	soils have been neutralised or contained
<p>10.17.3.2.1—Operational work that is tidal works in tidal waters—The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of Transport and Main Roads to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):</p>		
7.	<p>(a) Provide written notice to the Regional Harbour Master – Gladstone at gladstone.rhm@msq.qld.gov.au, when the development authorised under this approval is scheduled to commence.</p> <p>Each notice must state this application number, the location and name of registered place and the condition number under which the notice is being given.</p> <p>(b) Provide written notice to the Regional Harbour Master – Gladstone at gladstone.rhm@msq.qld.gov.au when the development authorised under this approval has been completed.</p> <p>Each notice must state this application number, the location and name of registered place and the condition number under which the notice is being given.</p>	<p>(a) At least two (2) weeks prior to the commencement of works</p> <p>(b) Within two (2) weeks of the completion of works</p>
8.	<p>All vessels, structures, plant and equipment associated with the construction of the approved works must be lit/marked so they will be readily identified by other waterway users and that undertaking the construction works does not cause a risk to the safe navigation of ships.</p> <p>Lighting provided must not obscure, disguise or otherwise interfere with the effectiveness of navigational lighting.</p>	While the works are occurring
9.	<p>The structure must be lit/marked so it does not obscure, disguise or otherwise interfere with the effectiveness of navigational lighting, and does not cause a risk to the safe navigation of other ships.</p>	At all times
10.	<p>The construction, operation or maintenance of the structure, and any ship moored at this structure, must not impede the safe navigation of other ships or restrict safe access to or from neighbouring structures.</p>	At all times

Attachment 2—Advice to the Applicant

General Advice	
1.	Terms and phrases used in this document are defined in the <i>Planning Act 2016</i> , its regulation or the State Development Assessment Provisions (SDAP) version 3.0. If a word remains undefined it has its ordinary meaning.

Attachment 3—Reasons for Referral Agency Response

The reasons for SARA's decision are:

The proposed development complies with State code 7: Maritime safety of the SDAP. Specifically, the development does not compromise the:

- viable operation of aids to navigation
- safe operation of vessels in navigable waterways.

The proposed development complies with State code 8: Coastal development and tidal works of the SDAP. Specifically, the development is appropriately designed and located to:

- protect life, buildings and infrastructure from impacts of coastal erosion
- maintain and conserve coastal processes
- maintain appropriate public use of, and access to and along, state coastal land
- account for the projected impacts of climate change
- avoid impacts on Matters of State Environmental Significance.

Material used in the assessment of the application:

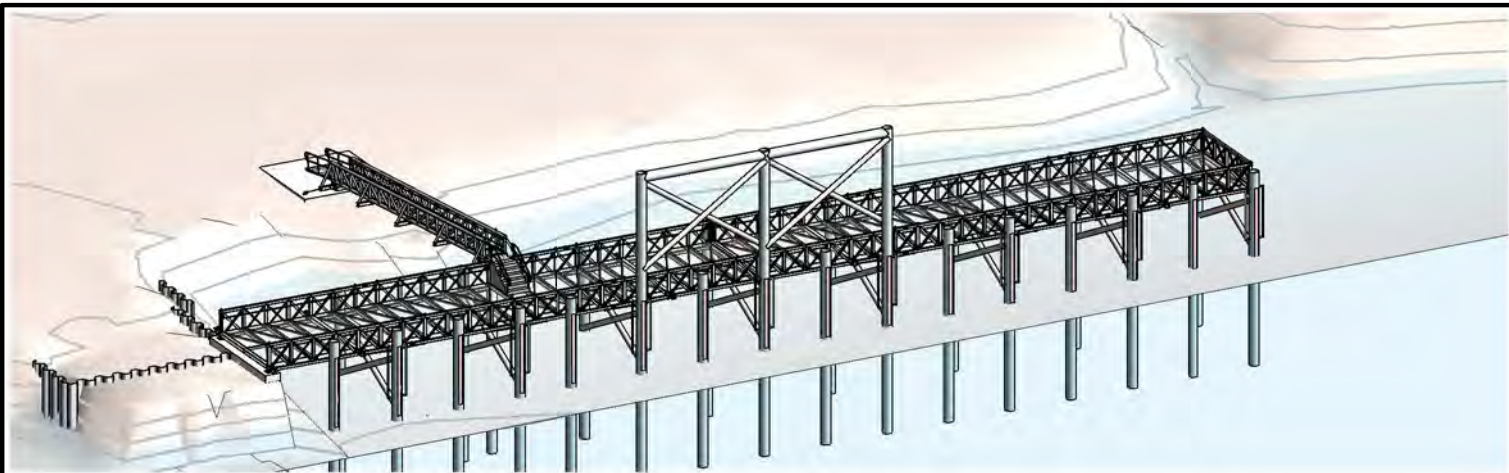
- the development application material and submitted plans
- *Planning Act 2016*
- Planning Regulation 2017
- SDAP (version 3.0), as published by SARA
- Development Assessment Rules
- SARA DA Mapping system
- *Human Rights Act 2019*.

Attachment 4— Representations about a Referral Agency Response Provisions

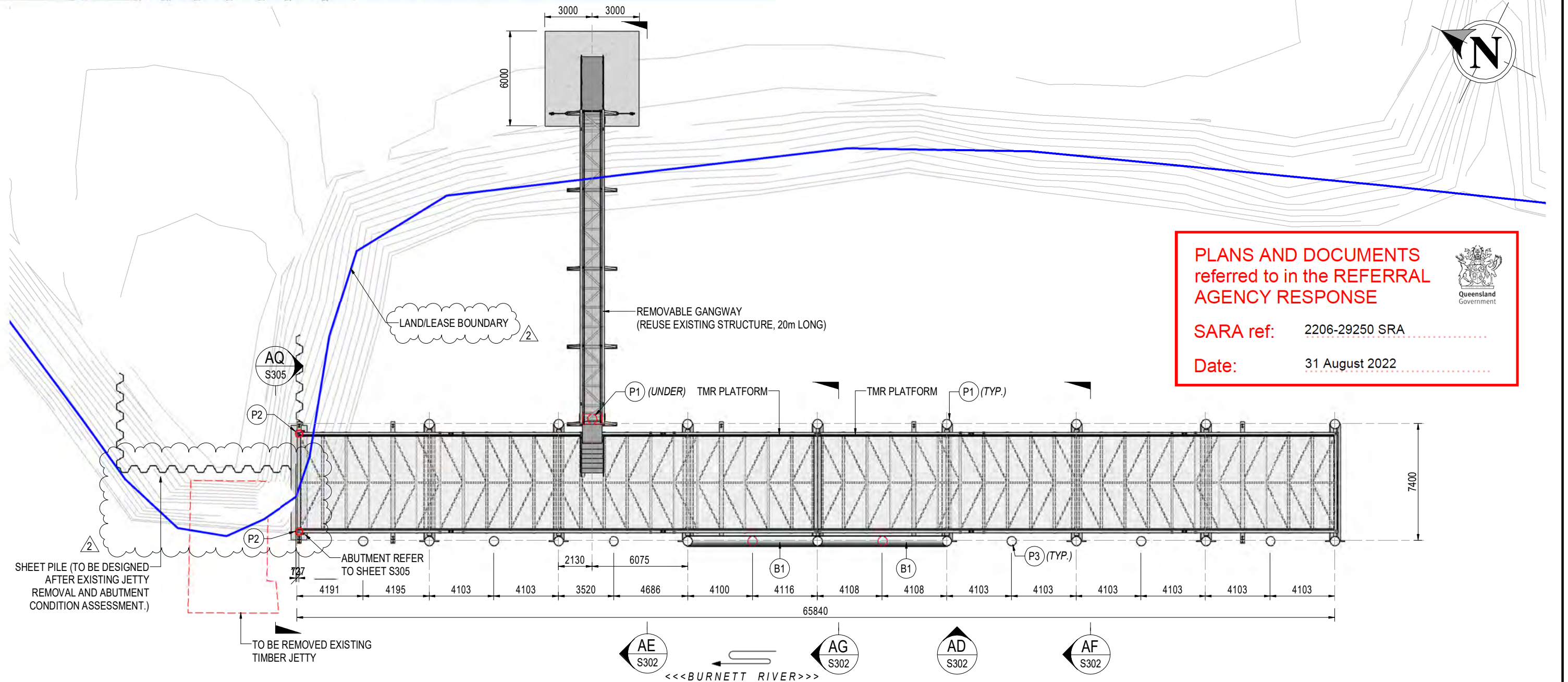
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Attachment 5— Approved Plans

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MEMBER SCHEDULE		
ITEM	DESCRIPTION	REMARKS
P1	PILE: 610CHS12.7	
P2	PILE: 457CHS6.4	
P3	PILE: 610CHS12.7	ADDITIONAL (OPTIONAL) PILES FOR BERTHING SMALLER VESSELS. NOT TO BE USED FOR BERTHING/MOORING OF THE DESIGN VESSELS (600T KEPPEL BAY TUG). PILE CAPACITY TO BE CONFIRMED BY ENGINEER PRIOR TO INSTALLATION.
BR1	DIAGONAL BRACE: 323.9CHS9.5	
HE2	HEADSTOCK: 200x10 SHS	
B1	GATE TOP BEAM: 600CHS8.0	
S1	SLIDING HANDLE: 65x6 SHS	MOORING LINE TO BE TIED TO PILE ONLY (THROUGH HANDLES)
S2	STRAP: 250x6mm S/S STRAP	



1 TUG BERTHING LAYOUT PLAN
SCALE: 1:250

NOTE: 1. REFER SHEETS S002 & S003 FOR PROJECT NOTES.

PRINT IN COLOUR

ISSUE	DATE	DESCRIPTION	BY
2	17-08-22	AMENDED AS CLOUDED	DMM
1	16-05-22	ISSUED FOR CONSTRUCTION	SLA
B	16-05-22	AMENDED AS CLOUDED	SLA
A	05-05-22	ISSUED FOR APPROVAL	SLA
AMENDMENTS			

FSA CONSULTING ENGINEERS P/L
commercial | residential | marine
ABN 68802194425

Unit 12, Tingalpa Central
1631 Wynnum Rd, TINGALPA
PO Box 2282, TINGALPA QLD 4173

Tel. +617 3393 9447
email: admin@fsace.com.au
website: www.fsace.com.au

CLIENT:

Pacific Tug
Offshore | Construction | Dredging

8/119 COLBURN AVE., VICTORIA POINT QLD 4165

PROJECT:

PORT OF BUNDABERG - TUG BERTHING FACILITY REDESIGN

PROJECT REFERENCE No.: FS3034B

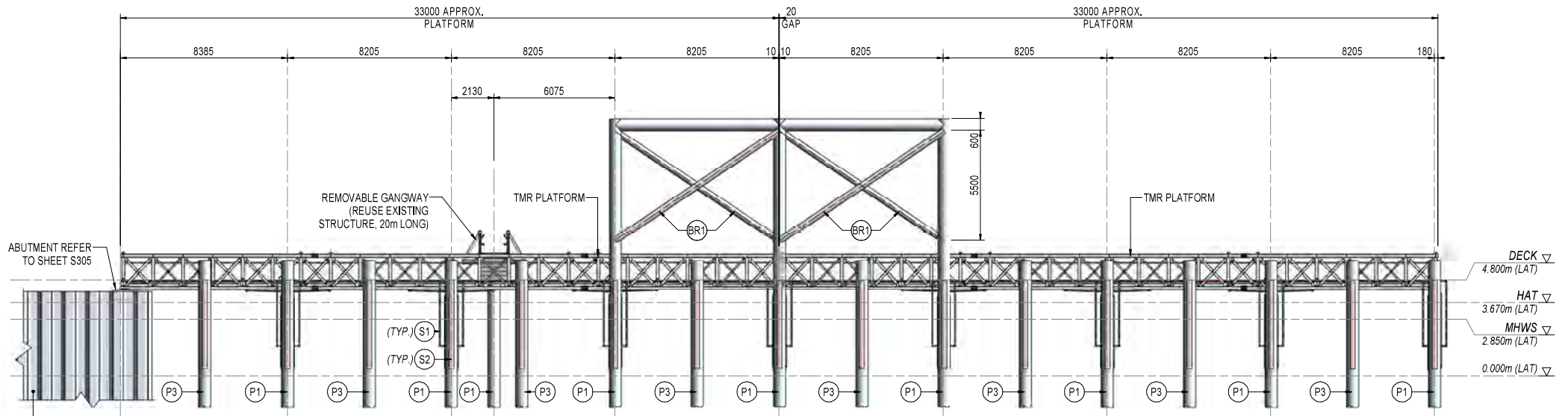
APPROVED BY:

William Lottering
WILLIAM LOTTERING
RPEQ: 6483
CPEng NPER
DATE: 17-08-22

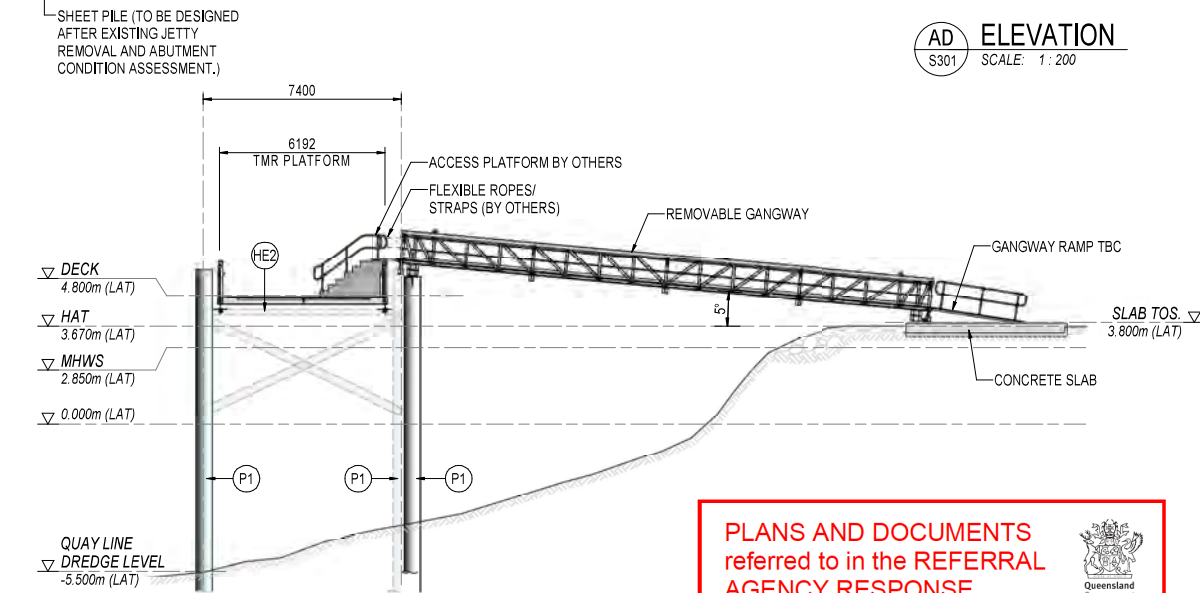
SHEET CONTENTS:

TUG BERTHING LAYOUT PLAN

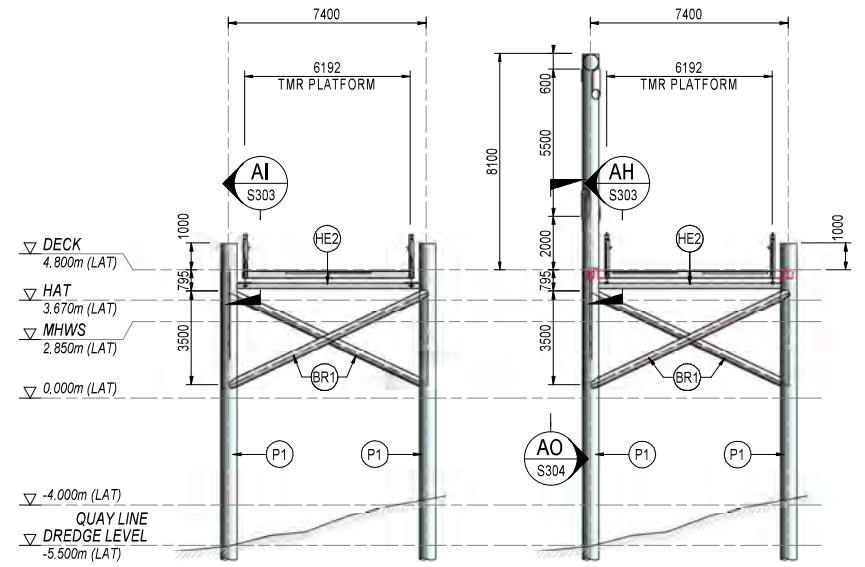
DRAWN: SLA	DATE: 03-05-22	Q.A. CHECK: WSBL	DATE: 17-08-22	SCALE: As indicated	ISSUE: 2
DESIGNED: BR	DWG No.: FS3034B - S301	ISSUE TYPE: CONSTRUCTION			



AD ELEVATION
S301 SCALE: 1:200



AE SECTION
S301 SCALE: 1:200



AF SECTION
S301 SCALE: 1:200

AG SECTION
S301 SCALE: 1:200

PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE
SARA ref: 2206-29250 SRA
Date: 31 August 2022



NOTE: 1. REFER SHEETS S002 & S003 FOR PROJECT NOTES.

PRINT IN COLOUR

ISSUE	DATE	DESCRIPTION	BY
1	16-05-22	ISSUED FOR CONSTRUCTION	SLA
B	16-05-22	AMENDED AS CLOUDED	SLA
A	05-05-22	ISSUED FOR APPROVAL	SLA
		AMENDMENTS	



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CLIENT:
Pacific Tug
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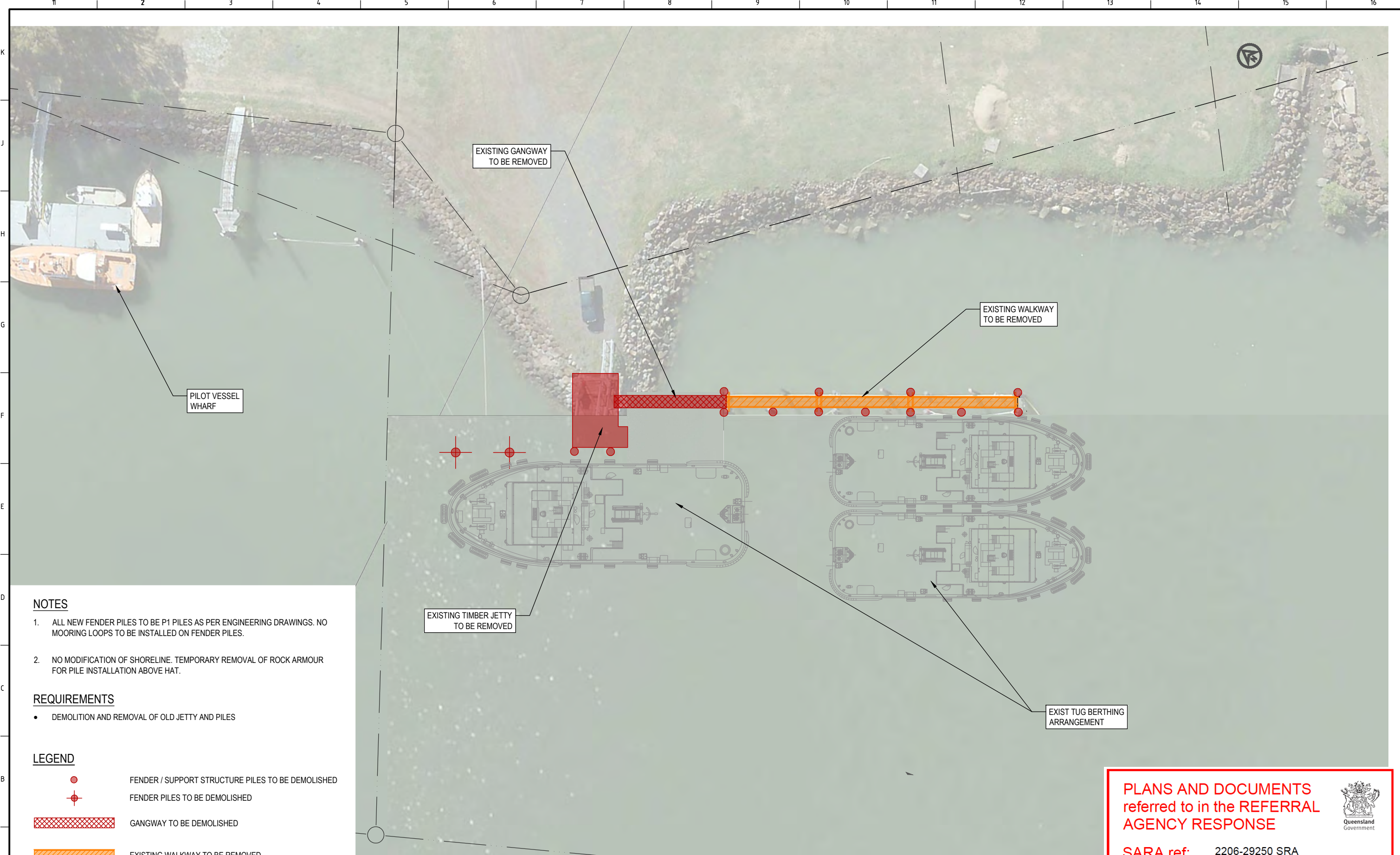
PROJECT:
PORT OF BUNDABERG - TUG BERTHING FACILITY REDESIGN
 PROJECT REFERENCE No.: FS3034B

APPROVED BY:

WILLIAM LOTTERING
 RPEQ: 6483
 CPEng NPER
 DATE: 16-05-22

SHEET CONTENTS:
ELEVATION/ SECTIONS
 DRAWN: SLA DATE: 03-05-22 QA, CHECK: WBSL DATE: 16-05-22 SCALE: 1:200 ISSUE: 1
 DESIGNED: BR DWG No: FS3034B - S302 ISSUE TYPE: CONSTRUCTION

SHEET SIZE:
A3



NOTES

1. ALL NEW FENDER PILES TO BE P1 PILES AS PER ENGINEERING DRAWINGS. NO MOORING LOOPS TO BE INSTALLED ON FENDER PILES.
2. NO MODIFICATION OF SHORELINE. TEMPORARY REMOVAL OF ROCK ARMOUR FOR PILE INSTALLATION ABOVE HAT.

REQUIREMENTS

- DEMOLITION AND REMOVAL OF OLD JETTY AND PILES

LEGEND

- FENDER / SUPPORT STRUCTURE PILES TO BE DEMOLISHED
- FENDER PILES TO BE DEMOLISHED
- GANGWAY TO BE DEMOLISHED
- EXISTING WALKWAY TO BE REMOVED
- TIMBER JETTY TO BE DEMOLISHED

PLAN
SCALE 1:200

PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE

SARA ref: 2206-29250 SRA

Date: 31 August 2022



REV	DATE	DESCRIPTION	BY	REVIEWED	APPROVED
1	20.6.2021	FOR CONSTRUCTION	MC	JL	
0	28.4.2021	FOR CONSTRUCTION	MC	JL	
A	26.02.2021	ISSUED FOR DEVELOPMENT APPLICATION	MC	JL	

976 PINE CREEK ROAD,
Electra,
Queensland, 4670
Ph +61 (0) 499 000 202
jim@longjac.net.au

LONJAC
CIVIL • MARINE • MANAGEMENT

FOR CONSTRUCTION

SURVEY / DESIGN REFERENCES
HORIZONTAL DATUM - MGA
VERTICAL DATUM - LAT

SCALE 1:200 AT ORIGINAL SIZE

CLIENT

Wide Bay Shipping Services
Towage | Port Services | Salvage

DESIGNED BY	J.LAWLEY	JUNE 2022
DES CHK		
DRAWN	M.COLLINGS	JUNE 2022
DRG CHK	N/A	
REGISTERED PROFESSIONAL	J.LAWLEY	
REGISTRATION	LONJAC PTY LTD	
SIGNATURE		
No.	22281	
Date	30.6.2022	

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PROJECT WIDE BAY SHIPPING SERVICES TUG BERTH REJUVENTATION		
DRAWING TITLE DEMOLITION PLAN		
SCALE AS SHOWN	DRG NO. LJ-0010-01- G002	REV 1

Development Assessment Rules—Representations about a referral agency response

The following provisions are those set out in sections 28 and 30 of the Development Assessment Rules¹ regarding **representations about a referral agency response**

Part 6: Changes to the application and referral agency responses

28 Concurrence agency changes its response or gives a late response

- 28.1. Despite part 2, a concurrence agency may, after its referral agency assessment period and any further period agreed ends, change its referral agency response or give a late referral agency response before the application is decided, subject to section 28.2 and 28.3.
- 28.2. A concurrence agency may change its referral agency response at any time before the application is decided if—
- (a) the change is in response to a change which the assessment manager is satisfied is a change under section 26.1; or
 - (b) the Minister has given the concurrence agency a direction under section 99 of the Act; or
 - (c) the applicant has given written agreement to the change to the referral agency response.²
- 28.3. A concurrence agency may give a late referral agency response before the application is decided, if the applicant has given written agreement to the late referral agency response.
- 28.4. If a concurrence agency proposes to change its referral agency response under section 28.2(a), the concurrence agency must—
- (a) give notice of its intention to change its referral agency response to the assessment manager and a copy to the applicant within 5 days of receiving notice of the change under section 25.1; and
 - (b) the concurrence agency has 10 days from the day of giving notice under paragraph (a), or a further period agreed between the applicant and the concurrence agency, to give an amended referral agency response to the assessment manager and a copy to the applicant.

¹ Pursuant to Section 68 of the *Planning Act 2016*

² In the instance an applicant has made representations to the concurrence agency under section 30, and the concurrence agency agrees to make the change included in the representations, section 28.2(c) is taken to have been satisfied.

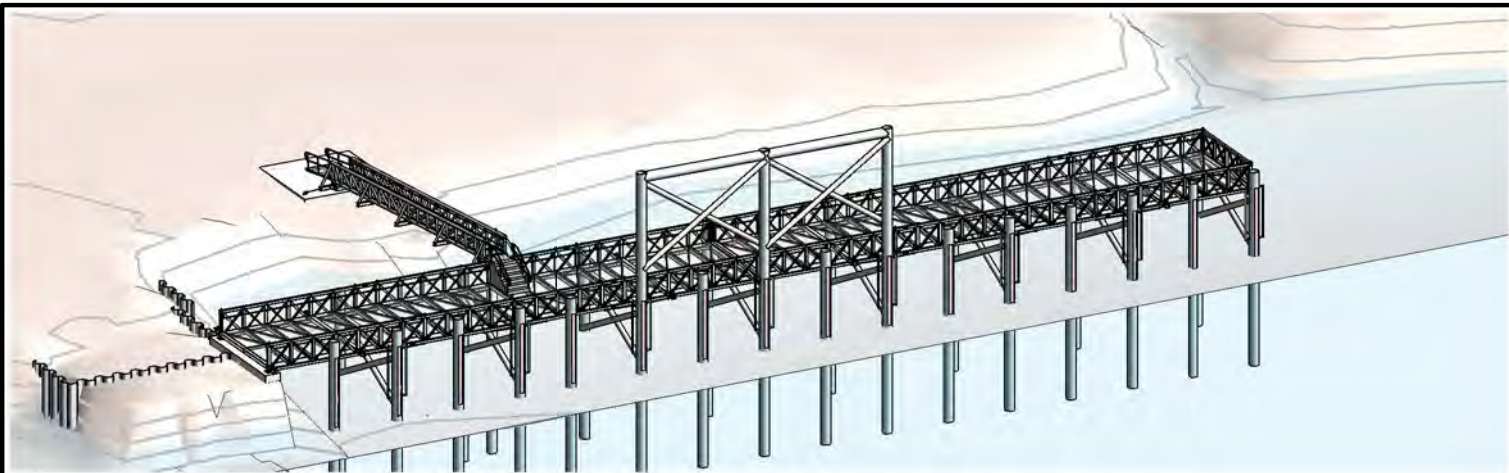
Part 7: Miscellaneous

30 Representations about a referral agency response

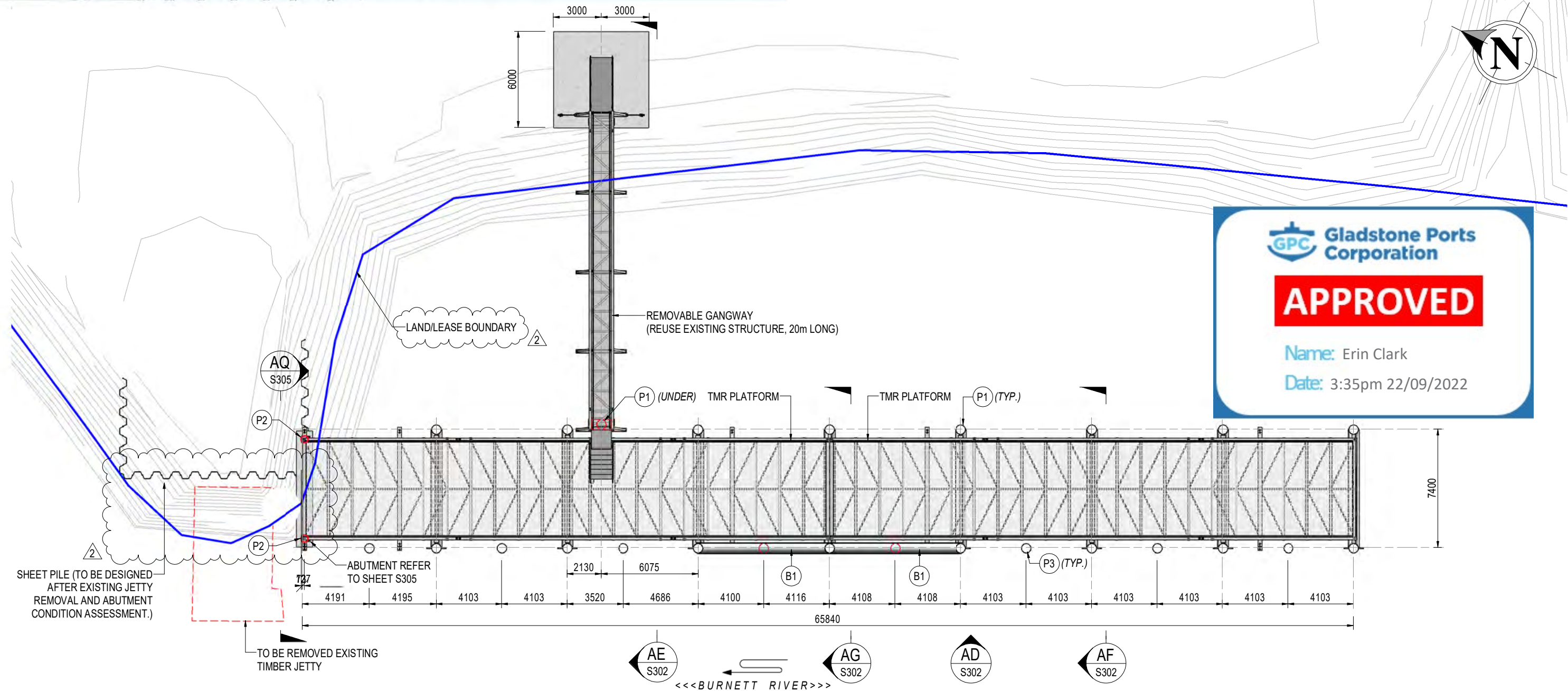
- 30.1. An applicant may make representations to a concurrence agency at any time before the application is decided, about changing a matter in the referral agency response.³

³ An applicant may elect, under section 32, to stop the assessment manager's decision period in which to take this action. If a concurrence agency wishes to amend their response in relation to representations made under this section, they must do so in accordance with section 28.

Attachment 2 Approved Plans and Specifications



MEMBER SCHEDULE		
ITEM	DESCRIPTION	REMARKS
P1	PILE: 610CHS12.7	
P2	PILE: 457CHS6.4	
P3	PILE: 610CHS12.7	ADDITIONAL (OPTIONAL) PILES FOR BERTHING SMALLER VESSELS. NOT TO BE USED FOR BERTHING/MOORING OF THE DESIGN VESSELS (600T KEPPEL BAY TUG). PILE CAPACITY TO BE CONFIRMED BY ENGINEER PRIOR TO INSTALLATION.
BR1	DIAGONAL BRACE: 323.9CHS9.5	
HE2	HEADSTOCK: 200x10 SHS	
B1	GATE TOP BEAM: 600CHS8.0	
S1	SLIDING HANDLE: 65x6 SHS	MOORING LINE TO BE TIED TO PILE ONLY (THROUGH HANDLES)
S2	STRAP: 250x6mm S/S STRAP	



GPC Gladstone Ports Corporation

APPROVED

Name: Erin Clark
Date: 3:35pm 22/09/2022

1 TUG BERTHING LAYOUT PLAN
SCALE: 1:250

NOTE: 1. REFER SHEETS S002 & S003 FOR PROJECT NOTES.

PRINT IN COLOUR

ISSUE	DATE	DESCRIPTION	BY
2	17-08-22	AMENDED AS CLOUDED	DMM
1	16-05-22	ISSUED FOR CONSTRUCTION	SLA
B	16-05-22	AMENDED AS CLOUDED	SLA
A	05-05-22	ISSUED FOR APPROVAL	SLA
AMENDMENTS			

FSA CONSULTING ENGINEERS P/L
commercial | residential | marine
ABN 68802194425

Unit 12, Tingalpa Central
1631 Wynnum Rd, TINGALPA
PO Box 2282, TINGALPA QLD 4173

Tel. +617 3393 9447
email: admin@fsace.com.au
website: www.fsace.com.au

CLIENT:

Pacific Tug
Offshore | Construction | Dredging

8/119 COLBURN AVE., VICTORIA POINT QLD 4165

PROJECT:

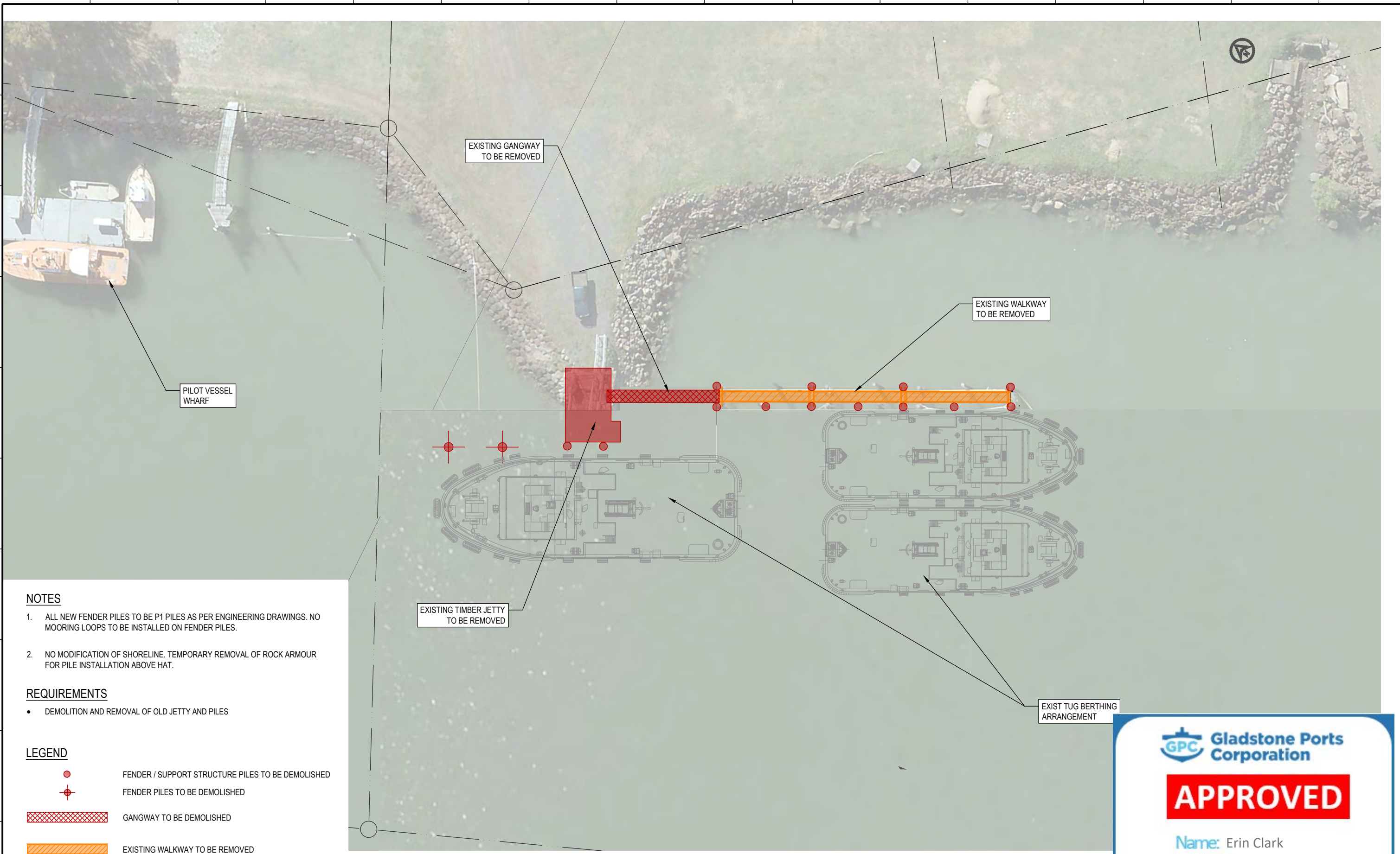
PORT OF BUNDABERG - TUG BERTHING FACILITY REDESIGN

PROJECT REFERENCE No.: **FS3034B**

APPROVED BY:

William Lottering
WILLIAM LOTTERING
RPEQ: 6483
CPEng NPER
DATE: 17-08-22

SHEET CONTENTS:				SHEET SIZE:
TUG BERTHING LAYOUT PLAN				A3
DRAWN: SLA	DATE: 03-05-22	Q.A. CHECK: WSBL	DATE: 17-08-22	SCALE: As indicated
DESIGNED: BR	DWG No.: FS3034B - S301	ISSUE TYPE: CONSTRUCTION	ISSUE: 2	



NOTES

1. ALL NEW FENDER PILES TO BE P1 PILES AS PER ENGINEERING DRAWINGS. NO MOORING LOOPS TO BE INSTALLED ON FENDER PILES.
2. NO MODIFICATION OF SHORELINE. TEMPORARY REMOVAL OF ROCK ARMOUR FOR PILE INSTALLATION ABOVE HAT.

REQUIREMENTS

- DEMOLITION AND REMOVAL OF OLD JETTY AND PILES

LEGEND

- FENDER / SUPPORT STRUCTURE PILES TO BE DEMOLISHED
- FENDER PILES TO BE DEMOLISHED
- GANGWAY TO BE DEMOLISHED
- EXISTING WALKWAY TO BE REMOVED
- TIMBER JETTY TO BE DEMOLISHED

PLAN
SCALE 1:200

Gladstone Ports Corporation

APPROVED

Name: Erin Clark
Date: 3:38pm 22/09/2022

REV	DATE	DESCRIPTION	BY	REVIEWED	APPROVED
1	20.6.2021	FOR CONSTRUCTION	MC	JL	
0	28.4.2021	FOR CONSTRUCTION	MC	JL	
A	26.02.2021	ISSUED FOR DEVELOPMENT APPLICATION	MC	JL	

976 PINE CREEK ROAD,
Electra,
Queensland, 4670
Ph +61 (0) 499 000 202
jim@longjac.net.au

LONJAC
CIVIL • MARINE • MANAGEMENT

FOR CONSTRUCTION

SURVEY / DESIGN REFERENCES
HORIZONTAL DATUM - MGA
VERTICAL DATUM - LAT

0 2 4 6 8 10m
SCALE 1:200 AT ORIGINAL SIZE

Wide Bay Shipping Services
Towage | Port Services | Salvage

DESIGNED BY	J.LAWLEY	JUNE 2022
DESIGN CHECKED	M. COLLINGS	JUNE 2022
DRAWN	N/A	
REGISTERED PROFESSIONAL	J.LAWLEY	
REGISTRATION	LONJAC PTY LTD	
SIGNATURE		
No.	22281	
Date	30.6.2022	

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PROJECT WIDE BAY SHIPPING SERVICES TUG BERTH REJUVENTATION		
DRAWING TITLE DEMOLITION PLAN		
SCALE AS SHOWN	DRG NO. LJ-0010-01- G002	REV 1

GENERAL NOTES:

G1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE RELEVANT SCOPE OF WORK & SPECIFICATIONS AND ANY OTHER CONSULTANT'S DRAWINGS OR SPECIFICATIONS AS APPROPRIATE. ALL DISCREPANCIES SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

G2. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED. ONLY FIGURED DIMENSIONS ARE TO BE USED. THESE DRAWINGS SHALL NOT BE SCALED.

G3. ALL DIMENSIONS AND LEVELS ARE TO BE VERIFIED BEFORE SETTING-OUT, CONSTRUCTION OR FABRICATION IS COMMENCED.

G4. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STABILITY OF THE STRUCTURE AND OTHER ADJACENT STRUCTURES.

G5. WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE RELEVANT CURRENT AUSTRALIAN STANDARDS INCLUDING THE NATIONAL CONSTRUCTION CODE INCORPORATING THE BUILDING CODE OF AUSTRALIA AND THE BUILDING ACT QUEENSLAND.

G6. APPROVAL OF ANY SUBSTITUTION SHALL BE SOUGHT FROM THE SUPERINTENDENT OR ENGINEER BUT IS NOT AN AUTHORISATION FOR A VARIATION TO THE CONTRACT. ANY ADDITIONAL WORKS INVOLVED SHALL BE REFERRED TO THE SUPERINTENDENT OR ENGINEER PRIOR TO THE COMMENCEMENT OF THE WORKS.

G7. UNLESS DRAWINGS ARE IDENTIFIED AS "FOR CONSTRUCTION" THEY SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

G8. THESE DRAWINGS ARE PROJECT SPECIFIC AND ARE NOT AUTHORISED TO BE USED AT ANY TIME FOR ANY STRUCTURE OTHER THAN THAT SPECIFIED ON THE PLAN.

G9. NOMINATION OF PROPRIETARY ITEMS DOES NOT INDICATE EXCLUSIVE PREFERENCE BUT INDICATES THE REQUIRED PROPERTIES OF THE ITEM. SIMILAR ALTERNATIVES HAVING THE REQUIRED PROPERTIES MAY SUBMITTED TO THE SUPERINTENDENT OR ENGINEER FOR APPROVAL.

G10. INSTALLATION AND ASSEMBLY OF PROPRIETARY ITEMS AS PART OF A PROPRIETARY SYSTEM SHALL BE AS PER THE MANUFACTURERS SPECIFICATIONS. IN THE INSTANCE THAT THESE DRAWINGS DEVIATE FROM THE MANUFACTURERS SPECIFICATION IN ANY WAY IMMEDIATELY CEASE WORKS AND REFER TO THE ENGINEER BEFORE PROCEEDING.

G11. DESIGN AND CERTIFICATION IS LIMITED TO STRUCTURAL ELEMENTS ONLY. ANY AND ALL BUILDING CODE RELATED DESIGN ACCESS AND EGRESS (INCLUDING EMERGENCY ACCESS), BUILDING CONFIGURATION AND VENTILATION ETC., DOORS, WINDOWS, STAIR RISERS/GOINGS, HANDRAILS, ETC. ARE NOT COVERED UNDER THIS DESIGN OR CERTIFICATION.

G12. INTENDED USE LIMITATIONS AND LIMITING ALLOWABLE ENVIRONMENTAL CONSIDERATIONS RELATING TO THE DOCUMENTED STRUCTURE IS AS PER THE DESIGN NOTED IN THE DESIGN DRAWINGS, AND RELEVANT CALCULATION REPORTS OR SPECIFICATIONS. INTENTIONAL USE OF THE STRUCTURE OUTSIDE OF THE DESIGN PARAMETERS IS NOT PERMITTED WITHOUT APPROVAL FROM THE CERTIFYING ENGINEER.

G13. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE SUPERINTENDENT IF THERE ARE ANY POTENTIAL HAZARDS OR RISKS THAT ARE UNIQUE TO THIS PARTICULAR DESIGN, SITE CONDITIONS, CONSTRUCTION METHODOLOGY OR ANY OTHER CONDITION THAT SHOULD BE CONSIDERED AS PART OF THE SAFETY IN DESIGN REVIEW UNDER THE WORK HEALTH AND SAFETY ACT 2011.

G14. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL LOCATE ALL EXISTING SERVICES WHICH MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION.

G15. THE CONTRACTOR SHALL PROTECT FROM DAMAGE AND SUPPORT ANY AND ALL SERVICES THAT MAY BE AFFECTED BY THESE WORKS.

G16. IF APPLICABLE, MECHANICAL CONCRETE ANCHORS SHALL BE INSTALLED BY PERCUSSION DRILLING ONLY; CORE DRILL INTO EXISTING STRUCTURES IS NOT PERMITTED WITHOUT APPROVAL BY THE DESIGN ENGINEER.

G17. RE-USE OF MECHANICAL SCREW-BOLT TYPE CONCRETE ANCHORS IS NOT PERMITTED. ALL INSTALLED ANCHORS SHALL BE NEW.

CONCRETE NOTES:

C1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600 AND AS4997. ANY MATTER IN DOUBT SHALL BE REFERRED TO THE SUPERINTENDENT.

C2. CONCRETE COMPONENTS AND QUALITY SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE ON THE DESIGN DRAWINGS:

ELEMENT	GRADE	SLUMP	MAX. NOMINAL AGGREGATE	SPECIAL REQUIREMENT
ABUTMENT AND PILE INFILL	S50	120	20	

SPECIAL MIX FOR MARINE ENVIRONMENTS

- GRADE: S50
- SLUMP: 120mm
- MAXIMUM NOMINAL AGGREGATE SIZE: 20mm
- ADMIXTURE: XPEX ADMIX-5000 OR APPROVED EQUIVALENT ADDED AS PER MANUFACTURERS SPECIFICATIONS
- SPECIAL REQUIREMENTS:
 - MINIMUM CEMENTITIOUS CONTENT 400 KG/m³
 - MAXIMUM WATER TO BINDER RATIO 0.4

C3. MINIMUM COVER (mm) TO ALL REINFORCEMENT SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE ON THE DESIGN DRAWINGS.

ELEMENT	FORMED & NOT EXPOSED TO WEATHER	FORMED & EXPOSED TO GROUND WATER OR WEATHER (*)	NOT FORMED, CAST AGAINST GROUND, ETC.
ABUTMENT	N/A	50	50

* INCLUDES ELEMENTS WITH MEMBRANE

C4. SIZES OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF APPLIED FINISHES.

C5. NO HOLES, CHASES OR EMBEDMENT OF PIPES OTHER THAN THOSE SHOWN ON THE DESIGN DRAWINGS SHALL BE MADE IN THE CONCRETE MEMBERS WITHOUT THE PRIOR APPROVAL OF THE SUPERINTENDENT.

C6. CONSTRUCTION JOINTS SHALL BE USED ONLY WHERE SHOWN ON THE DESIGN DRAWINGS OR APPROVED BY THE SUPERINTENDENT. JOINT FACES SHALL BE PROPERLY FORMED PERPENDICULAR TO THE MEMBER AXIS, SCABBLED TO EXPOSE COARSE AGGREGATE, CLEANED FREE OF LAITANCE AND LOOSE MATERIAL AND THOROUGHLY WETTED PRIOR TO CONTINUATION OF CONCRETING.

C7. FORMWORK SHALL BE DESIGNED, CONSTRUCTED AND STRIPPED IN ACCORDANCE WITH AS3610. FORMWORK DESIGN TO PROVIDE A CLASS 2 FINISH ON ALL EXPOSED SURFACES UNLESS NOTED OTHERWISE ON THE DESIGN DRAWINGS. BALANCE OF SURFACES TO BE CLASS 3 FINISH.

C8. ALL CONCRETE SHALL BE PROPERLY CURED BY KEEPING ALL EXPOSED SURFACES IN A MOIST OR DAMP CONDITION FOR AT LEAST THE FIRST SEVEN DAYS AFTER PLACING THE CONCRETE. ALTERNATIVE CURING METHODS SHALL ONLY BE USED WITH THE WRITTEN APPROVAL OF THE SUPERINTENDENT/ENGINEER. ALL CURING SHALL BE COMPATIBLE WITH SURFACES FINISHES.

C9. TESTING AND SAMPLING OF CONCRETE SHALL BE AS SPECIFIED BY PROJECT CONTROL TESTING IN AS3600 AND AS1379.

C10. FOOTING SLAB CONCRETE SURFACES TO BE POWER FLOAT FINISHED WITH ALL TRAFFICABLE AREAS TO HAVE A LIGHT BROOM FINISH (TO PROVIDE AN ANTI-SLIP SURFACE).

C11. ALL EXPOSED PLINTH CORNERS TO BE FINISHED WITH 25X25 CHAMFER.

REINFORCEMENT NOTES:

R1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600. ANY MATTER IN DOUBT SHALL BE REFERRED TO THE SUPERINTENDENT.

R2. REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY AND NOT NECESSARILY SHOWN IN TRUE PROJECTION OR SCALE.

R3. SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN LOCATIONS SHOWN OR AS APPROVED BY THE SUPERINTENDENT OR ENGINEER. ALL COGS, HOOKS AND BENDS SHALL COMPLY WITH AS3600 UNLESS NOTED OTHERWISE.

R4. WELDING OR SITE BENDING OF REINFORCEMENT IS NOT PERMITTED WITHOUT PRIOR APPROVAL FROM THE SUPERINTENDENT OR ENGINEER.

R5. REINFORCEMENT SHALL BE STORED CLEAR OF GROUND AND PROTECTED AGAINST SALT WATER SPRAY AND OTHER CONTAMINANTS.

R6. ALL REINFORCEMENT SHALL BE SECURELY SUPPORTED IN ITS CORRECT POSITION BY APPROVED BAR CHAIRS, SPACERS, OR SUPPORT BARS, GENERALLY AT NOT GREATER THAN 900 CENTRES IN BOTH DIRECTIONS.

REINFORCEMENT TYPES:

- N: HOT ROLLED DEFORMED BAR TO AS/NZS 4671 WITH f_{sy} = 500MPa
- R: STRUCTURAL GRADE PLAIN ROUND BAR TO AS 1302 WITH f_{sy} = 250MPa
- W: HARD DRAWN REINFORCING WIRE TO AS/NZS 4671 WITH f_{sy} = 450MPa
- SL: SQUARE MESH, LOW DUCTILITY WITH f_{sy} = 500MPa
- RL: RECTANGULAR MESH, LOW DUCTILITY WITH f_{sy} = 500MPa

R7. ADDITIONAL HOLES, CHASES OR EMBEDMENT OF PIPES OTHER THAN THOSE SHOWN ON THE DESIGN DRAWINGS ARE TO BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.

R8. WELDING OR SITE BENDING OF REINFORCEMENT IS NOT PERMITTED WITHOUT PRIOR APPROVAL FROM THE ENGINEER.

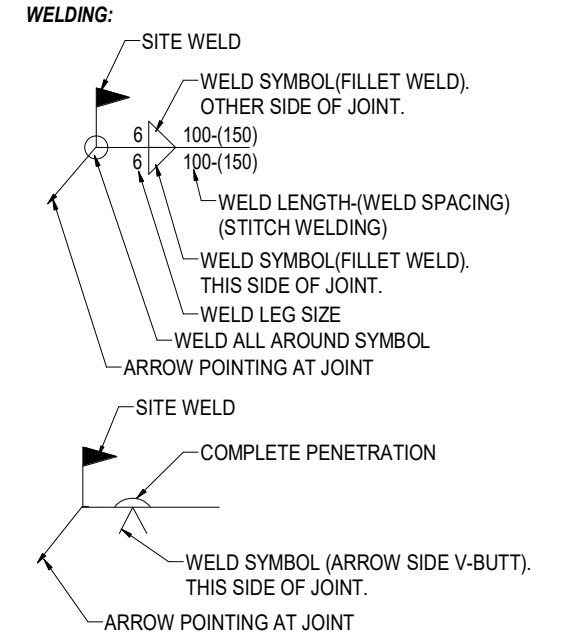
R9. ALL WELDING OF REINFORCEMENT TO COMPLY WITH AS4100 & AS1554.3

R10. SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN LOCATIONS SHOWN OR AS APPROVED BY THE ENGINEER.

R11. MINIMUM LAP LENGTHS FOR REINFORCEMENT SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:

BAR SIZE	BAR LAP LENGTHS 'L'						COLUMNS
	FOR SLABS < 300 THICK AND VERTICAL REINFORCEMENT IN WALLS			FOR SLABS > 300 THICK AND HORIZONTAL REINFORCEMENT IN WALLS AND BEAMS			
	CONCRETE GRADE		CONCRETE GRADE	CONCRETE GRADE		ALL CONCRET GRADES	
	32	40	50	32	40	50	
N12	500	500	500	600	500	500	500
N16	700	650	650	900	800	700	700
N20	950	850	800	1200	1100	950	950
N24	1200	1100	960	1550	1400	1250	1200
N28	1500	1350	1200	1950	1750	1550	1500
N32	1800	1600	1450	2350	2100	1900	1800

STANDARD NOTATION/LEGEND:



GPC Gladstone Ports Corporation

APPROVED

Name: Erin Clark
Date: 3:52pm 22/09/2022

PRINT IN COLOUR

2	05-05-22	AMENDED AS CLOUDED	SLA	<p>FSA CONSULTING ENGINEERS P/L commercial residential marine ABN 68802194425</p> <p>Unit 12, Tingalpa Central 1631 Wynnum Rd, TINGALPA PO Box 2282, TINGALPA QLD 4173</p> <p>Tel. +617 3393 9447 email: admin@fsace.com.au website: www.fsace.com.au</p>	CLIENT:	<p>Pacific Tug Offshore Construction Dredging</p> <p>8/119 COLBURN AVE., VICTORIA POINT QLD 4165</p>	PROJECT:	<p>PORT OF BUNDABERG - TUG BERTHING FACILITY REDESIGN</p> <p>PROJECT REFERENCE No.: FS3034B</p>	APPROVED BY:	<p>WILLIAM LOTTERING RPEQ: 6483 CPEng NPER DATE: 05-05-22</p>	SHEET CONTENTS:	<p>PROJECT NOTES SHEET 1 OF 2</p> <p>SCALE: 1 : 1</p> <p>ISSUE TYPE: CONSTRUCTION</p>	SHEET SIZE:	<p>A3</p> <p>2</p>
1	16-02-21	ISSUED FOR CONSTRUCTION	SLA											
A	16-11-20	ISSUED FOR APPROVAL	SLA											
ISSUE	DATE	DESCRIPTION	BY											

STRUCTURAL STEEL NOTES:

S1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 4100.

S2. STEEL TYPES SHALL BE TO THE FOLLOWING GRADES IN ACCORDANCE WITH THE RELEVANT STANDARD UNLESS NOTED OTHERWISE ON THE DESIGN DRAWINGS:

STEEL TYPE	GRADE	TO COMPLY WITH
HOT ROLLED SECTIONS	GRADE 300	AS3679.1
WELDED SECTIONS (WB,WC)	GRADE 300	AS3679.2
MERCHANT BARS (ROUND, SQUARE, FLAT)	GRADE 300	AS3679.1
HOLLOW SECTIONS (SHS, RHS, CHS)	GRADE 350	AS1163
PLATES	GRADE 300	AS3678

UNIDENTIFIED STEEL HAS NOT BEEN CONSIDERED AND IS THEREFORE NOT PERMITTED

S3. BOLTS SHALL BE AS FOLLOWS U.N.O.

- BOLTS SHALL BE M20.
- BOLT CATEGORY SHALL BE A4-70/S.
- THREADS MAY BE INCLUDED IN THE SHEAR PLANES.
- ALL BOLTS, NUTS AND WASHERS SHALL BE A4-70/S.
- BOLTS DENOTED A4-70/S ARE COMMERCIAL BOLTS SNUG TIGHT.
- INSTALLED BOLTS SHALL HAVE MINIMUM OF TWO THREADS PROJECTING BEYOND THE OUTER NUT SURFACE.

S4. MIN. BOLT HOLES DISTANCES SHALL BE:

SIZE	BETWEEN CENTRES OF HOLES (2.5xØ)	EDGE DISTANCE (1.5xØ)
M12	30	18
M16	40	24
M20	50	30
M24	60	36
M28	70	42
M30	75	45
M32	80	48

S5. BOLT HOLE CLEARANCES FOR STRUCTURAL CONNECTIONS (EXCLUDING BASE PLATES) SHALL BE 2mm UNO FOR BOLT SIZES M24 OR LESS AND NO MORE THAN 3mm FOR BOLT SIZES GREATER THAN M24. FOR ANY NON-STANDARD METRIC THREADS, HOLE CLEARANCES TO BE VERIFIED WITH SUPPLIER OF THREADED COMPONENT PRIOR TO STEEL FABRICATION.

S6. WELDING SHALL COMPLY WITH AS/NZS 1554.1, AS1554.2 OR AS/NZS1554.5, AS APPROPRIATE.

S7. UNLESS NOTED OTHERWISE:

ALL WELDS 6mm CONTINUOUS FILLET WELDS DOUBLE SIDES/ALL AROUND WELD CATEGORY STRUCTURAL PURPOSE E49xx ELECTRODES

S8. ALL WELDS REQUIRE INSPECTION TO BE CARRIED OUT IN ACCORDANCE WITH THE PROVISIONS OF AS/NZS1554.1:

STRUCTURAL PURPOSE (SP) WELDS

100% VISUALLY SCANNED IN ACCORDANCE WITH CLAUSE 7.3. SP FILLET WELDS SHALL BE 10% VISUALLY EXAMINED IN ACCORDANCE WITH TABLE 6.2.2. SP BUTT WELDS SHALL BE 50% VISUALLY EXAMINED IN ACCORDANCE WITH TABLE 6.2.2.

GENERAL PURPOSE (GP) WELDS

100% VISUALLY SCANNED IN ACCORDANCE WITH CLAUSE 7.3. ALL GP WELDS SHALL BE 5% VISUALLY EXAMINED IN ACCORDANCE WITH TABLE 6.2.2.

S9. CORROSION PROTECTION FOR EXTERNAL STEELWORK

PAINTING EXTERNAL STEELWORKS

- ALL STEEL WORKS SHALL BE CLEANED TO AS1627, CLASS 2 1/2 PREPARATION:
 - PRIMER: A COATING OF INORGANIC ZINC SILICATE (TO ACHIEVED A DRY FILM THICKNESS OF 75 MICRONS)
 - TOP COAT: WATTYL EPINAMEL BLACK UHB1000 DFT 800 Micron
- PILE LINERS SHALL HAVE MIN 2m PAINT BELOW GROUND SURFACE. APPLY 2 LAYERS/COATINGS WITH INTERZONE 954

S10. CONNECTIONS:

ALL STRUCTURAL STEEL DETAILS, GAUGE LINE, ETC. (WHERE NOT SPECIFICALLY SHOWN) ARE TO BE IN ACCORDANCE WITH A.S.I PUBLICATIONS "DESIGN CAPACITY TABLES FOR STRUCTURAL STEEL" AND "STANDARDISED STRUCTURAL CONNECTIONS". ENDS OF ALL EXPOSED HOLLOW SECTIONS SHALL BE SEALED WITH NOMINAL THICKNESS PLATE CONTINUALLY WELDED TO SEAL ENDS U.N.O. ALL PLATES 10mm THICKNESS U.N.O.

S11. THERE SHALL BE NO DIRECT CONTACT BETWEEN DISSIMILAR METALS WITHOUT WRITTEN APPROVAL BY THE SUPERINTENDENT OR ENGINEER. SEPARATION SHALL BE PROVIDED BY AN APPROVED SYNTHETIC INSULATION MATERIAL.

PILING NOTES:

P1. SUPPLY AND INSTALLATION OF PILES SHALL COMPLY WITH AS2159 "PILING DESIGN AND INSTALLATION" OR AN APPROVED EQUIVALENT INTERNATIONAL STANDARD.

P2. ALL STEEL PILES SHALL HAVE A MINIMUM YIELD STRESS OF 350MPa U.N.O.

P3. ALL PILES MUST BE DRIVEN TO ACHIEVE THE DESIGN GEOTECHNICAL COMPRESSION AND TENSION STRENGTHS OF NOT LESS THAN THE VALUES STIPULATED ON THE DRAWINGS.

P4. PDA LOAD TESTS TOGETHER WITH CAPWAP ANALYSIS OR OTHER APPROVED TESTING METHOD ARE TO BE USED TO PROVE GEOTECHNICAL CAPACITIES. MINIMUM PILE QUANTITY TO BE TESTED: 100% (ALL PILES TO BE TESTED)

- ULTIMATE STRUCTURAL AXIAL COMPRESSION FORCE ON 610OD PILE: 615kN
- ULTIMATE STRUCTURAL AXIAL TENSION FORCE ON 610OD PILES: 440kN
- ULTIMATE STRUCTURAL AXIAL COMPRESSION FORCE ON 457OD PILE: 150kN

P5. THE APPLIED GEOTECHNICAL STRENGTH REDUCTION FACTOR IS TO BE: = 0.8

P6. IN THE INSTANCE OF ASSESSING PILE TENSION CAPACITIES USING A DYNAMIC TESTING METHOD SUCH AS CAPWAP AN ADDITIONAL REDUCTION FACTOR OF 0.8 SHALL BE APPLIED IN ADDITION TO THE GEOTECHNICAL STRENGTH REDUCTION FACTOR FOR DETERMINATION OF THE DESIGN GEOTECHNICAL TENSION CAPACITY.

P7. ESTIMATED EMBEDMENT DEPTHS ARE TO BE TAKEN AS APPROXIMATE ONLY. MIN. PILE EMBEDMENT LENGTH MEASUREMENTS EXCLUDE PILE PENETRATION UNDER SELF WEIGHT (i.e. EXCLUDE SOFT SEABED MUD LAYER)

P8. MINIMUM EMBEDMENT MEASURED FROM SEABED LEVEL TO BE 25m

P9. MAXIMUM PILE POSITIONAL TOLERANCE TO BE 100mm. MAX. PILE INCLINATION TOLERANCE TO BE 1% IN ANY DIRECTION

DESIGN DATA

L1. DESIGN WORKING LIFE: 25 year(s)

L2. DESIGN DATA IS IN ACCORDANCE WITH:

- AS1170.0 (2002): STRUCTURAL DESIGN ACTIONS GENERAL PRINCIPLES
- AS1170.1 (2002): PERMANENT, IMPOSED AND OTHER ACTIONS
- AS1170.2 (2011): STRUCTURAL DESIGN ACTIONS - WIND ACTIONS
- AS 4997-2005 – GUIDELINES FOR THE DESIGN OF MARITIME STRUCTURES
- BS 6349 – MARITIME WORKS. CODE OF PRACTICE FOR THE DESIGN OF QUAY WALLS, JETTIES AND DOLPHINS

L3. WIND DESIGN PARAMETERS:

- WIND REGION: B
- DESIGN ULTIMATE WIND SPEED: 45.0 m/s
- DESIGN SERVICEABILITY WIND SPEED: 20.0 m/s
- SHIELDING MULTIPLIER: 1
- TOPOGRAPHIC MULTIPLIER: 1

L4. CURRENT DESIGN PARAMETERS:

- FLOOD VELOCITY: 3.1 m/s
- NORMAL CURRENT VELOCITY: 1.03m/s

L5. ALLOWABLE LIVE LOADING PER 33m TMR PLATFORM: 2

- 600t KEPPEL BAY TUG BERTHING CONDITIONS:
 - MAX. 1 knot CURRENT SPEED, OR
 - MAX. 15knots WIND SPEED, OR
 - MAX. WAVE HEIGHTS 1.1m
 - MAX. FACTORED BERTHING LOAD: 210kN (SINGLE BENT)

- 600t KEPPEL BAY TUG MOORING CONDITIONS:
 - MAX. 2 TUGS MOORING ALONG THE JETTY QUAY LINE
 - MAX. WIND SPEED: 20m/s
 - MAX. CURRENT SPEED: 1.03m/s
 - DISENGAGE VESSELS FROM JETTY DURING FLOOD EVENT
 - MAX. FACTORED MOORING LOAD: 300kN BOLLARD LOAD (IN ANY DIRECTION)

- GANGWAY AND WALKWAY UDL: 2.5 kPa
- REMOVABLE GANGWAY TO BE REMOVED DURING FLOOD EVENT

L6. TMR PLATFORM MAX WEIGHT: 35t 2

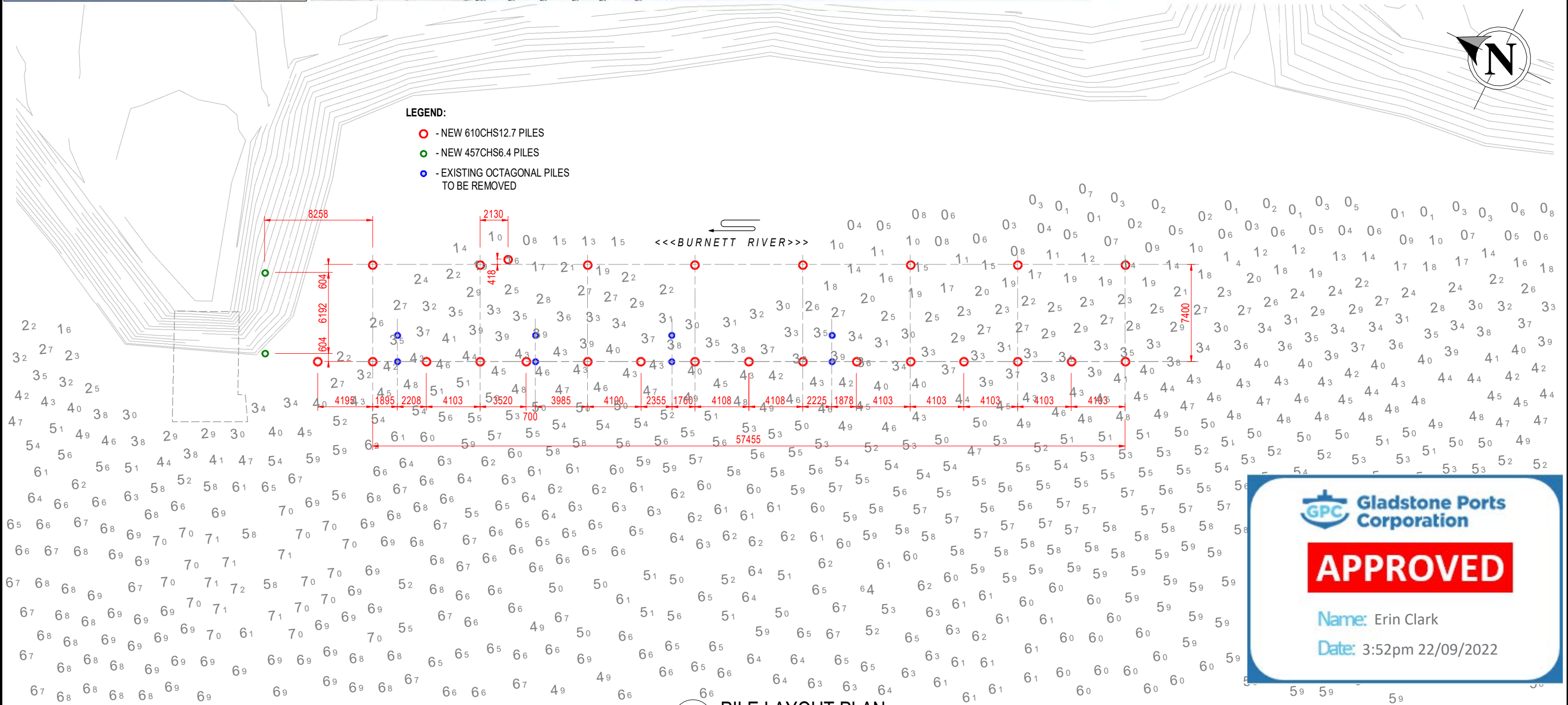
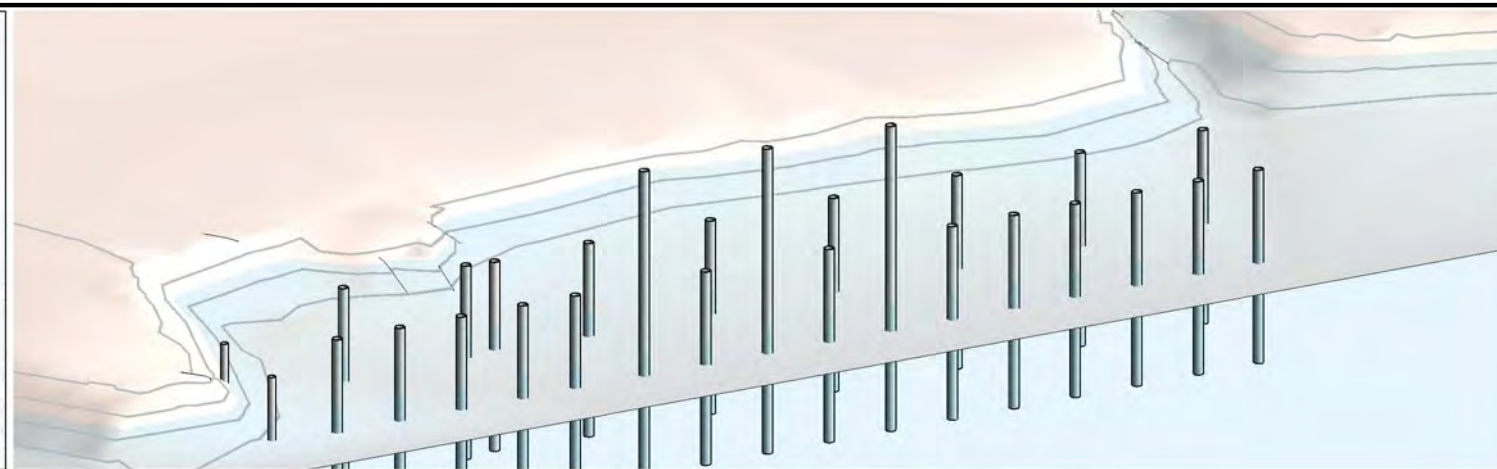
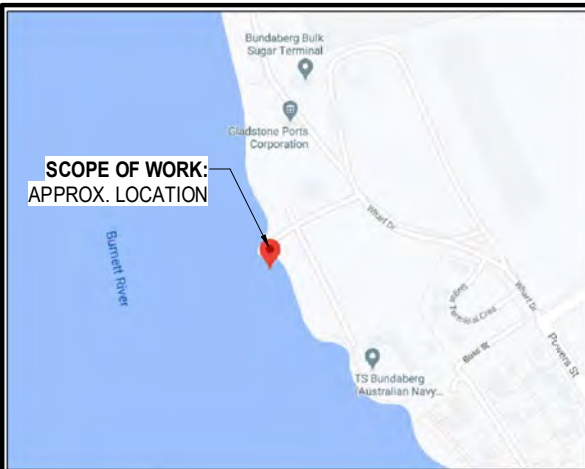
L7. DESIGN ASSUMPTIONS AND LIMITATIONS PER 33m TMR PLATFORM: 2

- ASSUME SECOND TUG (DOWNSTREAM) TAKES 50% OF FULL CURRENT DRAG LOAD
- ASSUME SECOND TUG (DOWNSTREAM) TAKES 0% OF DEBRIS LOAD
- ASSUME TUG FENDER TYRES DEFORMATION AND JETTY DEFLECTION ADD UP TO MAX 0.5m DECELERATION LENGTH.
- ONLY BERTH AGAINST THE JETTY QUAY LINE PILES. BERTHING AGAINST BEAMS IS NOT ALLOWED.
- MOORING LINES ARE ALLOWED TO BE TIED ON JETTY RIVER SIDE FENDER BEAMS
- MAX. DREDGING DEPTH AT QUAY LINE TO BE -5.5m LAT. ASSUME 1m SCOUR DURING FLOOD EVENT



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B	23-11-20	AMENDED AS CLOUDED	SLA																
A	16-11-20	ISSUED FOR APPROVAL	SLA																
ISSUE	DATE	DESCRIPTION	BY																



APPROVED

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Date: 3:52pm 22/09/2022

NOTE: 1. REFER SHEETS S002 & S003 FOR PROJECT NOTES.

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1	16-05-22	ISSUED FOR CONSTRUCTION	SLA
B	16-05-22	AMENDED AS CLOUDED	SLA
A	05-05-22	ISSUED FOR APPROVAL	SLA
AMENDMENTS			

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commercial | residential | marine
ABN 68802194425

Unit 12, Tingalpa Central
1631 Wynnum Rd, TINGALPA
PO Box 2282, TINGALPA QLD 4173

Tel. +617 3393 9447
email: admin@fsace.com.au
website: www.fsace.com.au

CLIENT:

Pacific Tug
Offshore | Construction | Dredging

8/119 COLBURN AVE., VICTORIA POINT QLD 4165

PROJECT:

**PORT OF BUNDABERG -
TUG BERTHING FACILITY
REDESIGN**

PROJECT REFERENCE No.: FS3034B

APPROVED BY:

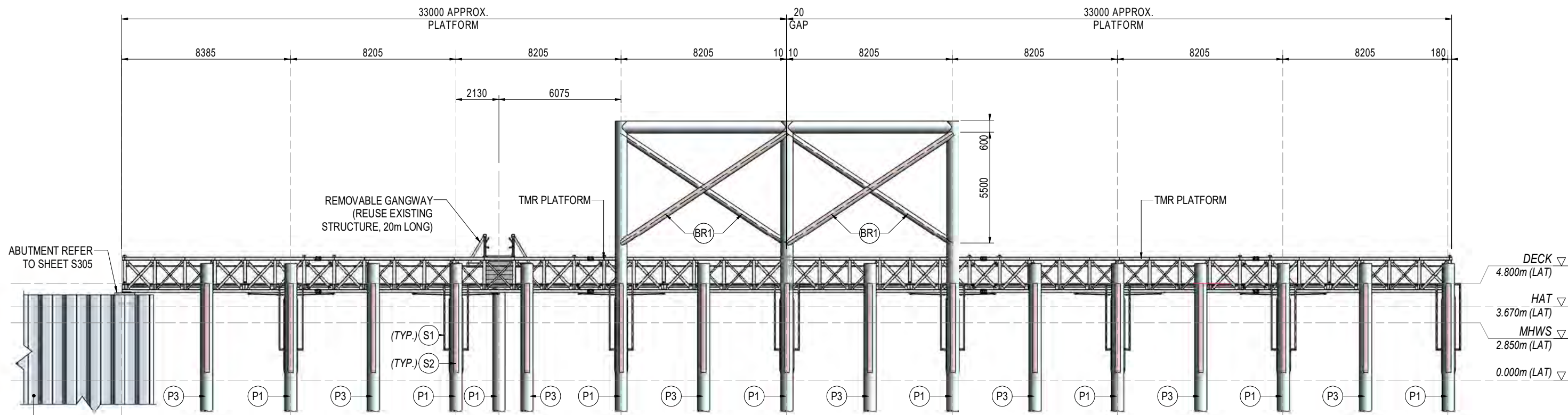
WILLIAM LOTTERING
RPEQ: 6483
CPEng NPFR
DATE: 16-05-22

SHEET CONTENTS:

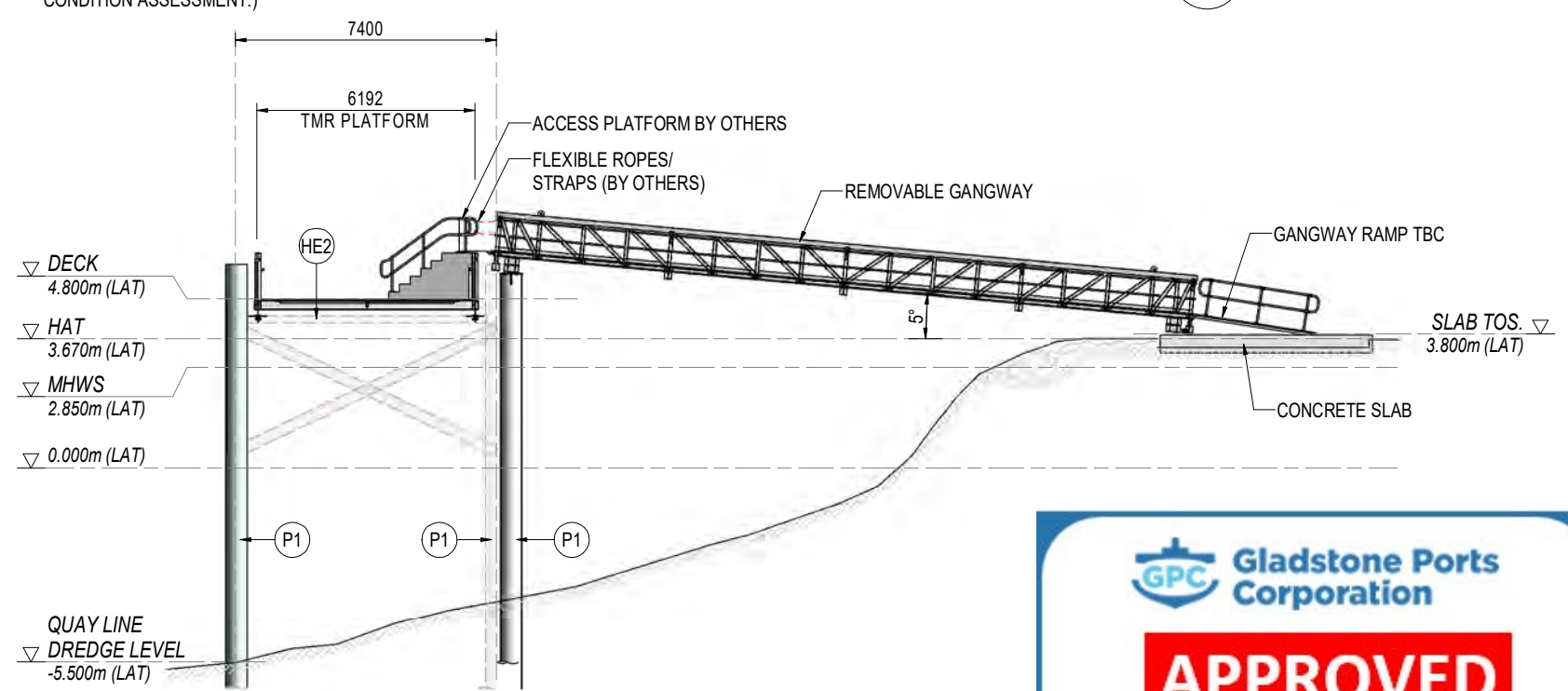
PILE LAYOUT PLAN

DRAWN	DATE	Q.A. CHECK	DATE	SCALE	ISSUE
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DESIGNED:	DWG No.:	ISSUE TYPE:			
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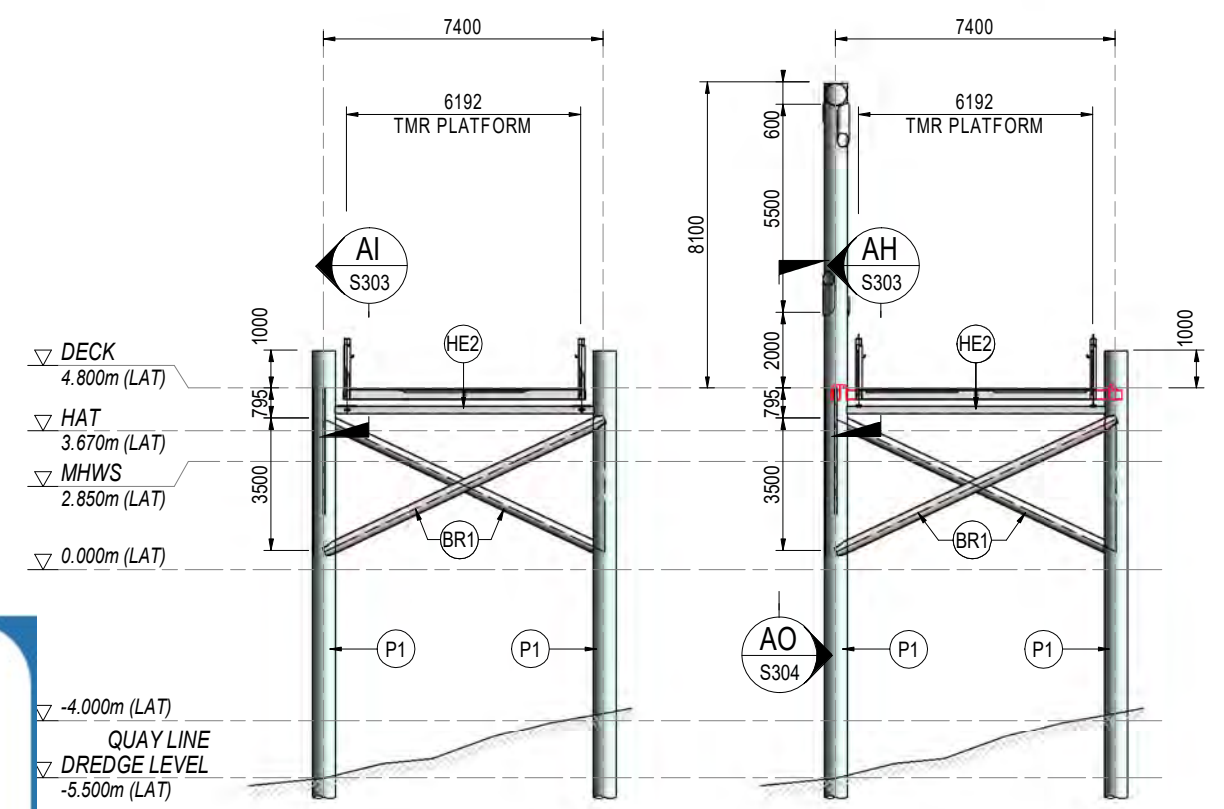
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AD ELEVATION
S301 SCALE: 1 : 200



AE SECTION
S301 SCALE: 1 : 200



AF SECTION
S301 SCALE: 1 : 200

AG SECTION
S301 SCALE: 1 : 200

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ABN 68802194425

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PROJECT:

PORT OF BUNDABERG - TUG BERTHING FACILITY REDESIGN

PROJECT REFERENCE No.: FS3034B

APPROVED BY:

WILLIAM LOTTERING
RPEQ: 6483
CPEng NPER
DATE: 16-05-22

SHEET CONTENTS:

ELEVATION/ SECTIONS

DRAWN: SLA	DATE: 03-05-22	Q.A. CHECK: WBSL	DATE: 16-05-22	SCALE: 1 : 200
DESIGNED: BR	DWG No.: FS3034B - S302	ISSUE TYPE: CONSTRUCTION		

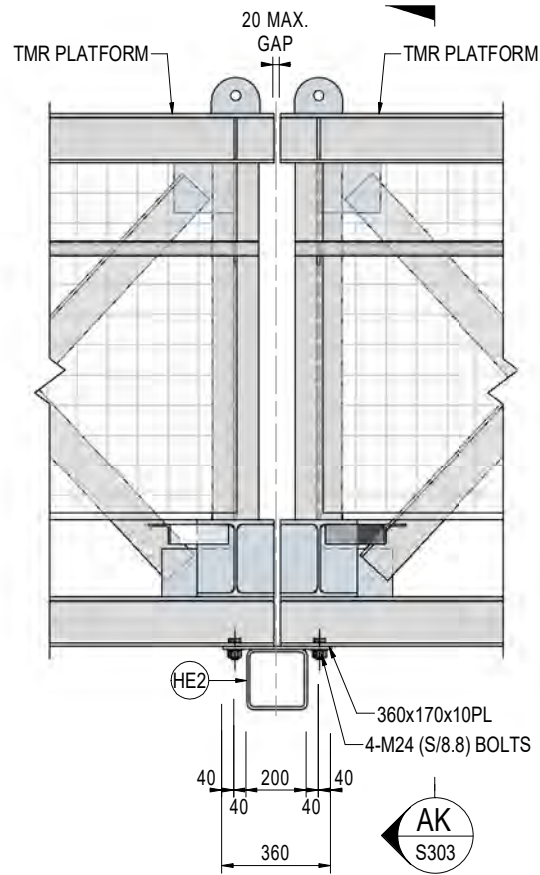
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SHEET SIZE: A3

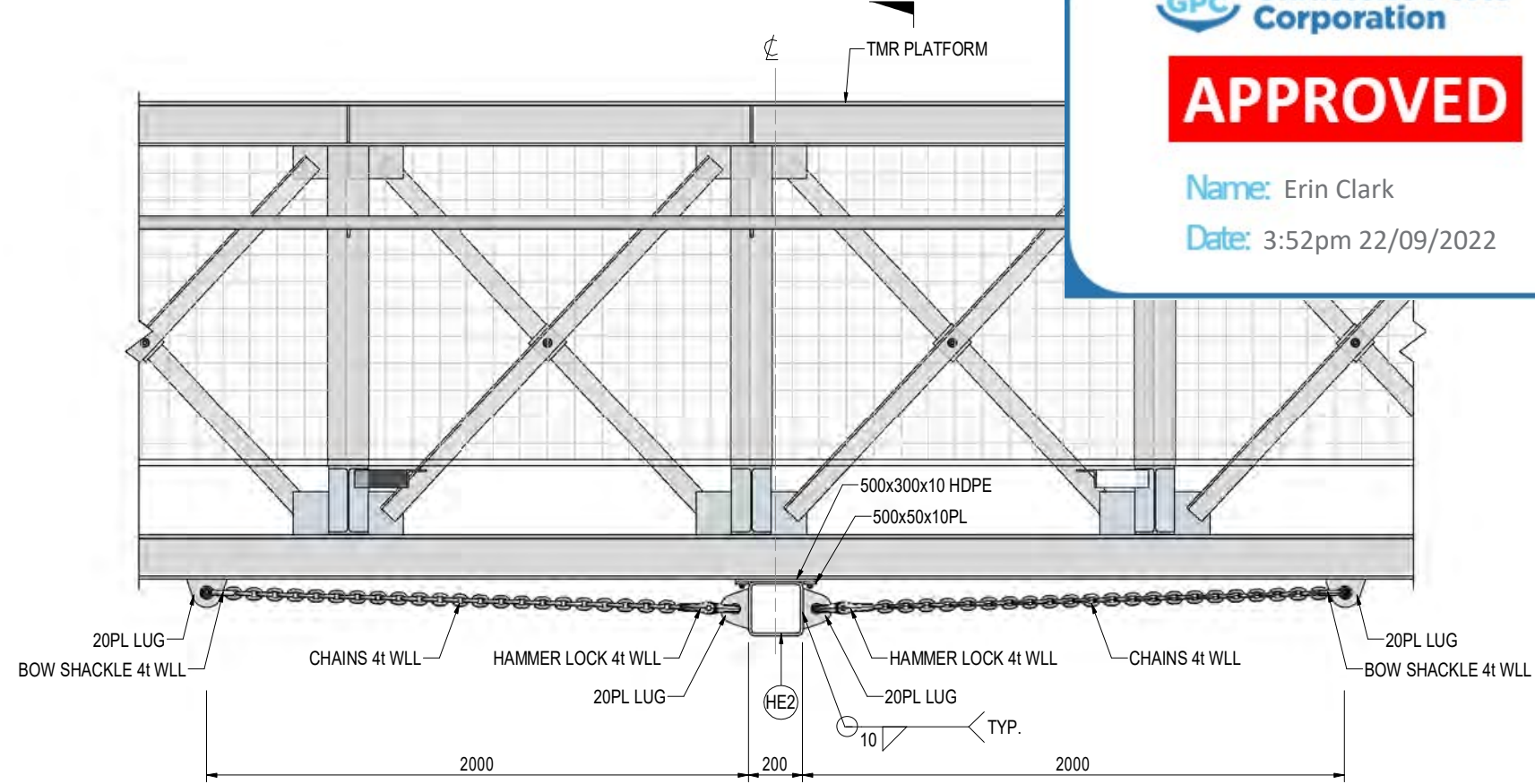
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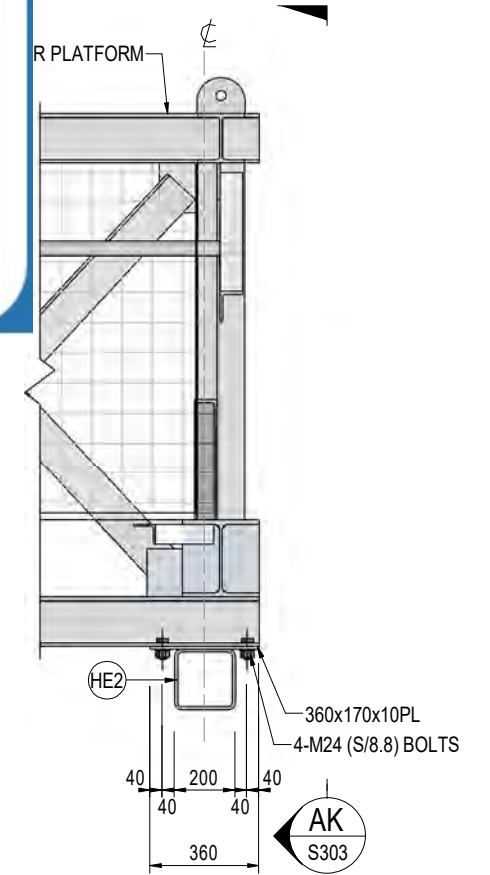
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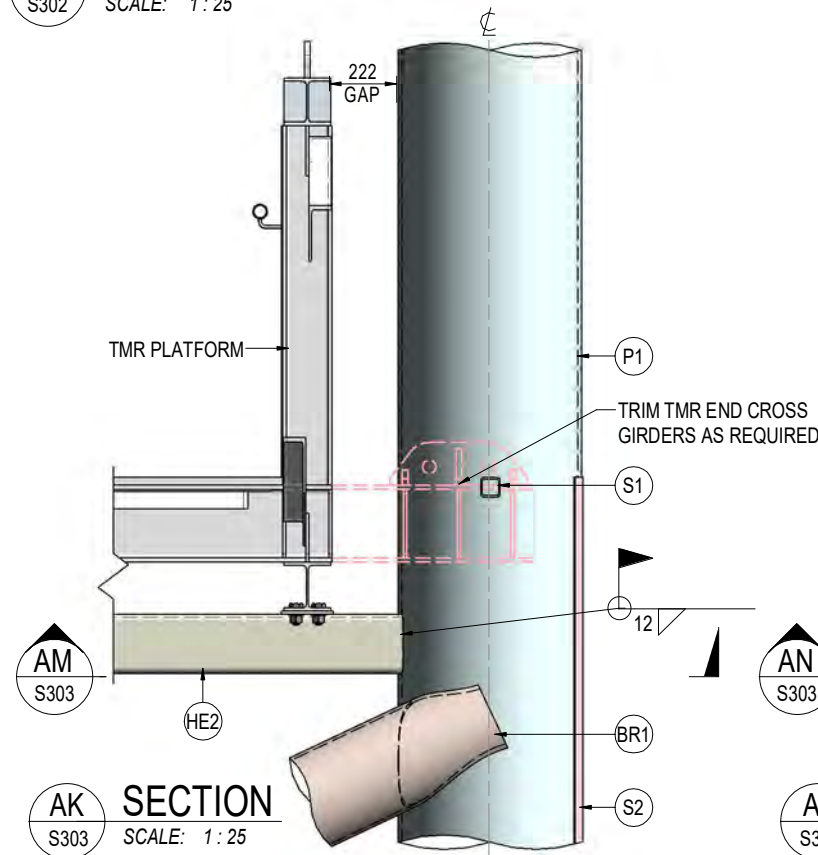
AH SECTION - PLATFORM JOINT SUPPORT
S302 SCALE: 1:25



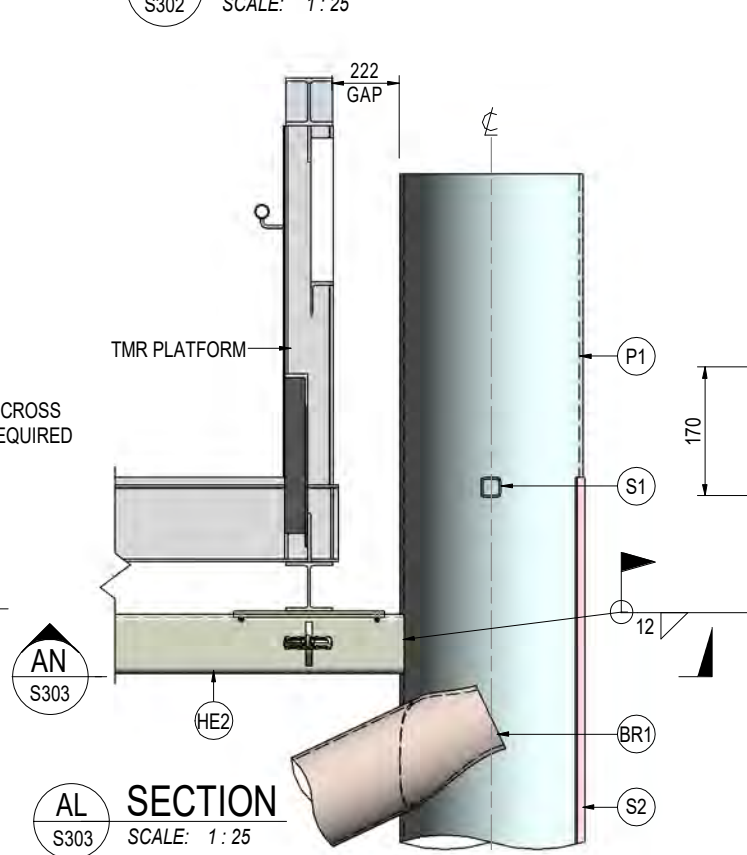
AI SECTION - INTERMEDIATE SUPPORTS
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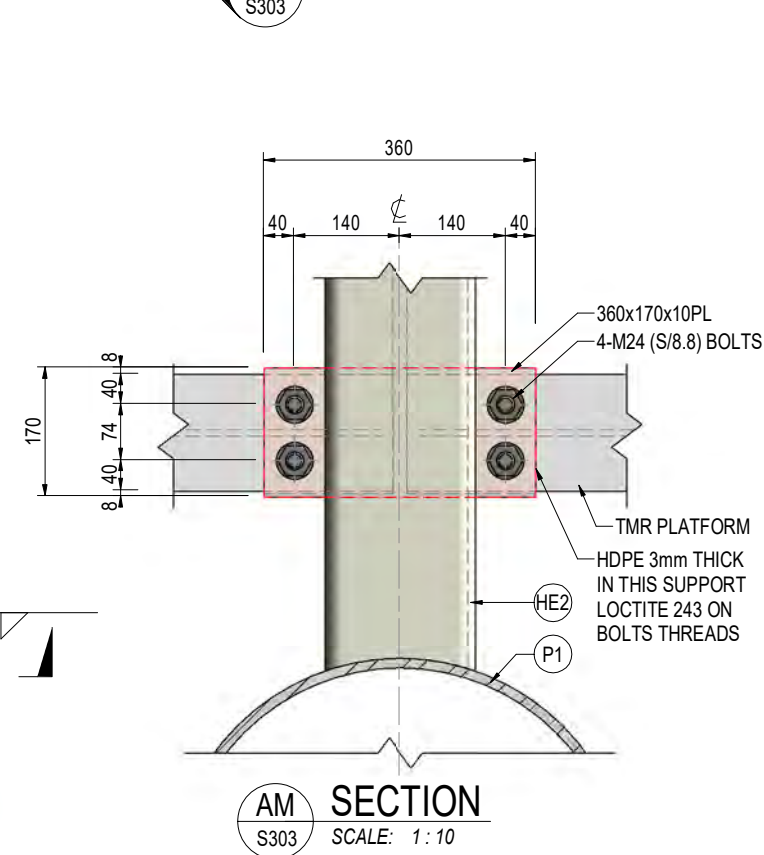
AJ SECTION - END SUPPORT
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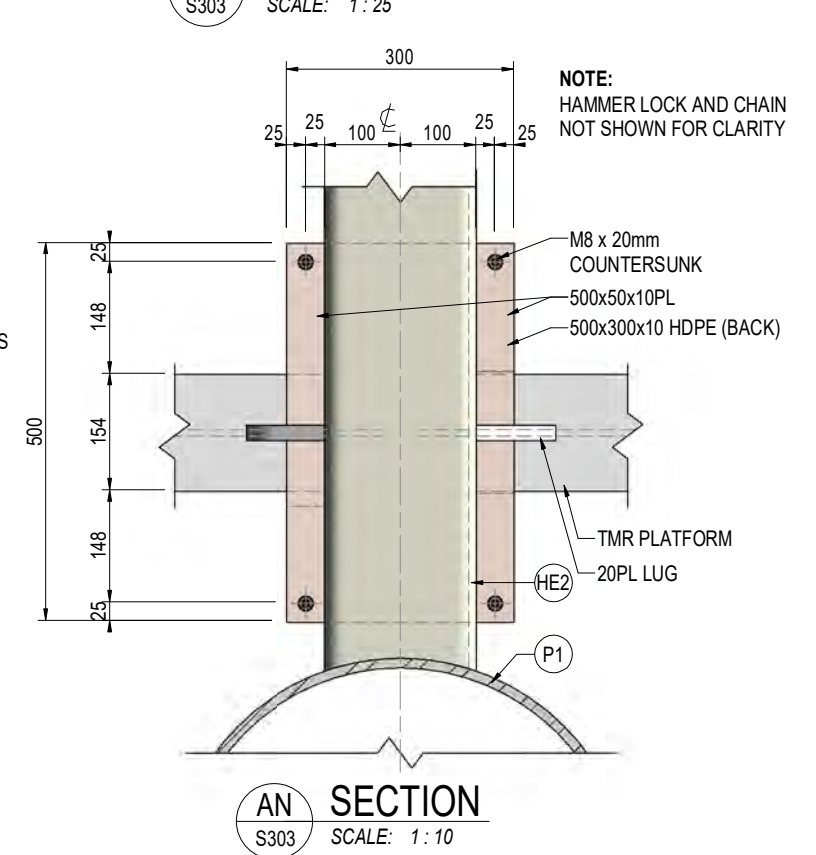
AM SECTION
S303 SCALE: 1:25



AN SECTION
S303 SCALE: 1:25



AM SECTION
S303 SCALE: 1:10



AN SECTION
S303 SCALE: 1:10

NOTE: HAMMER LOCK AND CHAIN NOT SHOWN FOR CLARITY

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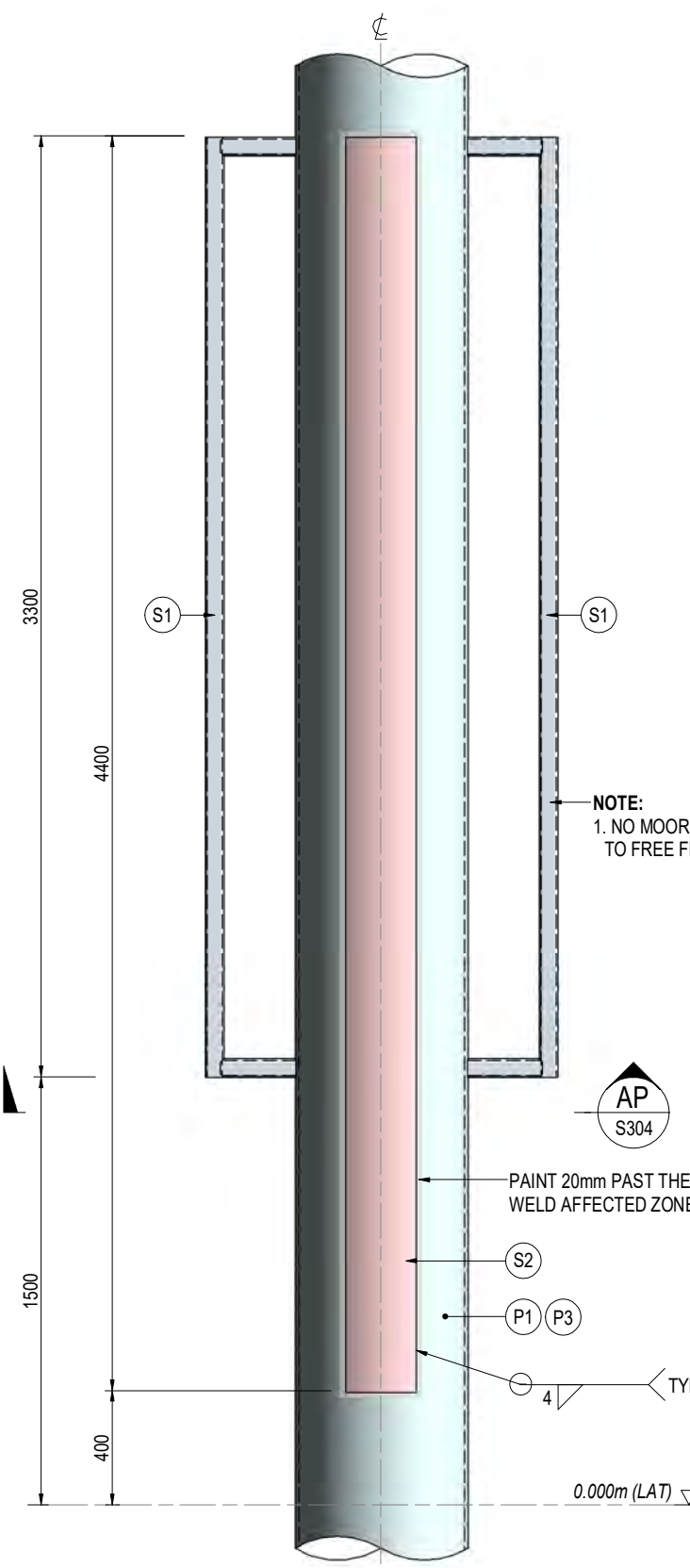
APPROVED BY:
WILLIAM LOTTERING
RPEQ: 6483
CPEng NPER
DATE: 16-05-22

SHEET CONTENTS:
SECTIONS

DRAWN	DATE	Q.A. CHECK	DATE	SCALE
SLA	03-05-22	WSBL	16-05-22	As indicated
DESIGNED:	DWG No.:	ISSUE TYPE:		
BR	FS3034B - S303	CONSTRUCTION		

SHEET SIZE:
A3

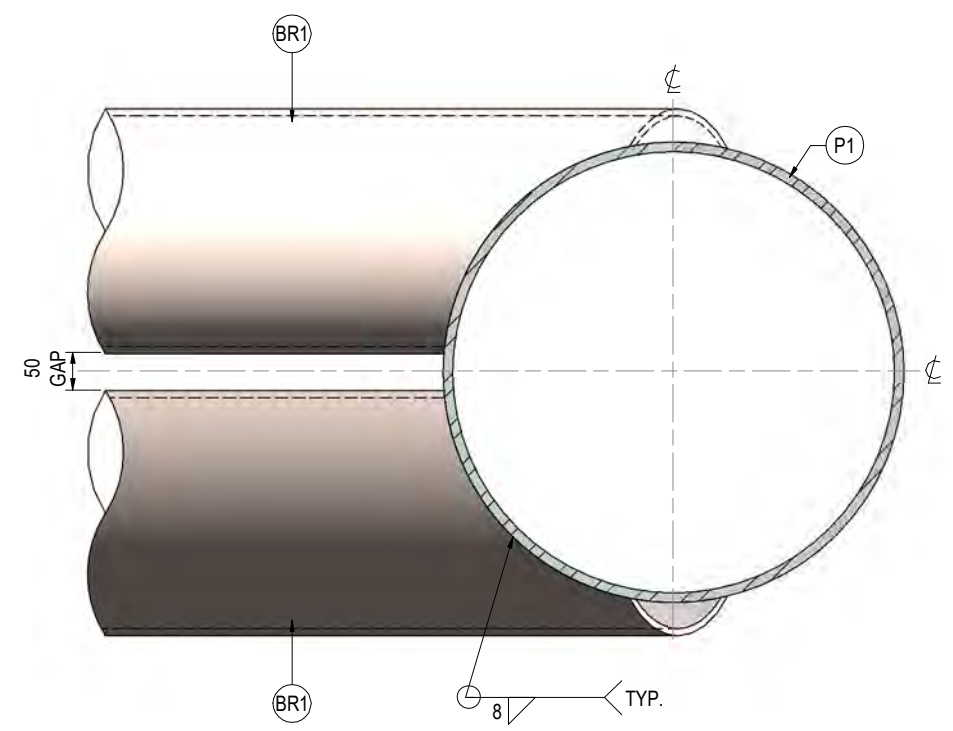
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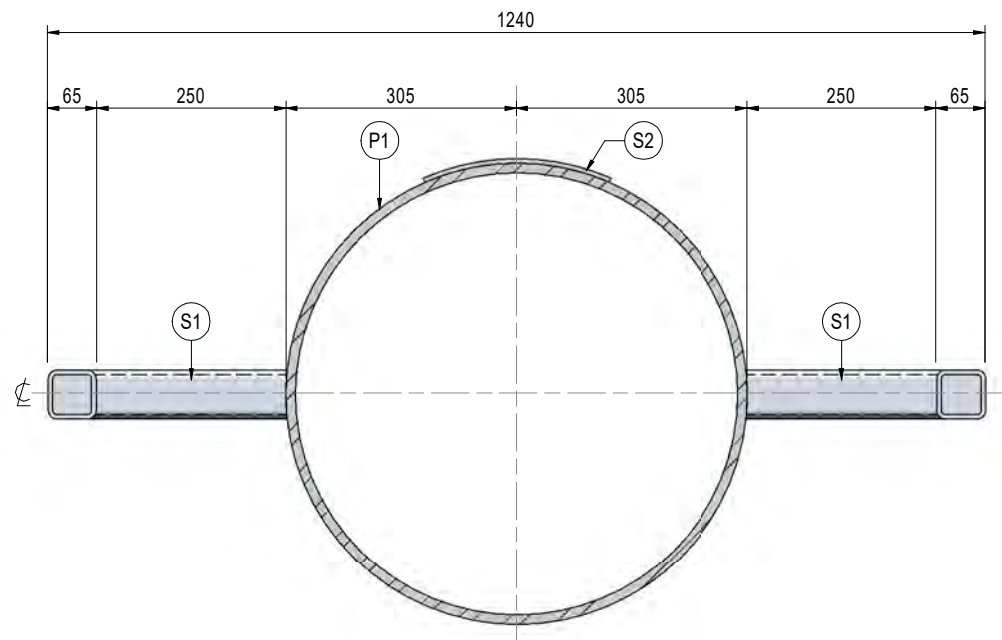
AO SECTION
S302 SCALE: 1:25

NOTE:
1. NO MOORING STRAPS ADDED TO FREE FENDER PILES

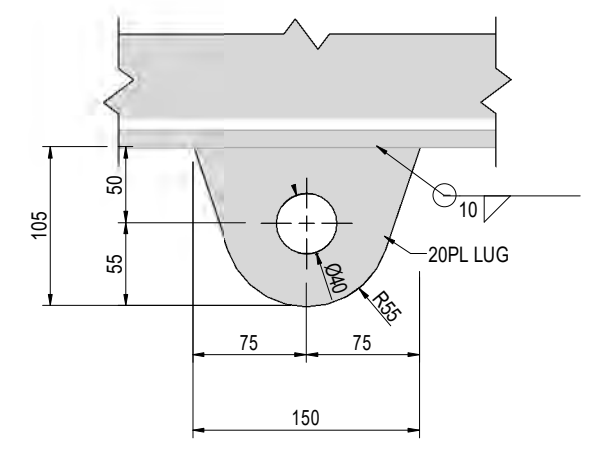
AP S304
PAINT 20mm PAST THE WELD AFFECTED ZONE
S2
P1 P3
4 TYP.
0.000m (LAT)



1 TYP. P1 TO BR1 CONNECTION
S304 SCALE: 1:10



AP SECTION
S304 SCALE: 1:10



2 20PL LUG DETAIL
S304 SCALE: 1:5

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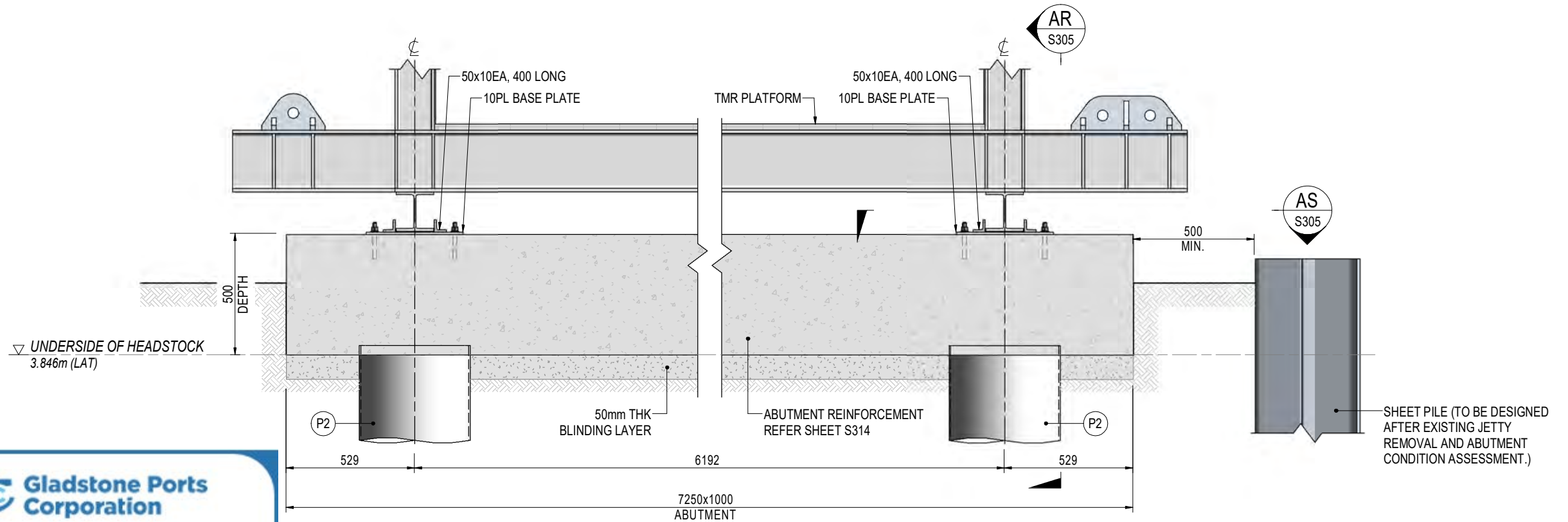
PROJECT REFERENCE No.: FS3034B

APPROVED BY:
William Lottering
WILLIAM LOTTERING
RPEQ: 6483
CPEng NPER
DATE: 16-05-22

SHEET CONTENTS:
SECTIONS/ DETAIL

DRAWN	DATE	Q.A. CHECK	DATE	SCALE	ISSUE
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DESIGNED:	DWG No.:	ISSUE TYPE:			
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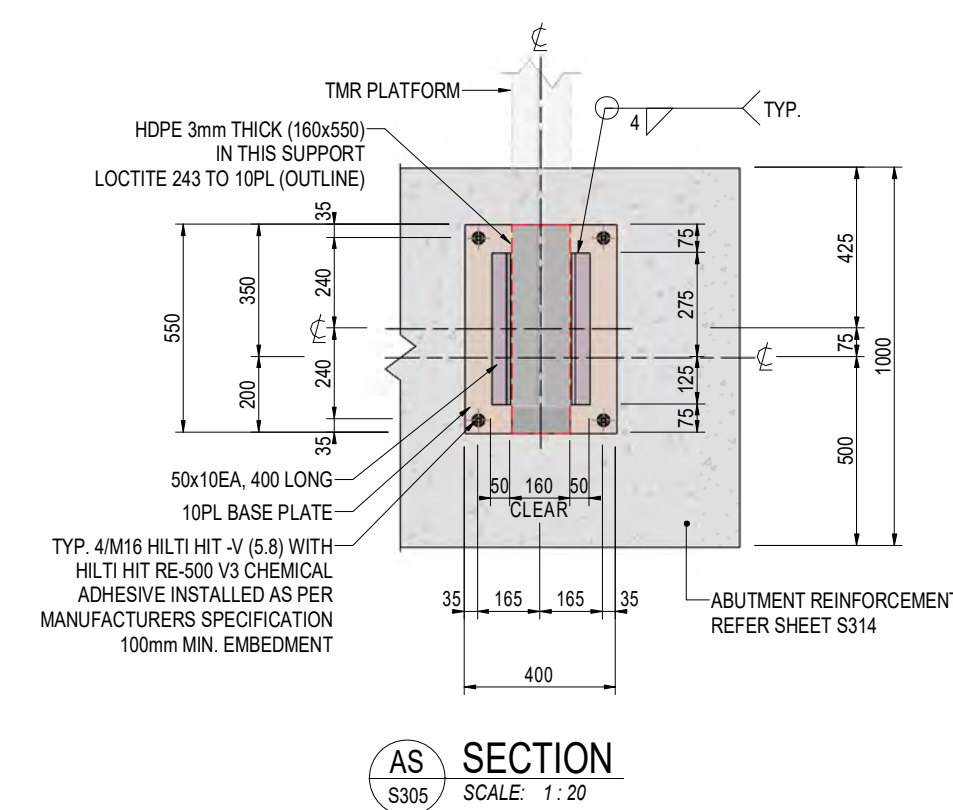
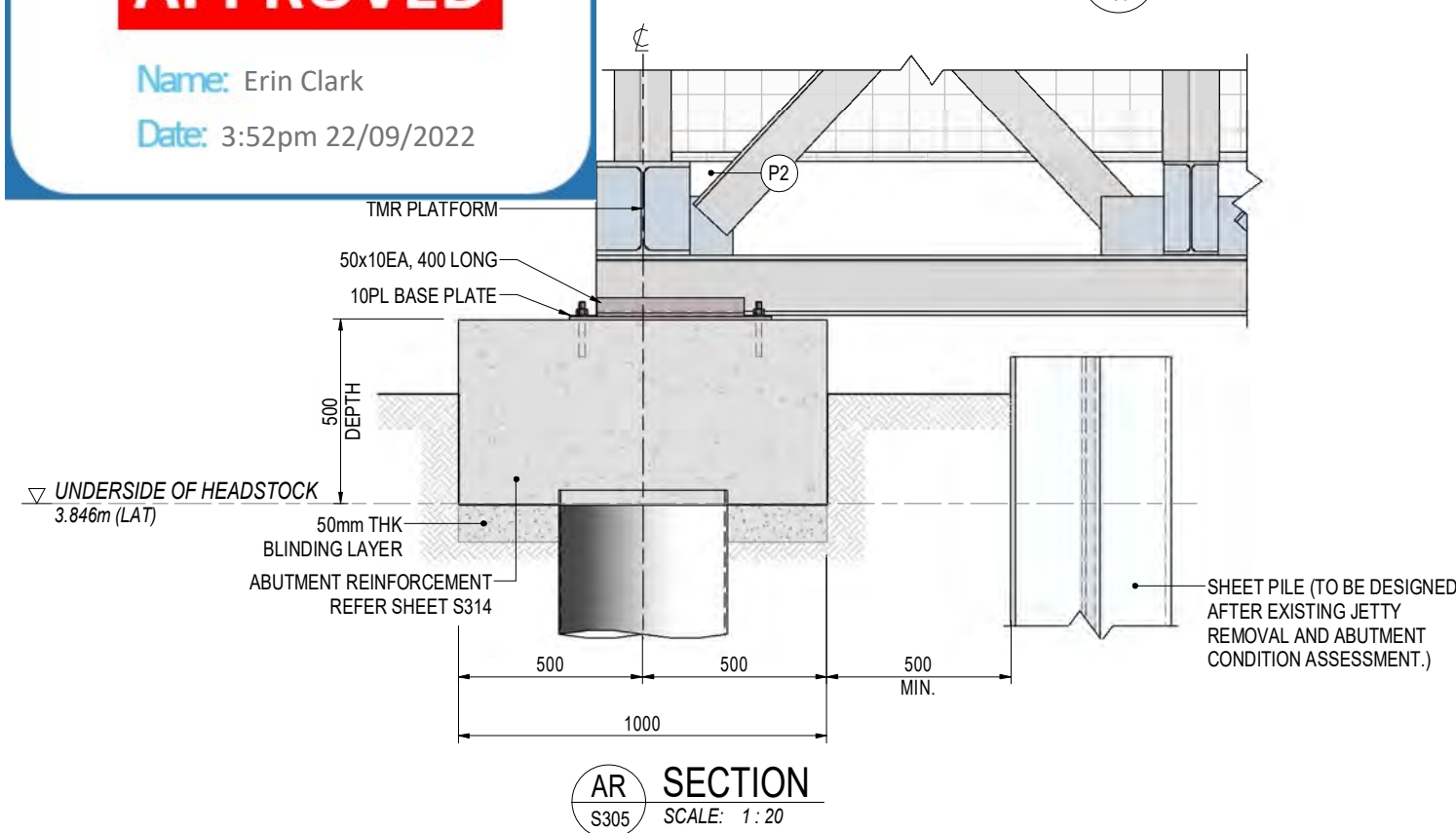
SHEET SIZE:
A3



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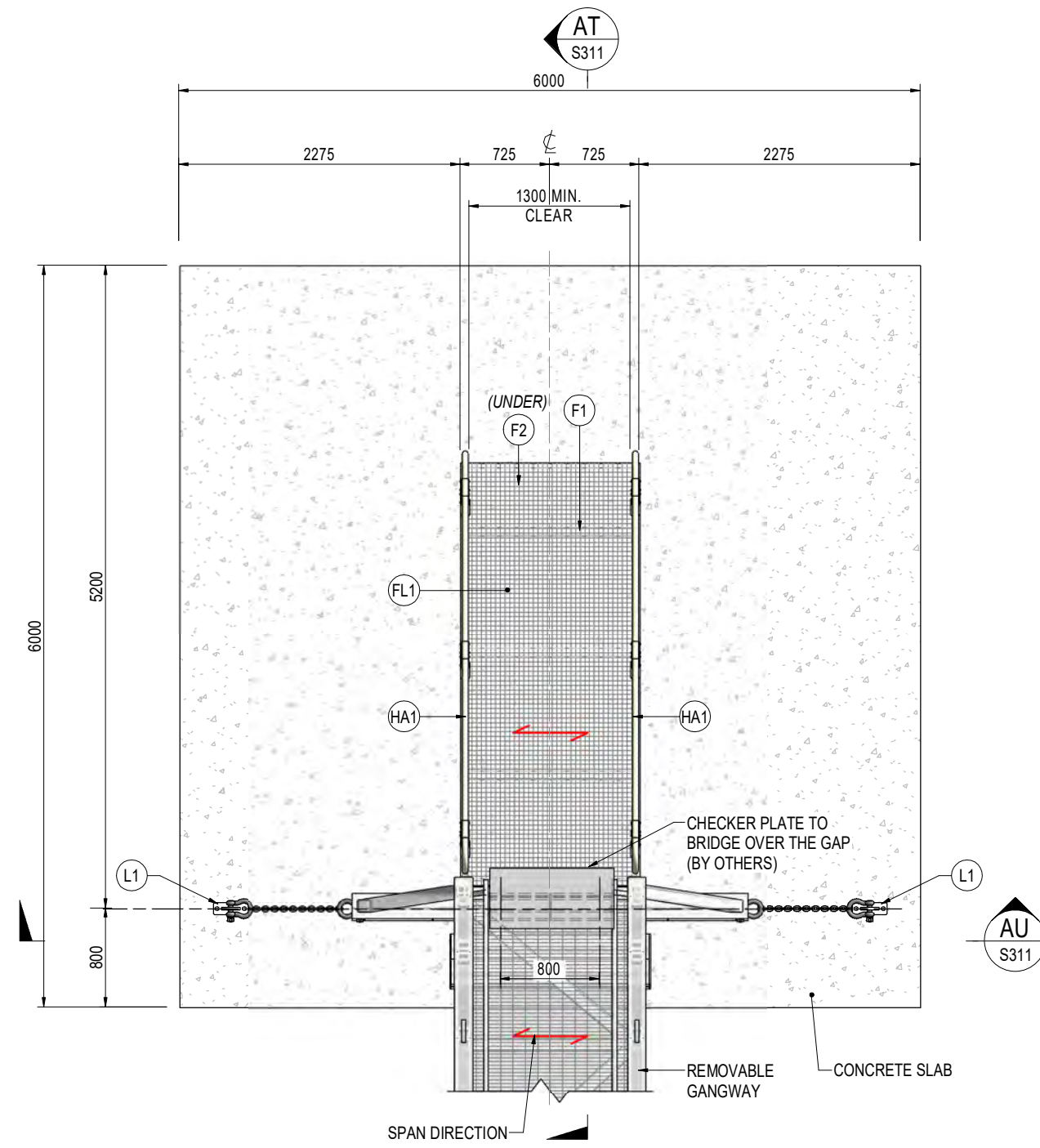
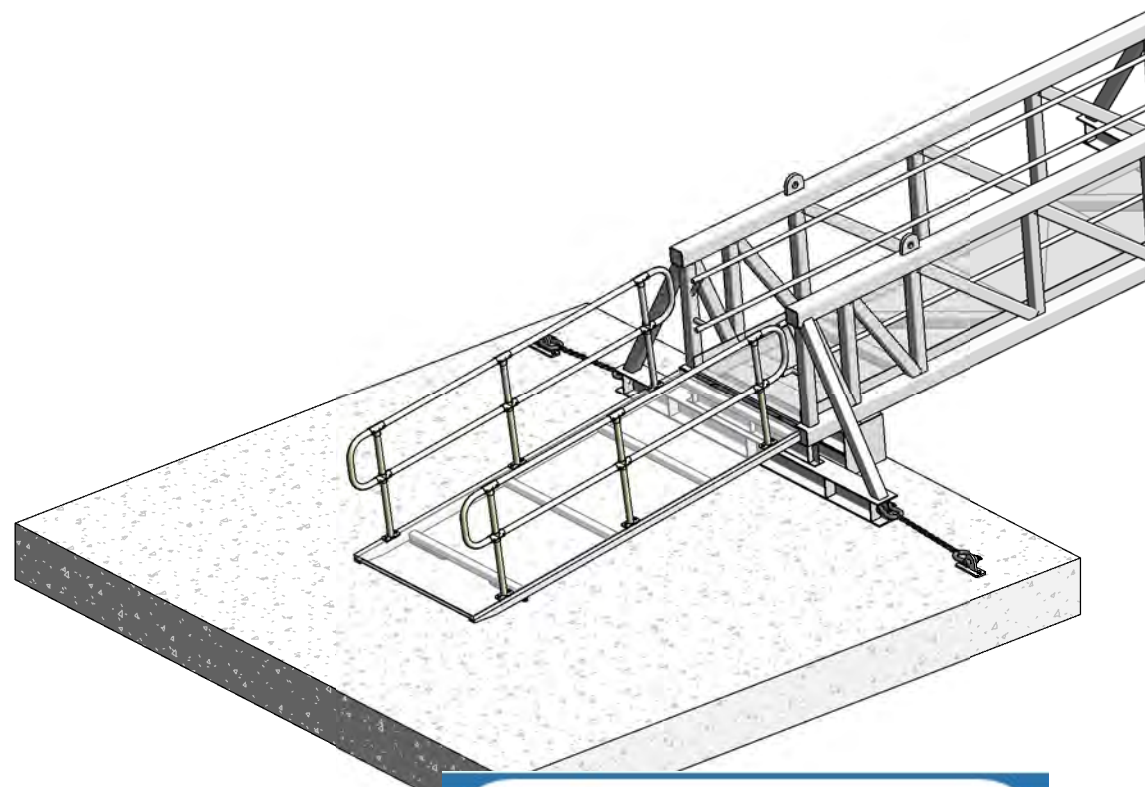
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SECTIONS/ DETAILS

DRAWN	DATE	Q.A. CHECK	DATE	SCALE
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DESIGNED	DWG No.	ISSUE TYPE		
BR	FS3034B - S305	CONSTRUCTION		

SHEET SIZE: **A3**
ISSUE: **1**

MEMBER SCHEDULE		
ITEM	DESCRIPTION	REMARKS
F1	FRAME: 65SHS6.0	
F2	FRAME: 30x6mm EA	
FL1	FLOORING: WEBFORGE FRP G386 DECK	FIXINGS AS PER MANUFACTURER'S SPECIFICATION
HA1	HANDRAIL: MODDEX TR25 OR SIMILAR	
L1	CONNECTING LUG: 20PL	REFER DWG 1/S311



1 GANGWAY RAMP PLAN
S310 SCALE: 1:50

GPC Gladstone Ports Corporation

APPROVED

Name: Erin Clark
Date: 3:52pm 22/09/2022

NOTE: 1. REFER SHEETS S002 & S003 FOR PROJECT NOTES.

PRINT IN COLOUR

ISSUE	DATE	DESCRIPTION	BY
1	16-05-22	ISSUED FOR CONSTRUCTION	SLA
A	05-05-22	ISSUED FOR APPROVAL	SLA
AMENDMENTS			

FSA CONSULTING ENGINEERS P/L
commercial | residential | marine
ABN 68802194425

Unit 12, Tingalpa Central
1631 Wynnum Rd, TINGALPA
PO Box 2282, TINGALPA QLD 4173

Tel. +617 3393 9447
email: admin@fsace.com.au
website: www.fsace.com.au

CLIENT:

Pacific Tug
Offshore | Construction | Dredging

8/119 COLBURN AVE., VICTORIA POINT QLD 4165

PROJECT:

PORT OF BUNDABERG - TUG BERTHING FACILITY REDESIGN

PROJECT REFERENCE No.: FS3034B

APPROVED BY:

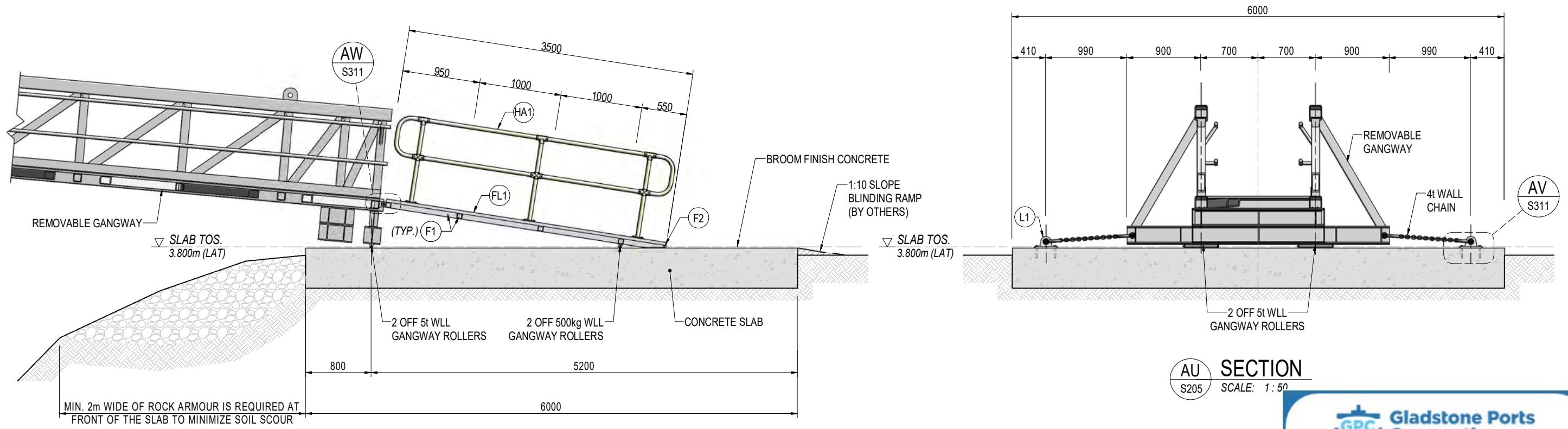
William Lottering
WILLIAM LOTTERING
RPEQ: 6483
CPEng NPER
DATE: 16-05-22

SHEET CONTENTS:

GANGWAY RAMP PLAN

DRAWN: SLA	DATE: 03-05-22	Q.A. CHECK: WBSL	DATE: 16-05-22	SCALE: As indicated
DESIGNED: BR	DWG No.: FS3034B - S310	ISSUE TYPE: CONSTRUCTION		

SHEET SIZE: A3
ISSUE: 1



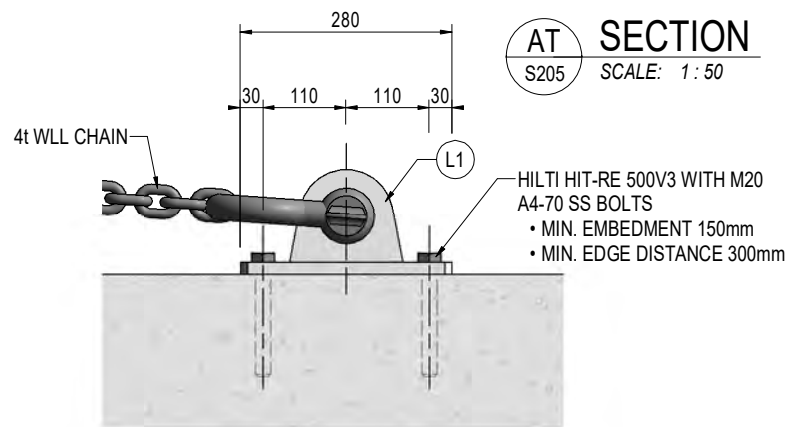
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GPC Gladstone Ports Corporation

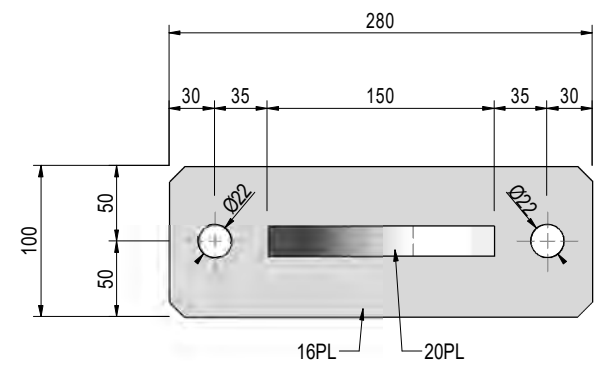
APPROVED

Name: Erin Clark
Date: 3:52pm 22/09/2022

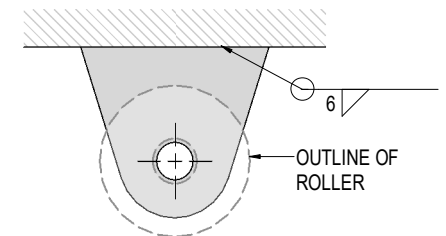
NOTE:
LUG DETAILS AND LOCATIONS TBC
BASED ON ROLLER DIMENSIONS



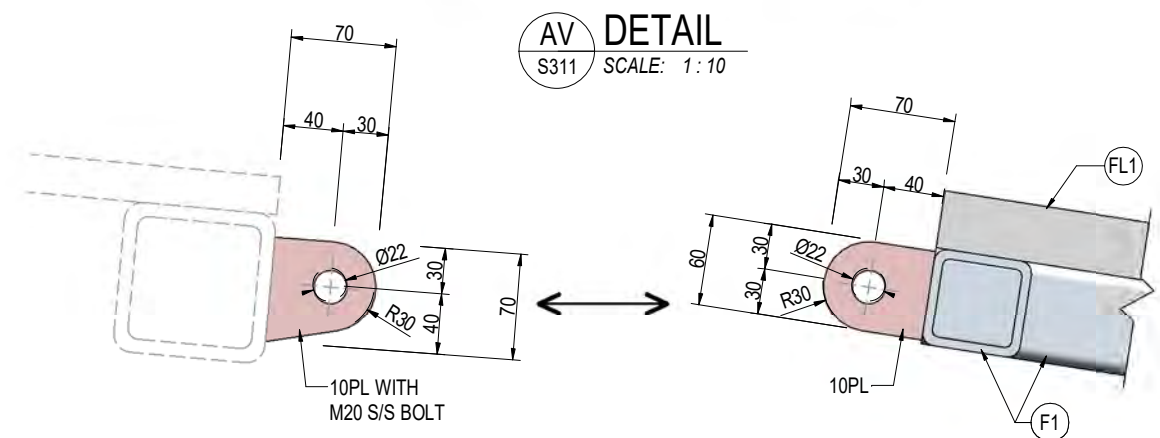
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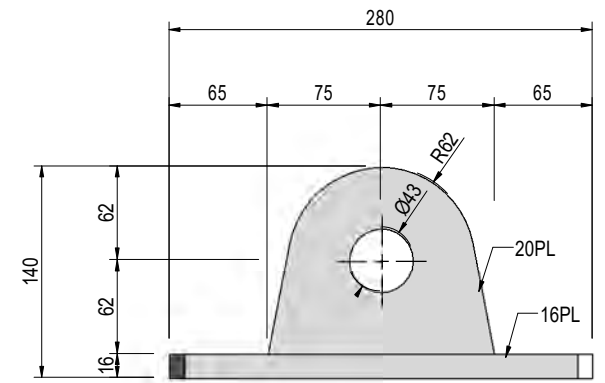
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S311 SCALE: 1:5



2 ROLLER LUG DETAIL
S311 SCALE: 1:2



AV DETAIL
S311 SCALE: 1:10



AX ELEVATION
S311 SCALE: 1:5

AW DETAIL
S311 SCALE: 1:5

NOTE: 1. REFER SHEETS S002 & S003 FOR PROJECT NOTES.

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ISSUE	DATE	DESCRIPTION	BY
1	16-05-22	ISSUED FOR CONSTRUCTION	SLA
B	16-05-22	AMENDED AS CLOUDED	SLA
A	05-05-22	ISSUED FOR APPROVAL	SLA
AMENDMENTS			

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commercial | residential | marine
ABN 68802194425

Unit 12, Tingalpa Central
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PROJECT:
PORT OF BUNDABERG - TUG BERTHING FACILITY REDESIGN

PROJECT REFERENCE No.: FS3034B

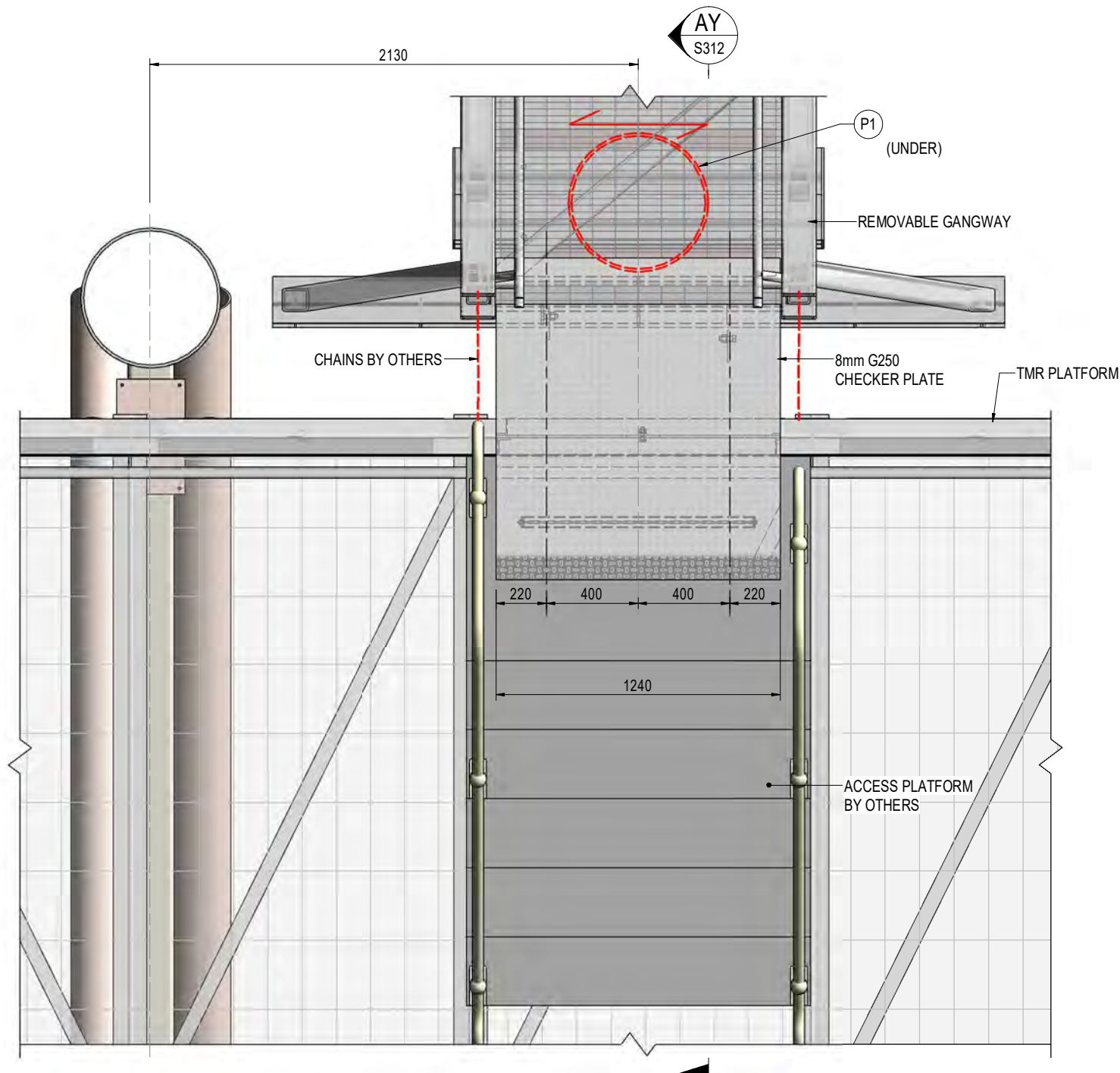
APPROVED BY:
WILLIAM LOTTERING
RPEQ: 6483
CPEng NPER
DATE: 16-05-22

SHEET CONTENTS:
SECTIONS/ DETAILS

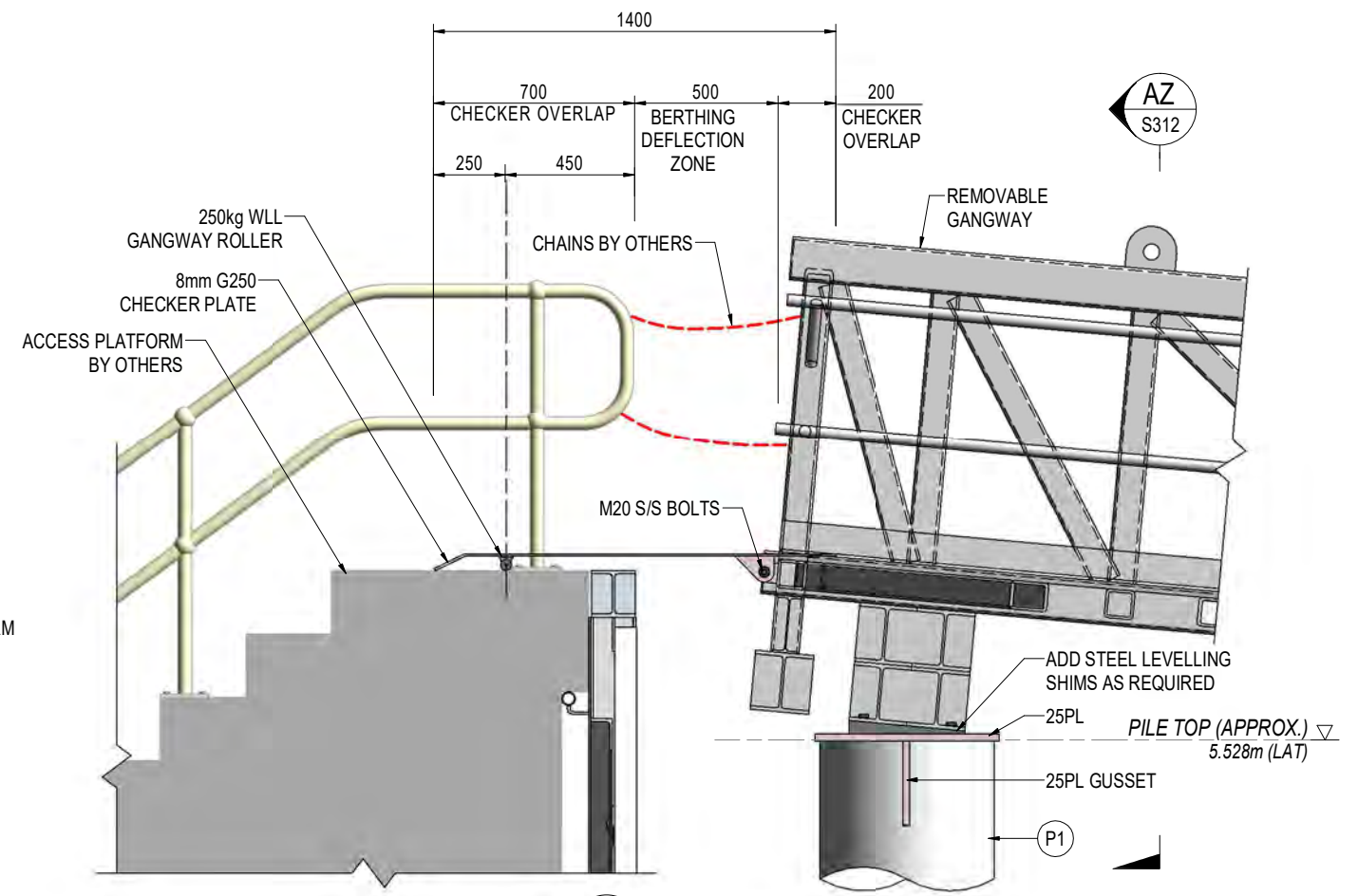
DRAWN	DATE	Q.A. CHECK	DATE	SCALE
SLA	03-05-22	WSBL	16-05-22	As indicated
DESIGNED:	DWG No.:	ISSUE TYPE:		
BR	FS3034B - S311	CONSTRUCTION		

ISSUE: 1

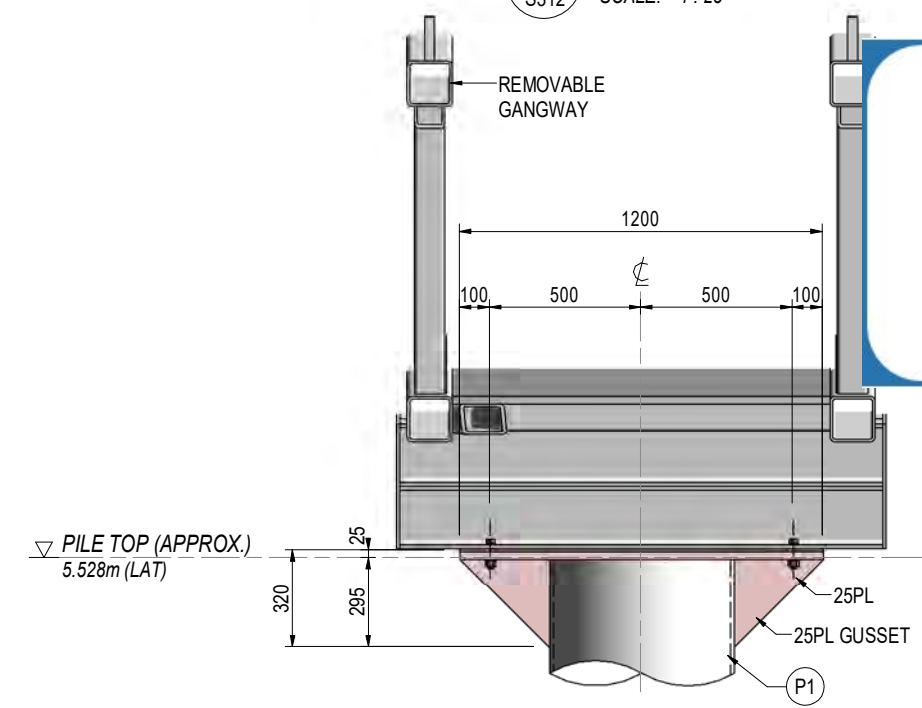
SHEET SIZE:
A3



1 GANGWAY TO TMR PLATFORM PLAN
S312 SCALE: 1:25



AY SECTION
S312 SCALE: 1:25



AZ SECTION
S312 SCALE: 1:25

GPC Gladstone Ports Corporation

APPROVED

Name: Erin Clark
Date: 3:52pm 22/09/2022

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ISSUE	DATE	DESCRIPTION	BY
1	16-05-22	ISSUED FOR CONSTRUCTION	SLA
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PROJECT REFERENCE No.: FS3034B

APPROVED BY:

William Lottering
WILLIAM LOTTERING
RPEQ: 6483
CPEng NPER
DATE: 16-05-22

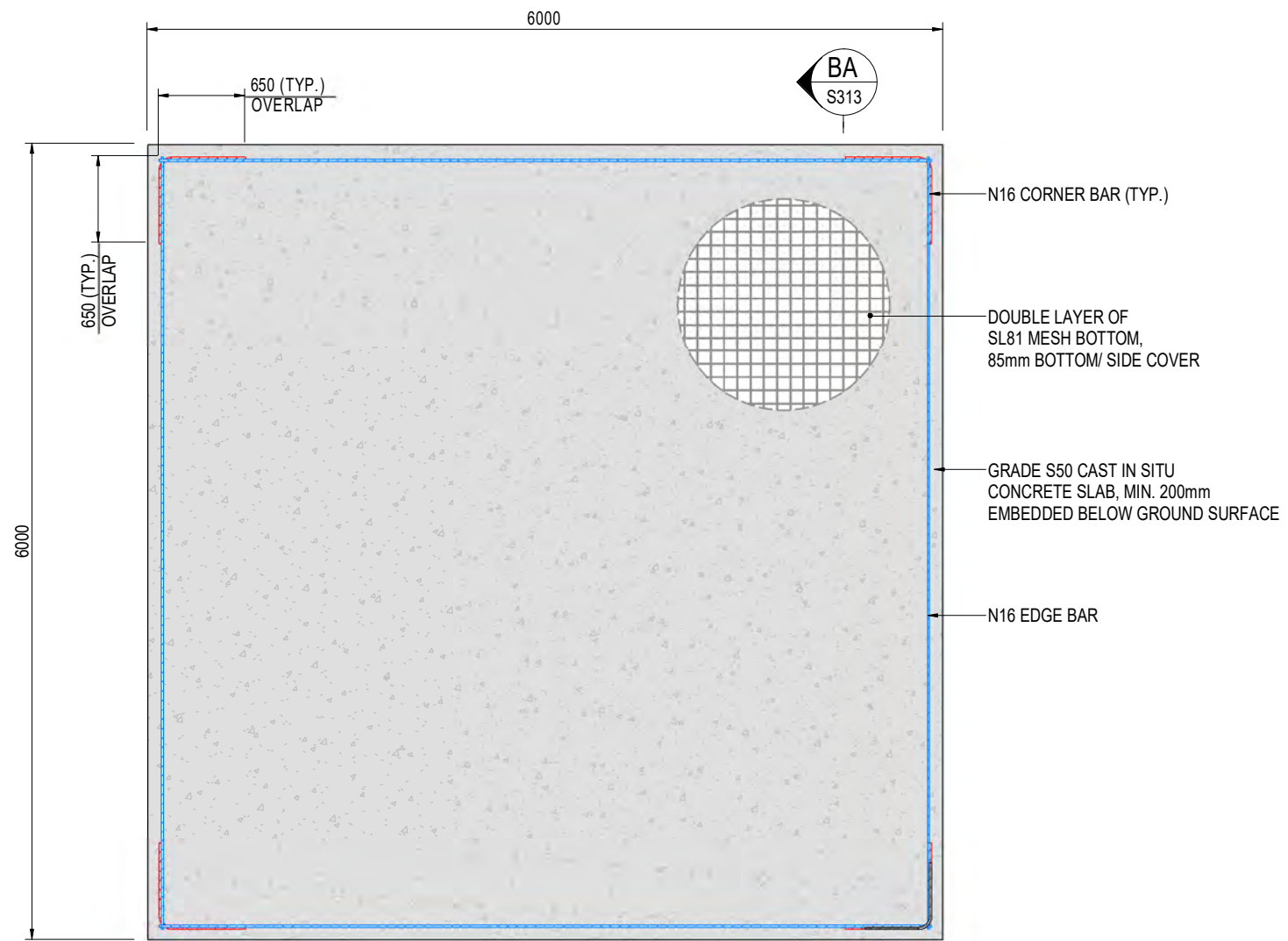
SHEET CONTENTS:

GANGWAY TO TMR PLATFORM PLAN/ SECTIONS

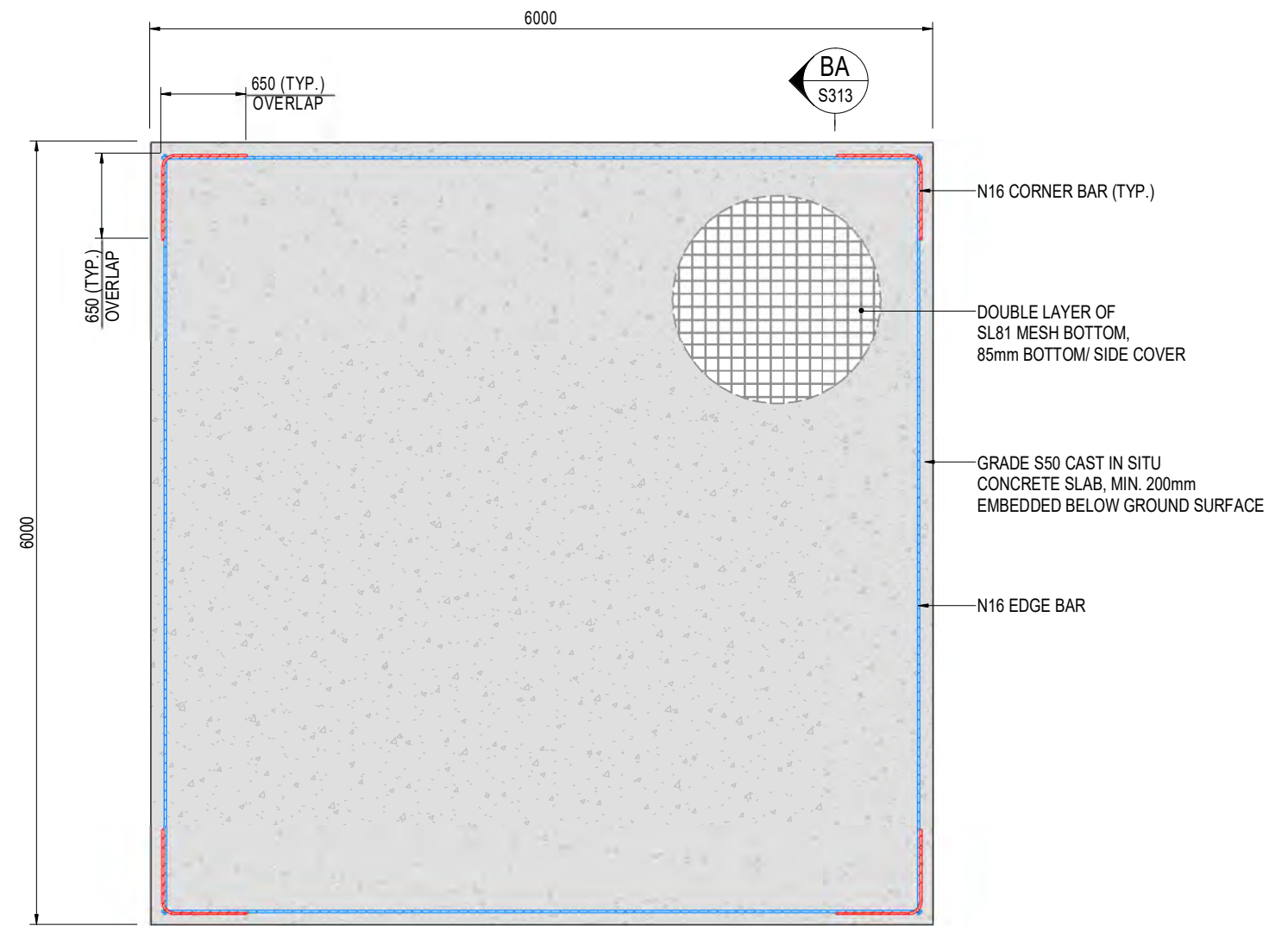
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DESIGNED: BR	DWG No.: FS3034B - S312	ISSUE TYPE: CONSTRUCTION		

SHEET SIZE: A3
ISSUE: 1

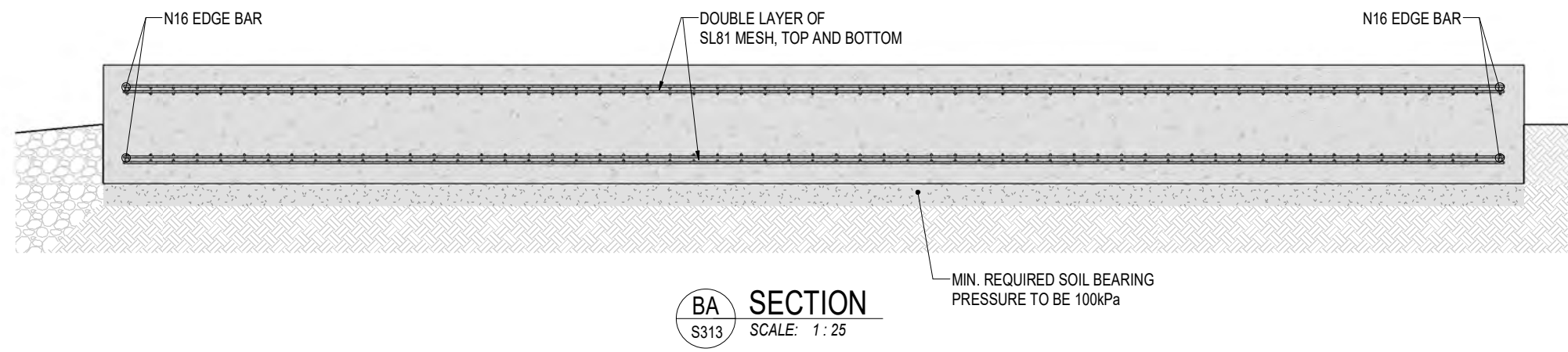
PRINT IN COLOUR



1 BOTTOM REINFORCEMENT DETAIL
S313 SCALE: 1:50



2 TOP REINFORCEMENT DETAIL
S313 SCALE: 1:50



BA SECTION
S313 SCALE: 1:25

GPC Gladstone Ports Corporation

APPROVED

Name: Erin Clark
Date: 3:52pm 22/09/2022

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PROJECT REFERENCE No.: FS3034B

APPROVED BY:

William Lottering
WILLIAM LOTTERING
RPEQ: 6483
CPEng NPER
DATE: 16-05-22

SHEET CONTENTS:

CONCRETE SLAB REINFORCEMENT DETAIL

DRAWN: SLA	DATE: 03-05-22	Q.A. CHECK: WSBL	DATE: 16-05-22	SCALE: As indicated	ISSUE: 1
DESIGNED: BR	DWG No.: FS3034B - S313	ISSUE TYPE: CONSTRUCTION			

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Attachment 3 Extract of Appeal Provisions

Schedule 1 Appeals

section 229

1 Appeal rights and parties to appeals

- (1) Table 1 states the matters that may be appealed to—
 - (a) the P&E court; or
 - (b) a tribunal.
- (2) However, table 1 applies to a tribunal only if the matter involves—
 - (a) the refusal, or deemed refusal of a development application, for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (b) a provision of a development approval for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (c) if a development permit was applied for—the decision to give a preliminary approval for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (d) a development condition if—
 - (i) the development approval is only for a material change of use that involves the use of a building classified under the Building Code as a class 2 building; and

-
- (ii) the building is, or is proposed to be, not more than 3 storeys; and
 - (iii) the proposed development is for not more than 60 sole-occupancy units; or
 - (e) a decision for, or a deemed refusal of, an extension application for a development approval that is only for a material change of use of a classified building; or
 - (f) a decision for, or a deemed refusal of, a change application for a development approval that is only for a material change of use of a classified building; or
 - (g) a matter under this Act, to the extent the matter relates to the Building Act, other than a matter under that Act that may or must be decided by the Queensland Building and Construction Commission; or
 - (h) a decision to give an enforcement notice—
 - (i) in relation to a matter under paragraphs (a) to (g); or
 - (ii) under the *Plumbing and Drainage Act 2018*; or
 - (i) an infrastructure charges notice; or
 - (j) the refusal, or deemed refusal, of a conversion application; or
 - (l) a matter prescribed by regulation.
- (3) Also, table 1 does not apply to a tribunal if the matter involves—
- (a) for a matter in subsection (2)(a) to (d)—
 - (i) a development approval for which the development application required impact assessment; and
 - (ii) a development approval in relation to which the assessment manager received a properly made submission for the development application; or
 - (b) a provision of a development approval about the identification or inclusion, under a variation approval, of a matter for the development.

- (4) Table 2 states the matters that may be appealed only to the P&E Court.
- (5) Table 3 states the matters that may be appealed only to the tribunal.
- (6) In each table—
 - (a) column 1 states the appellant in the appeal; and
 - (b) column 2 states the respondent in the appeal; and
 - (c) column 3 states the co-respondent (if any) in the appeal; and
 - (d) column 4 states the co-respondents by election (if any) in the appeal.
- (7) If the chief executive receives a notice of appeal under section 230(3)(f), the chief executive may elect to be a co-respondent in the appeal.
- (8) In this section—
storey see the Building Code, part A1.1.

Table 1
Appeals to the P&E Court and, for certain matters, to a tribunal

1. Development applications

For a development application other than an excluded application, an appeal may be made against—

- (a) the refusal of all or part of the development application; or
- (b) the deemed refusal of the development application; or
- (c) a provision of the development approval; or
- (d) if a development permit was applied for—the decision to give a preliminary approval.

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant	The assessment manager	If the appeal is about a concurrence agency’s referral response—the concurrence agency	<ol style="list-style-type: none"> 1 A concurrence agency that is not a co-respondent 2 If a chosen assessment manager is the respondent—the prescribed assessment manager 3 Any eligible advice agency for the application 4 Any eligible submitter for the application
<p>2. Change applications</p> <p>For a change application other than an excluded application, an appeal may be made against—</p> <p>(a) the responsible entity’s decision on the change application; or</p> <p>(b) a deemed refusal of the change application.</p>			

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 The applicant</p> <p>2 If the responsible entity is the assessment manager—an affected entity that gave a pre-request notice or response notice</p>	<p>The responsible entity</p>	<p>If an affected entity starts the appeal—the applicant</p>	<p>1 A concurrence agency for the development application</p> <p>2 If a chosen assessment manager is the respondent—the prescribed assessment manager</p> <p>3 A private certifier for the development application</p> <p>4 Any eligible advice agency for the change application</p> <p>5 Any eligible submitter for the change application</p>
<p>3. Extension applications</p> <p>For an extension application other than an extension application called in by the Minister, an appeal may be made against—</p> <p>(a) the assessment manager’s decision on the extension application; or</p> <p>(b) a deemed refusal of the extension application.</p>			

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 The applicant</p> <p>2 For a matter other than a deemed refusal of an extension application—a concurrence agency, other than the chief executive, for the application</p>	<p>The assessment manager</p>	<p>If a concurrence agency starts the appeal—the applicant</p>	<p>If a chosen assessment manager is the respondent—the prescribed assessment manager</p>
<p>4. Infrastructure charges notices</p> <p>An appeal may be made against an infrastructure charges notice on 1 or more of the following grounds—</p> <p>(a) the notice involved an error relating to—</p> <p style="padding-left: 20px;">(i) the application of the relevant adopted charge; or</p> <p><i>Examples of errors in applying an adopted charge—</i></p> <ul style="list-style-type: none"> • the incorrect application of gross floor area for a non-residential development • applying an incorrect ‘use category’, under a regulation, to the development <p style="padding-left: 20px;">(ii) the working out of extra demand, for section 120; or</p> <p style="padding-left: 20px;">(iii) an offset or refund; or</p> <p>(b) there was no decision about an offset or refund; or</p> <p>(c) if the infrastructure charges notice states a refund will be given—the timing for giving the refund; or</p> <p>(d) for an appeal to the P&E Court—the amount of the charge is so unreasonable that no reasonable relevant local government could have imposed the amount.</p>			

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the infrastructure charges notice	The local government that gave the infrastructure charges notice	—	—
<p>5. Conversion applications An appeal may be made against— (a) the refusal of a conversion application; or (b) a deemed refusal of a conversion application.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant	The local government to which the conversion application was made	—	—
<p>6. Enforcement notices An appeal may be made against the decision to give an enforcement notice.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the enforcement notice	The enforcement authority	—	If the enforcement authority is not the local government for the premises in relation to which the offence is alleged to have happened—the local government

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
7. Enforcement notices under the <i>Plumbing and Drainage Act 2018</i> An appeal may be made against the decision to give an enforcement notice.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the enforcement notice	The local government that gave the enforcement notice	—	—

Table 2 Appeals to the P&E Court only			
1. Appeals from tribunal An appeal may be made against a decision of a tribunal, other than a decision under section 252, on the ground of— (a) an error or mistake in law on the part of the tribunal; or (b) jurisdictional error.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A party to the proceedings for the decision	The other party to the proceedings for the decision	—	—
2. Eligible submitter appeals For a development application or change application other than an excluded application, an appeal may be made against the decision to approve the application, to the extent the decision relates to— (a) any part of the development application or change application that required impact assessment; or (b) a variation request.			

Table 2 Appeals to the P&E Court only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 For a development application—an eligible submitter for the development application</p> <p>2 For a change application—an eligible submitter for the change application</p>	<p>1 For a development application—the assessment manager</p> <p>2 For a change application—the responsible entity</p>	<p>1 The applicant</p> <p>2 If the appeal is about a concurrence agency’s referral response—the concurrence agency</p>	<p>Another eligible submitter for the application</p>
<p>3. Eligible submitter and eligible advice agency appeals</p> <p>For a development application or change application other than an excluded application, an appeal may be made against a provision of the development approval, or a failure to include a provision in the development approval, to the extent the matter relates to—</p> <p>(a) any part of the development application or change application that required impact assessment; or</p> <p>(b) a variation request.</p>			

Table 2 Appeals to the P&E Court only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 For a development application—an eligible submitter for the development application</p> <p>2 For a change application—an eligible submitter for the change application</p> <p>3 An eligible advice agency for the development application or change application</p>	<p>1 For a development application—the assessment manager</p> <p>2 For a change application—the responsible entity</p>	<p>1 The applicant</p> <p>2 If the appeal is about a concurrence agency’s referral response—the concurrence agency</p>	<p>Another eligible submitter for the application</p>
<p>4. Compensation claims</p> <p>An appeal may be made against—</p> <p>(a) a decision under section 32 about a compensation claim; or</p> <p>(b) a decision under section 265 about a claim for compensation; or</p> <p>(c) a deemed refusal of a claim under paragraph (a) or (b).</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person dissatisfied with the decision	The local government to which the claim was made	—	—

Table 2 Appeals to the P&E Court only			
<p>5. Registered premises</p> <p>An appeal may be made against a decision of the Minister under chapter 7, part 4.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 A person given a decision notice about the decision</p> <p>2 If the decision is to register premises or renew the registration of premises—an owner or occupier of premises in the affected area for the registered premises who is dissatisfied with the decision</p>	<p>The Minister</p>	<p>—</p>	<p>If an owner or occupier starts the appeal—the owner of the registered premises</p>
<p>6. Local laws</p> <p>An appeal may be made against a decision of a local government, or conditions applied, under a local law about—</p> <p>(a) the use of premises, other than a use that is the natural and ordinary consequence of prohibited development; or</p> <p>(b) the erection of a building or other structure.</p>			

Table 2 Appeals to the P&E Court only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who— (a) applied for the decision; and (b) is dissatisfied with the decision or conditions.	The local government	—	—

Table 3 Appeals to a tribunal only			
1. Building advisory agency appeals An appeal may be made against giving a development approval for building work to the extent the building work required code assessment against the building assessment provisions.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A building advisory agency for the development application related to the approval	The assessment manager	The applicant	1 A concurrence agency for the development application related to the approval 2 A private certifier for the development application related to the approval

Table 3 Appeals to a tribunal only			
<p>2. Inspection of building work</p> <p>An appeal may be made against a decision of a building certifier or referral agency about the inspection of building work that is the subject of a building development approval under the Building Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant for the development approval	The person who made the decision	—	—
<p>3. Certain decisions under the Building Act and the <i>Plumbing and Drainage Act 2018</i></p> <p>An appeal may be made against—</p> <p>(a) a decision under the Building Act, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under that Act; or</p> <p>(b) a decision under the <i>Plumbing and Drainage Act 2018</i>, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under that Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who received, or was entitled to receive, an information notice about the decision	The entity that made the decision	—	—
<p>4. Failure to decide an application or other matter under the Building Act</p> <p>An appeal may be made against a failure to make a decision under the Building Act within the period required under that Act, other than a failure by the Queensland Building and Construction Commission to make a decision, if an information notice about the decision was required to be given under that Act.</p>			

Table 3 Appeals to a tribunal only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who was entitled to receive notice of the decision	The entity that failed to make the decision	—	—
<p>5. Failure to decide an application or other matter under the <i>Plumbing and Drainage Act 2018</i></p> <p>An appeal may be made against a failure to make a decision under the <i>Plumbing and Drainage Act 2018</i> within the period required under that Act, other than a failure by the Queensland Building and Construction Commission to make a decision, if an information notice about the decision was required to be given under that Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who was entitled to receive an information notice about the decision	The entity that failed to make the decision	—	—