

26 June 2025

Pacific Marine Base Bundaberg Pty Ltd
c/- Saunders Havill Group, Julian Wooderson
9 Thompson Street
BOWEN HILLS QLD 4006

Email: julianwooderson@saundershavill.com

Dear Julian,

AMENDED DECISION NOTICE – CHANGE APPLICATION FOR MINOR CHANGE – DA2018/10/05
(GIVEN UNDER THE PROVISIONS OF S83 OF THE *PLANNING ACT 2016*)

This amended decision notice replaces the decision notice dated **11 June 2025** and reflects amendments to the Approved Plans and Specifications section (typographical). Please note that the approved plans and documents are stamped with the original date of decision (11 June 2025).

This changed decision notice replaces the original decision notice dated **11 November 2022**.

1. Application Details

This development application was properly made to the Gladstone Ports Corporation Limited on **24 April 2025**.

Application Number:	DA2018/10/05
Applicant Name:	Pacific Marine Base Bundaberg Pty Ltd
Applicant Contact Details:	C/- Saunders Havill Group Att: Julian Wooderson 9 Thompson Street BOWEN HILLS QLD 4006 Email: julianwooderson@saundershavill.com
Approval Sought (Land Use Plan):	Change application for a Minor change to Development Approval DA2018/10/04 for combined Material Change of Use and Operational works: <ol style="list-style-type: none">1. Commercial vessel wharf (Stage 1), including Material Change of use for Port Infrastructure, Port Services – Dredging and Dredge Material Placement and Reclamation;2. Oversize Overmass Cargo Facility (Stage 2), including Material Change of Use for Loading and Unloading

	<p>infrastructure and activities;</p> <p>3. Environmentally Relevant Activities (ERA 16 Dredging)</p> <p>4. Operational Works – tidal works that is dredging, reclamation and construction of sheet pile wharf, dock, additional piles, storm water outfall and navigational aids.</p>
Approval Sought (SARA):	<p>1. MCU for Marine Industry Base on Strategic Port Land and ERA 16(c) – Extraction and Screening – dredging, in a year more than 100,000t but not more than 1,000,000t and</p> <p>2. OPW for Tidal Works (dredging, reclamation and construction of sheet pile wharf, dock, additional piles, stormwater outfall and navigational aids).</p>
Details of Proposed Development:	Change Application for a Minor change to Development Application DA2018/10/04 to include Stage 0.
Location Street Address:	Buss Street and 45 Wharf Drive, Burnett Heads
Location Real Property Description:	<p><u>Dry Area</u></p> <ul style="list-style-type: none"> • Lease AU on SP305678 and Easement AX in Lot 501 on SP279707 • Lease AY on SP335869 in Lot 501 on SP279707 • Lots 5 and 6 on RP7193 • Lot 6 on SP166192 <p><u>Wet Lease Area</u></p> <ul style="list-style-type: none"> • Sub-Lease AW on SP305678 in Lot 287 on SP166199 • Sub-Lease AZ on SP335869 in Lot 287 on SP166199 • Sub-Lease BA on SP335870 in Lot 287 on SP166199 • Sub-Lease BB on SP335870 in Lot 287 on SP166199 • Sub-Lease BC on SP335870 in Lot 276 on SP128643 <p>Unallocated State Land (USL) adjacent to Lot 287 on SP166199</p>
Land Owner:	<p>Gladstone Ports Corporation Limited</p> <p>Department of Resources</p>
Land Use Plan:	Port Industry Precinct, Wharves Precinct and Dredged Material Placement Precinct

2. Details of Proposed Development

Change application for Minor change made under s81 of the Act to development approval DA2018/10/04 for Material Change of Use and Operational works, to include Stage 0.

Gladstone Ports Corporation Limited

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ACN 131 965 896 ABN 96 263 788 242

The approval relates to:

- a) Material Change of Use for Commercial vessel wharf, Port infrastructure, Port services, Dredging and Dredge material placement and reclamation, Oversize overmass cargo facility, including loading and unloading infrastructure and activities,
- b) Environmentally relevant activity (ERA 16 Dredging) and
- c) Operational works – tidal works that is dredging, reclamation and construction of sheet pile wharf, dock, additional piles, stormwater outfall and navigational aids.

3. Details of Decision

This development application was **decided** on **11 November 2022** *and the minor change decided on 11 June 2025*.

This development application is **approved in full with conditions**. These conditions are set out in Attachment 1 and are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

4. Details of Approval

This development approval is a **Development Permit** given for:

- (a) Material Change of Use for Commercial vessel wharf (Stage 0 and Stage 2) Port infrastructure, Port services – Dredging and dredging material placement and reclamation, oversize overmass (OSOM) cargo facility (Stage 2) including loading and unloading infrastructure and
- (b) Material Change of Use for Environmentally Relevant Activity (ERA 16 Dredging); and
- (c) Operational works – tidal works that is dredging, reclamation and construction of sheet pile wharf, dock, additional piles, stormwater outfall and navigational (Stages 0, 1 and 2).

5. The Agreed Minor Changes

The changes agreed to are:

Amendment of the following conditions:-

- | | |
|------------------|--|
| 11. | Agree to amend. |
| 21. | Agree to amend, in part. |
| 27. | Agree to amend. |
| 49. | Agree to amend. |
| 39, 40, 56, & 57 | Additional words to include timing, document review and re-submission for all relevant stages (as applicable). |
| 61. | New condition. |
| 62. | New condition. |

Amendment of the following drawings from the list of Approved plans -

Drawing/report title	Prepared By	Date	Reference no.	Version
General Layout Plan – Stage 2.	LONJAC	25/06/2022	0888-C0100	Rev A
General Layout Plan - Site Facilities Detail – Stage 2	LONJAC	25/06/2022	0888-C0101	Rev A
Site access plan and turning paths – Stage 2	LONJAC	25/06/2022	0888-C0390	Rev A
Grading Plan – Site Facilities – Stage 2	LONJAC	25/06/2022	0888-C0510	Rev A
Site sections – Sheet 2 of 4	LONJAC	25/06/2022	0888-C0620	Rev A
Site sections – Sheet 3 of 4	LONJAC	25/06/2022	0888-C0620	Rev A
Site sections – Sheet 4 of 4	LONJAC	25/06/2022	0888-C0620	Rev A
Services – Stormwater Layout – Site Facilities – Stage 2	LONJAC	25/06/2022	0888-H0410	Rev A
Stage 2 Maritime Layout	LONJAC	29/06/2022	0888-K0020	Rev B
Stage 0 Works – Structural Cell Set Out	Kramer Ausenco	8/06/2022	0888-K0115	Rev 1
Stage 0 Works – Structural Ramp details	Kramer Ausenco	8/06/2022	0888-K0120	Rev 1

Inclusion of new drawings to the list of Approved plans –

Drawing/report title	Prepared By	Date	Reference no.	Version
General Layout Plan – Stage 0 Interim Operation Site Facilities Detail	LONJAC	05/12/2024	0888-C0110	Rev A
General Layout Plan – Stage 0 Interim Operation Driveway Detail	LONJAC	05/12/2024	0888-C0120	Rev A
Staging plans	LONJAC	05/12/2024	0888-C0200	Rev B
Interim Operations Stage 0 Master Services Site Plan	LONJAC	05/12/2024	0888-C0951	Rev A
Survey Setout and Existing Features Plan	RMA Engineers	29/11/2024	088-H0422	Rev 2
Pavement Design Plan	RMA Engineers	29/11/2024	088-H0424	Rev 2
Site Grading Layout Plan	RMA Engineers	29/11/2024	088-H0425	Rev 2
Site Grading Sections	RMA Engineers	29/11/2024	088-H0426	Rev 2
Stormwater Catchment Plan – Stage 0	RMA Engineers	29/11/2024	088-H0428	Rev 2

Drawing/report title	Prepared By	Date	Reference no.	Version
Stormwater Culvert Layout Plan and Sections – Stage 0	RMA Engineers	29/11/2024	088-H0429	Rev 2
Basin Notes and Standard Details	RMA Engineers	29/11/2024	088-H0430	Rev 2
Basin Layout Plan	RMA Engineers	29/11/2024	088-H0431	Rev 2
Basin Details	RMA Engineers	29/11/2024	088-H0432	Rev 2
Early Works Dredging General Arrangement and Volumes Plan	LONJAC	04/03/2025	0888-K0555	Rev B
Pacific Marine Base Bundaberg Progress Bathymetric Survey	AQUAMAP Pty Ltd	22/07/2024	PMB-240722	Rev 1

6. Development Approval

This development approval is subject to the conditions in Attachment 1 - Part 1 and Part 2.

7. Further Development Permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

- (a) Any Building work approvals required;
- (b) Any Plumbing and Drainage Work approvals required; and
- (c) Any Operational works approvals that do not meet the relevant 'accepted subject to requirements' assessment.

8. Referral Agencies for the Application

The referral agencies for this application are:

For an application involving	Name of referral agency	Address
Planning Regulation 2017 Schedule 10, part 5, division 4, table 2, item 1 – development involving environmentally relevant activities Schedule 10, part 17, division 3, table 1, item 1, - development involving tidal works in a coastal management district Schedule 10, part 17, division 3, table 2, item 1, development	State Assessment Referral Agency - Department of State Development, Infrastructure, Local Government and Planning	Wide Bay Burnett State Assessment Referral Agency (SARA) PO Box 979 BUNDABERG QLD 4670 WBBSARA@dsdmip.qld.gov.au

involving tidal works in tidal waters.		
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9. Environmental Authority

Environmentally Relevant Activity for – ERA 16(c) – Extraction and Screening – dredging, in a year more than 100,000t but not more than 1,000,000t.

10. Approved Plans and Specifications

Copies of the following plans, specifications and/or drawings are approved and enclosed in Attachment 2:

Drawing/report title	Prepared By	Date	Reference no.	Version
Administration Building Plan and Elevations	LONJAC	25/06/2022	0888-A0210	Rev A
Security / Gatehouse Plan and Elevations	LONJAC	25/06/2022	0888-A0211	Rev A
General Layout Plan – Stage 2.	LONJAC	25/06/2022	0888-C0100	Rev A
General Layout Plan - Site Facilities Detail – Stage 2	LONJAC	25/06/2022	0888-C0101	Rev A
General Layout Plan – Stage 0 Interim Operation Site Facilities Detail	LONJAC	05/12/2024	0888-C0110	Rev A
General Layout Plan – Stage 0 Interim Operation Driveway Detail	LONJAC	05/12/2024	0888-C0120	Rev A
Staging plans	LONJAC	05/12/2024	0888-C0200	Rev B
Site access plan and turning paths – Stage 2	LONJAC	25/06/2022	0888-C0390	Rev A
Earthworks Plan	LONJAC	25/06/2022	0888-C0400	Rev A
Grading Plan	LONJAC	25/06/2022	0888-C0500	Rev A
Grading Plan – Site Facilities – Stage 2	LONJAC	25/06/2022	0888-C0510	Rev A
Pavement Plan	LONJAC	25/06/2022	0888-C0600	Rev A
Site sections – Sheet 1 of 4	LONJAC	25/06/2022	0888-C0620	Rev A
Site sections – Sheet 2 of 4	LONJAC	25/06/2022	0888-C0620	Rev A
Site sections – Sheet 3 of 4	LONJAC	25/06/2022	0888-C0620	Rev A
Site sections – Sheet 4 of 4	LONJAC	25/06/2022	0888-C0620	Rev A
Master Services – Site Plan	LONJAC	25/06/2022	0888-C0950	Rev A

Drawing/report title	Prepared By	Date	Reference no.	Version
Interim Operations Stage 0 Master Services Site Plan	LONJAC	05/12/2024	0888-C0951	Rev A
Master Services – Site Facilities Plan	LONJAC	25/06/2022	0888-C0960	Rev A
Services – Electrical Site Reticulation Plan	LONJAC	25/06/2022	0888-E0100	Rev A
Service – Communications Site Reticulation Layout Plan	LONJAC	25/06/2022	0888-E0300	Rev A
Services – Site CCTV Layout Plan	LONJAC	25/06/2022	0888-E0500	Rev A
Services – Site Potable Water Reticulation Plan	LONJAC	25/06/2022	0888-H0100	Rev A
Services – Site Fire Water Reticulation Plan	LONJAC	25/06/2022	0888-H0200	Rev A
Services – Site Sewer Water Reticulation Plan	LONJAC	25/06/2022	0888-H0300	Rev A
Services – Stormwater Layout and Catchment Plan	LONJAC	25/06/2022	0888-H0400	Rev A
Services – Stormwater Layout – Site Facilities – Stage 2	LONJAC	25/06/2022	0888-H0410	Rev A
Survey Setout and Existing Features Plan	RMA Engineers	29/11/2024	088-H0422	Rev 2
Pavement Design Plan	RMA Engineers	29/11/2024	088-H0424	Rev 2
Site Grading Layout Plan	RMA Engineers	29/11/2024	088-H0425	Rev 2
Site Grading Sections	RMA Engineers	29/11/2024	088-H0426	Rev 2
Stormwater Catchment Plan – Stage 0	RMA Engineers	29/11/2024	088-H0428	Rev 2
Stormwater Culvert Layout Plan and Sections – Stage 0	RMA Engineers	29/11/2024	088-H0429	Rev 2
Basin Notes and Standard Details	RMA Engineers	29/11/2024	088-H0430	Rev 2
Basin Layout Plan	RMA Engineers	29/11/2024	088-H0431	Rev 2
Basin Details	RMA Engineers	29/11/2024	088-H0432	Rev 2
Maritime Notes and Typical Section	LONJAC	25/06/2022	0888-K0000	Rev A
Stage 2 Maritime Layout	LONJAC	29/06/2022	0888-K0020	Rev B
Stage 0 Works – Structural General Notes	Kramer Ausenco	8/06/2022	0888-K0101	Rev 1

Drawing/report title	Prepared By	Date	Reference no.	Version
Stage 0 Works – Structural Cell Set Out	Kramer Ausenco	8/06/2022	0888-K0115	Rev 1
Stage 2 Works – Structural Cell Set Out	Kramer Ausenco	8/06/2022	0888-K0116	Rev 0
Stage 0 Works – Structural Ramp details	Kramer Ausenco	8/06/2022	0888-K0120	Rev 1
Stage 2 Works – Structural Concrete Details	Kramer Ausenco	8/06/2022	0888-K0126	Rev 0
Stage 2 Works – Structural Wharf Typical Sections and Details	Kramer Ausenco	8/06/2022	0888-K0127	Rev 0
Stage 2 Works – Structural Fender and Bollard Layout	Kramer Ausenco	8/06/2022	0888-K0138	Rev 0
Stage 2 Works – Structural Cone Fender Panel Details	Kramer Ausenco	8/06/2022	0888-K0139	Rev 0
Stage 2 Mooring Plan	LONJAC	25/06/2022	0888-K0320	Rev A
Stage 1 Rock Wall Plan and Elevation	LONJAC	25/06/2022	0888-K0410	Rev A
Stage 1 Rockwall Typical Sections	LONJAC	25/06/2022	0888-K0420	Rev A
Stage 2 Rock Wall Plan and Elevation	LONJAC	25/06/2022	0888-K0430	Rev A
Stage 2 Rockwall Typical Sections	LONJAC	25/06/2022	0888-K0440	Rev A
Stage 1 Dredging Plan	LONJAC	25/06/2022	0888-K0510	Rev A
Stage 1 Volumes Plan	LONJAC	25/06/2022	0888-K0520	Rev A
Stage 2 Dredging Plan	LONJAC	25/06/2022	0888-K0550	Rev A
Stage 2 Volumes Plan	LONJAC	25/06/2022	0888-K0560	Rev A
Stages 1 and 2 Typical Sections and Details Sheet 1	LONJAC	25/06/2022	0888-K0570	Rev A
Stages 1 and 2 Typical Sections and Details Sheet 2	LONJAC	25/06/2022	0888-K0571	Rev A
Stages 1 and 2 Typical Sections and Details Sheet 3	LONJAC	25/06/2022	0888-K0573	Rev A
Stages 1 and 2 Typical Sections and Details Sheet 4	LONJAC	25/06/2022	0888-K0573	Rev A
Stages 1 and 2 Typical Sections and Details Sheet 5	LONJAC	25/06/2022	0888-K0574	Rev A
Stages 1 and 2 Dredging and Reclamation Plan	LONJAC	25/06/2022	0888-K0600	Rev A
Stages 1 and 2 Site Cross Sections Sheet 1	LONJAC	25/06/2022	0888-K0650	Rev A

Drawing/report title	Prepared By	Date	Reference no.	Version
Stages 1 and 2 Site Cross Sections Sheet 2	LONJAC	25/06/2022	0888-K0651	Rev A
Stages 1 and 2 Site Cross Sections Sheet 3	LONJAC	25/06/2022	0888-K0652	Rev A
Stages 1 and 2 Site Cross Sections Sheet 4	LONJAC	25/06/2022	0888-K0653	Rev A
Stage 1 Beacon Relocation Plan	LONJAC	25/06/2022	0888-K0710	Rev A
Stage 2 Beacon Relocation Plan	LONJAC	25/06/2022	0888-K0720	Rev A
Baseline Environmental Site Assessment – Bundaberg Marine Industry Site	Butler Partners	28/06/2022	R18-140C	-
Early Works Dredging General Arrangement and Volumes Plan	LONJAC	04/03/2025	0888-K0555	Rev B
Pacific Marine Base Bundaberg Progress Bathymetric Survey	AQUAMAP Pty Ltd	22/07/2024	PMB-240722	Rev 1

11. Currency Period for the Approval

Pursuant to section 85 of the Planning Act, this development approval will lapse at the end of the periods set out below:

- For Material Change of Use this approval lapses if the first change of use associated with this approval does not happen within 6 years after the approval has effect – referenced in section 85 of the *Planning Act 2016*.
- For Operational Works this approval lapses if the works associated with this approval does not substantially start within 6 years of the decision date – referenced in section 85 of the *Planning Act 2016*.

12. Rights of Appeal

The rights of applicants to appeal to a tribunal or the Planning and Environment Court against decisions about a development application are set out in chapter 6, part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).

Attachment 4 is an extract from the *Planning Act 2016* that sets down the applicant's appeal rights and the appeal rights of a submitter.

For further information please contact Trudi Smith, Planning Specialist on 07 4976 1314 or via email planning@gpcl.com.au.

Yours sincerely,



Jenelle Druce
Acting Chief Executive Officer

Cc: Wide Bay Burnett SARA
Bundaberg Regional Council

Enc. Attachment 1: Conditions of Approval
Part 1 – Conditions imposed by the assessment manager
Part 2 – Conditions required by the referral agency response
(WBB SARA Ref 2412-43981 SPD 29 January 2025)

Attachment 2: Approved plans and specifications

Attachment 3: Original Decision Notice

Attachment 4: Appeal provisions

Attachment 1 Conditions of Approval

PART 1: ASSESSMENT MANAGER CONDITIONS

In general the development proposal is in compliance with the requirements of Gladstone Ports Corporation Limited (GPC). This development approval is subject to each the following conditions which are stated by GPC, the Assessment Manager.

Part 1a: Approval sought under *Planning Act 2016* – Material Change of Use on Strategic port land and Operational works within Strategic port land tidal areas.

GENERAL
1. The proposed development must be carried out generally in accordance with the plans as lodged with the application except where modified by conditions of this permit. The Applicant must obtain a development or change approval for any proposed development, temporary or permanent that is inconsistent with the approved plans, prior to such works commencing.
2. Unless otherwise stated, all conditions must be completed prior to the commencement of the use.
3. Where additional “approval” is required under these conditions by the Assessment Manager for drawings or documentation the Applicant must submit for review, amend to the satisfaction of and obtain written acceptance from the Assessment Manager. Only in this manner can compliance with the condition be achieved. Furthermore, the Assessment Manager will require no less than 20 business days, unless otherwise conditioned by the Assessment Manager, to assess the drawings or documentation. Should further information be required, the Assessment Manager will require a further 5 business days.
4. Deleted.
5. The Applicant must inform the Assessment Manager of completion of works within 14 days of practical completion of each stage of the development (excluding tidal works) and undertake a site inspection with the Assessment Manager. The Applicant must also certify that the development is constructed as per design and that the development has been constructed generally in accordance with the approved plans i.e. RPEQ certification for all civil works and tidal works and the appropriate certification for all building and plumbing works.
6. The Applicant must at its cost and expense, keep and maintain the development footprint, including existing services, in a state that is satisfactory to the Assessment Manager.
ENGINEERING & PLANNING
7. Prior to commencing works for each stage of development (excluding tidal works), the Applicant must submit to the Assessment Manager for approval the final 100% design ‘for construction’ drawings prepared by a suitably qualified person, including but not limited to: a) General layout plan and staging plan drawn to an appropriate scale

<ul style="list-style-type: none"> b) Landscape plan and any proposed entry treatments or signage c) Earthworks (excavation and filling) including batters and final levels on site and surrounds; d) Stormwater infrastructure (for management of onsite and offsite / around site stormwater) and stormwater outfall; e) Pavement plan details plan; f) Utilities e.g. electricity and telecommunications; g) Outdoor lighting including security lighting h) Potable water and sewerage infrastructure; i) Fencing; j) Buildings and other structures and k) Waste storage areas and chemical and fuel storage areas; and
<p>8. Prior to commencing works for each stage of development for tidal works, the Applicant must submit to the Assessment Manager for approval the final 100% design RPEQ certified 'for construction' drawings prepared by a suitable qualified person for tidal works, including but not limited to:</p> <ul style="list-style-type: none"> a) Berth pocket and access channel b) Reclamation c) Wharf d) Sheet piling e) Piles f) Barge unloading ramp g) Stormwater outfall and h) Any other tidal infrastructure within the project.
<p>9. Deleted.</p>
<p>10. Deleted.</p>
<p>11. Any material which is deposited or any debris which falls or is deposited on tidal lands or into tidal waters during the construction of the approved development shall be removed by the Applicant at their cost and expense. The Applicant is to notify the Assessment Manager if any material or debris is deposited. Upon completion of the development, the Applicant is to provide a clearance survey of the development area to the Assessment Manager as certification that the seabed is clear of any material or debris.</p>
<p>12. If, as a result of the works, or other cause attributable to the Applicant any revetment wall or structure outside the approved work area is displaced, the Applicant at its cost and expense shall restore the revetment or structure to its former condition and take such other action as is necessary to ensure the stability of the bank or structure to the satisfaction of the Regional Harbour Master or the Assessment Manager (as applicable to the location).</p>
<p>13. Upon completion of the relevant part or stage of works the Applicant must supply the Assessment Manager with RPEQ certified 'As Constructed' plans prepared by a suitable qualified person in hard copy (2 of) and electronic (CAD format) which illustrate all infrastructure and services installed on, under or over port land associated with the activity unless otherwise approved in writing by the Assessment Manager.</p>

14. The Applicant is to supply the Assessment Manager with a copy of certification of all building and plumbing and drainage works upon completion of relevant works.

15. The Applicant is to notify the Assessment Manager of damage caused to any port infrastructure or services included but not limited to security related devices, buildings, fences, lighting, roads walkways and underground services or infrastructure as a result of this activity. The Applicant is to undertake the repairs directly in consultation with the Assessment Manager and Bundaberg Regional Council, however, depending upon the nature and location of the damage, Gladstone Ports Corporation Limited retains the right to undertake the repairs at the expense of the Applicant.

16. Deleted.

17. Prior to the commencement of Stage 2 of the development, transparent site fencing must be provided to a minimum of 1.8m in height. Unless otherwise approved by the Assessment Manager, the fencing is to be black PVC plastic coated, chain wire mesh fence and black posts on the site boundary around the perimeter of the development site.

STORMWATER AND DRAINAGE

18. During all stages and phases of construction, all stormwater within the lease area or stormwater that traverses the lease area is to be captured or diverted and discharged via an approved lawful point of discharge.

19. The approved development must not impede any existing stormwater flow paths from adjoining or undeveloped land outside the development footprint. The Applicant is to provide a corridor 10m in width to provide for construction and installation of a stormwater drain in an agreed location on the southern boundary of the proposed lease area with Gladstone Ports Corporation Limited.

20. An Erosion and Sediment Control plan is to be provided to the Assessment Manager prior to each stage of works occurring. The plan must be prepared by an appropriately qualified person, in accordance with Best Practice Erosion and Sediment control (BPESC).

ROADS, PARKING AND ACCESS

21. The temporary pavement site access (roadway) identified on Staging Plan 0888-C0200 **Rev B** is to be in place no longer than **24 months** from the commencing of the use under Stage **0** (and prior to commencement of use of Stage 2.) After this time, the access must be **upgraded** to a standard appropriate for its intended use and durability.

22. Provide to the satisfaction of Bundaberg Regional Council, road widening and infill works at the Buss Street roundabout to accommodate the B-Double or other heavy vehicle truck movements. The works may be inclusive of, but not limited to, the provision of:

- a) reinforced concrete and pavement within the central island; and
- b) widening of the south eastern kerb and channel (right-turn out of the premises – southbound to ensure that the B-Doubles or other heavy vehicles can turn into Buss Street without crossing the centreline of the street.

23. The Applicant must consult with Bundaberg Regional Council regarding any proposed works within Council road reserves and obtain any Council approvals necessary prior to any works commencing.

24. All vehicle parking must be accommodated within the lease area at all times. No trucks or other heavy vehicles are to queue offsite within the road reserve or elsewhere on vacant land during construction. Heavy vehicles must be able to be accommodated and turned/manoeuvred on site.

25. Deleted.

26. For each stage of development, a final Operational Traffic Management Plan (OTMP) suitable for proposed vehicles utilising the approved use, must be provided to the Assessment Manager for approval a minimum of 10 business days prior to the commencement of any use. All activities associated with construction must be carried out in accordance with the approved OTMP.

UTILITIES

27. Sanitary Drainage and water supply must be provided to the satisfaction of the Bundaberg Regional Council and generally in accordance with **Stage 2 LONIJAC** plan number **0888-H0300** Rev A and HO100 Rev A. Works must include, unless otherwise directed by Bundaberg Regional Council, the following:

- a) the low pressure system (LPS), contained within the lease area, must be maintained and operated by the Lessee at all times;
- b) the LPS must connect to the pressure main via a Boundary connection Assembly – which is inclusive of two isolation valves pup out tee and non-return valve;
- c) the two manholes immediately downstream of the LPS pressure main must be lined;
- d) the first sewerage manhole upstream of the connection to Council's sewerage network must be provided with a property connection point (type A);
- e) connections to the existing water and sewage mains must be undertaken by Council and provided at no cost to Council.

28. Connection to Bundaberg Regional Council's water and sewer infrastructure is to be installed by Bundaberg Regional Council with the cost borne by Pacific Marine Base Bundaberg (PMBB).

29. Any connection required to Gladstone Ports Corporation Limited or Third Party Service Provider (i.e. Bundaberg Regional Council, Ergon) infrastructure must be established prior to the commencement of the use for relevant stage.

30. Prior to the commencement of the use, provision of a new connection to reticulated water infrastructure located at the frontage of the site is to be installed with the cost being borne by the Applicant.

OUTDOOR LIGHTING

31. Any site lighting used during construction should not impact on the visibility of Navigational Aids utilised for the primary shipping channels nor illuminate a landward glare beyond the site boundary. Lighting will be continually reviewed during construction and operations

with respect to navigation and will be revised as required in response to negative impacts as they arise.

32. Prior to works commencing, the proponent must ensure all details of proposed mitigation measure/s to reduce skyglow from all external lighting associated with the development have been documented and are available for review by the Assessment Manager upon request.

Note: the National Light Pollution Guidelines for Wildlife including marine turtles, seabirds and migratory shorebirds provides relevant guidance material.

33. Lighting must be designed to facilitate a safe and secure parking and/ or access area, lit to a standard appropriate for safe night time operations.

34. Prior to the commencement of the use, design and install all external lighting in accordance with AS 4282 – Control of the obtrusive effects of outdoor lighting so as not to cause nuisance to resident, the airport, navigational aids or obstruct or distract pedestrian or vehicular traffic. Where an issue is identified or a validated complaint received, the Applicant must immediately rectify the matter to the satisfaction of the Assessment Manager.

STREET IDENTIFICATION AND SIGNAGE

35. The street address of the development must be clearly visible and discernible from the primary frontage of the site by the provision of a street name and, where appropriate, the building/business name.

36. The Applicant must provide details of all proposed signage associated with the development, including signs on buildings, fences and posts and any proposed entry statements, to the Assessment Manager for approval (where not 'Accepted, subject to requirements' under the relevant Land use plan).

Note: It is the responsibility of the Applicant to determine whether building approval is required for any proposed signs and obtain necessary approval.

LANDSCAPING

37. The proponent must maintain the property frontage in a clean and tidy manner, and mow any grassed areas regularly.

38. Landscaping is to be provided along the Buss Street road frontage of the site excluding access/egress to a width of 2 metres.

Note: Per relevant condition, landscaping can be placed behind the fence if transparent fencing is located on the front boundary.

39. ***Prior to commencement of the second stage to be developed, prepare and submit for approval to the Assessment Manager a Landscape plan in accordance with the applicable codes and guidelines of the Port of Bundaberg Land Use Plan 2020, and the conditions of this approval. The plan is to include, but not be limited to the following:***

- a) Details of any vegetated/landscaped drainage path areas/s;
- b) Minimum 2m wide landscaping to the front and side boundaries (where frontage to a road);

- c) Provision of mature trees and/or species to a minimum 3m height to Buss Street frontage of the site; and
- d) Details of any proposed irrigation systems;

All landscaping must be carried out in accordance with an approved Landscaping plan.

DREDGING AND DREDGE MATERIAL DISPOSAL

Dredge Management Plan

40. Prior to the commencement of the dredging activity, **an amended** Dredge Management Plan (DMP)¹ for the activity must be developed and implemented, and the DMP must contain the following:

- a) Clearly stated aims and objectives
- b) Description of dredging operation including:
 - i. type of equipment to be used in dredging;
 - ii. volume of dredged material to be removed, and duration and timing of the dredging campaign;
 - iii. methods to be utilised for transporting dredged material; and
 - iv. dredged material disposal methods.
- c) Clearly stated aims and objectives
 - i. Maps or plans showing
 - ii. Legend, north arrow and scale
 - iii. Boundaries of dredging operation
 - iv. Estimated zone of influence of sediment plumes
 - v. Location of designated disposal sites
 - vi. Location of sensitive receptors and
 - vii. All monitoring locations
- d) **An amended** sediment characterisation report prepared in accordance with the requirements of the National Assessment Guidelines for Dredging (Commonwealth of Australia 2009) and National Environment Protection (Assessment of Site Contamination) Measure (NEPC 1999), which includes all areas **and stages** of proposed dredging and includes at least one sample in the proposed berth pocket area (taken from behind the existing seawall).
- e) A detailed description of sediment plume-associated monitoring program including
 - i. sampling regime and methods; and
 - ii. monitoring sites
- f) A detailed description of the assessment methodology to provide data in relation to trigger values that will define alert levels.
- g) Clearly set out data handling and evaluation procedures that demonstrate how exceedance of alert levels will be determined.
- h) Management actions to be initiated if alert levels are exceeded.

i) Include reference to all stages of development (as applicable)

Note: The Dredge Management Plan is subject to review and amendment as required by changing regulation, monitoring results or administering authority recommendations.

41. Placement of dredge material must from Lot 501 must be undertaken within Lot 501 for this development, unless otherwise approved in writing by the Assessment Manager.

Dredge Material Placement – MRA

42. At least 3 months prior to commencing a dredging campaign, the Applicant must obtain Gladstone Ports Corporation Limited's approval to use the Materials Relocation Area (MRA) from the Port of Bundaberg Manager.

The Applicant must provide the following information in their application:

- a) Volume of dredged material to be disposed within the MRA
- b) Quality of dredged material
- c) Schedule and timeframe of the proposed works

43. The Applicant must submit to the Assessment Manager for approval a MRA Management Plan (MRAMP) at least 30 business days prior to the commencement of each capital and maintenance dredging campaign. When the dredge material is being placed within Gladstone Ports Corporation Limited's MRA, the MRAMP must be consistent with Gladstone Ports Corporation Limited's MRA Strategy and Layout Plan and must include but is not limited to:

- a) a dredge campaign program and schedule based upon the requirement of one user of the MRA at a time;
- b) for capital and maintenance dredging, a sediment sampling and analysis report¹ is prepared for all areas of dredging in accordance with relevant guidelines for quality which demonstrates that the material is not contaminated and is suitable for disposal in the MRA.
- c) a plan, including layout plans and engineering drawings prepared by a suitably qualified person for dredge material disposal transfer, pump-out methodology, placement, containment and management including:
 - i. infrastructure required inside the MRA such as bund walls, weir boxes etc.;
 - ii. transfer methodology e.g. pipeline or truck, route/road crossings; and
 - iii. maintenance of vehicle and pedestrian access e.g. along Buss Street;
- d) a capacity analysis for the proposed disposal area within the MRA based upon the requirements of a minimum freeboard to top of bund of 1m to be maintained at all times;
- e) an acid sulphate soil treatment and management plan that:
 - i. is prepared by a suitably qualified person;
 - ii. provides methodology to be implemented for identifying acid sulphate soils placed by the Applicant that requires treatment separately from any existing acid sulphate soils in the MRA;

<ul style="list-style-type: none"> iii. includes details of methodology of acid sulphate soil treatment, monitoring and verification of successful treatment; and iv. certification that the acid sulphate soil placed in the MRA by the Applicant has been treated to relevant criteria such that there is no risk of non-compliant pH or contaminant levels in future water discharges. <ul style="list-style-type: none"> f) a discharge monitoring and sampling plan for the MRA to demonstrate compliance with relevant discharge water quality criteria; g) proposed reporting requirements in the event of any non-compliance with approvals; and h) a Traffic Management Plan prepared by a suitably qualified person for excavated or dredged material that is to be transferred to the MRA via truck or pipe <p>Note - Sediment Analysis Plans used in the preparation of the Dredge Management Plan can be provided to satisfy this requirement.</p>
44. Deleted.
45. The dredging and dredge placement activities must be undertaken in accordance with the approved DMP.
46. Deleted.
<p>47. Upon completion of the dredging campaign and within one month of the final lawful release of discharge waters (unless otherwise agreed in writing) by the Assessment Manager, the Applicant must provide to the Assessment Manager for approval a report that documents the activities that have been carried out during the dredging campaign including:</p> <ul style="list-style-type: none"> a) Volume and type of material placed inside the disposal area within the MRA; b) Final levels of disposal area within the MRA; c) Acid sulphate soil treatment monitoring data and verification of completed successful treatment; and d) Water quality discharge monitoring data and verification of completion of discharges.
CONSTRUCTION MANAGEMENT
48. The Applicant or their contractor is required to apply for and obtain from Gladstone Ports Corporation Limited a Permit to Dig/Excavate for each stage of development prior to commencing excavation or digging for each stage by contacting the Port Infrastructure Asset Manager on 4976 1332 or bartono@gpcl.com.au .
49. In the event a construction compound is required on Port land outside the project lease area for offices, laydown areas, employee car parking or stockpiling areas etc., the Applicant or their contractor must obtain a Consent to Enter from Gladstone Ports Corporation Limited's Property Advisor via 07 4976 1334 or property@gpcl.com.au prior to works commencing.
50. Prior to each stage or new phase of construction works commencing on site, a Construction Traffic Management Plan (CTMP) prepared by a suitably qualified person specific to the construction works being undertaken must be submitted to the Assessment

<p>Manager for approval. The CTMP must include peak traffic movement data for each stage or new phase of works. The CTMP must be amended as necessary for any proposed construction works and any amendments to the CTMP are to be submitted to the Assessment Manager for approval.</p>
<p>51. The hours for the construction of the facility (i.e. operation of any machinery and/or other equipment other than a dredge) shall be restricted to between 7:00am and 6:00pm Monday to Saturday. No works shall be undertaken Sundays or on public holidays. Any variations to these times will be subject to the written approval of the Assessment Manager. Dredging activities shall be unrestricted i.e. can take place 7 days a week 24 hours per day.</p>
<p>52. No mud, dirt or other debris is to be tracked onto public roads during construction activities.</p>
<p>53. Construction fill material must be uncontaminated and reused from onsite or sourced from a licensed quarry.</p>
<p>54. Where any excavation, including dredging, is to occur on Lot 501 any proposed waste disposal from the site is to be located on the site OR in accordance with relevant requirements for parcels on the Environmental Management Register.</p> <p>Note: Respective approvals must be obtained by the applicant where placement of material outside of this lot is proposed.</p>
<p>ENVIRONMENT</p>
<p>Acid Sulphate Soils</p>
<p>55. In the event acid sulphate soils are disturbed/excavated during construction or operations, and require treatment on site or any land owned by GPC, a site specific acid sulphate management plan, including treatment locality and volumes and disposal locality, must be submitted to the Assessment Manager for approval prior to such works commencing. Upon approval of the management plan, the works must be carried out in accordance with this plan and the plan will form part of the Approved plans.</p>
<p>Construction Environmental Management Plan</p>
<p>56. Prior to construction works commencing on site, an amended Construction Environmental Management Plan (CEMP) prepared by a suitably qualified person specific to the construction works must be submitted to the Assessment Manager for approval. The CEMP must include all stages of development and be regularly reviewed and amended as staged works progress.</p> <p>The construction works must be undertaken in accordance with the approved CEMP that ensures</p> <ul style="list-style-type: none"> a) environmental risks are identified, managed and continually assessed and reviewed; and b) that staff are trained and aware of their obligations under the CEMP; and c) that reviews of environmental performance are undertaken at least annually; and d) any amendments to the CEMP are to be submitted to the Assessment Manager for review and approval.

Operational Environmental Management Plan

57. Prior to operational works commencing on site, an **amended** Operational Environmental Management Plan (OEMP) prepared by a suitably qualified person specific to all operational works must be submitted to the Assessment Manager for approval. The OEMP must **include all stages of development and** be regularly reviewed and amended as staged operations progress.

The operational works must be undertaken in accordance with the approved OEMP that ensures:

- a) environmental risks including the potential to cause environmental nuisance are identified, managed and continually assessed; and
- b) that staff are trained and aware of their obligations under the OEMP; and
- c) that reviews of environmental performance are undertaken at least annually; and
- d) any amendments to the OEMP are to be submitted to the Assessment Manager for review and approval.

Marine Fuel and Oil Spill Management Plan

58. Prior to operational works (including tidal works) for each relevant activity or stage commencing on site, a Marine Fuel and Oil Spill Management Plan (MFOSMP) specific to spills in the marine environment must be submitted to the Assessment Manager for approval. The MFOSMP must be regularly reviewed and amended as staged operations progress. The MFOSMP can be developed either as a standalone document or as a section of the OEMP.

Spill prevention and response must be undertaken in accordance with the approved MFOSMP that ensures:

- a) environmental spill risks are identified, managed and continually assessed; and
- b) adequate spill response equipment is maintained on site; and
- c) that staff are trained and aware of their obligations under the MFOSMP; and
- d) that reviews of environmental performance are undertaken at least annually; and
- e) any amendments to the MFOSMP are to be submitted to the Assessment Manager for review and approval.

Incident notification

59. Gladstone Ports Corporation Limited's Environment Hotline (07) 4976 1617 must be notified of the occurrence of:

- a) release / spill of contaminants (e.g. fuels / chemicals / sewerage) greater than 20L to land; or
- b) release / spill of contaminants (e.g. fuels / chemicals / sewerage) to water; or
- c) any environmental complaints received by the holder of this approval; or
- d) non-compliance with conditions of this approval or any other environmental approval obtained in relation to the approved activity.

60. When required by the Assessment Manager, noise monitoring must be undertaken upon receipt of a valid complaint, to ensure that relevant acoustic quality objectives defined in the Environmental Protection (Noise) Policy 2019 are being achieved. The method of

measurement of noise should be consistent with the latest edition of the Department of Environment and Science Noise Measurement Manual. The monitoring results must be provided to the Assessment Manager.

NEW CONDITIONS – Stage 0 (interim phase)

61. The proposed Staged development is to be undertaken in sequential order i.e. Stage 0, Stage 1 and Stage 2. Stage 0 is approved for a maximum period of 24 months from commencement of the use.

Note: Stage 1 and Stage 2 may commence at any time prior to this timing, however the interim stage must not continue independently beyond this 24-month timing.

62. Any documentation submitted in compliance with this development approval, must not include reference to ‘dockside’ maintenance.

Note: It may be referred to as ‘general’ maintenance associated with the approved use.

Part 1b: Advice Notes

1. Deleted.
2. Prior to carrying out any works that affect Council’s roads, an application to carry out work on roads is required to be submitted to the Bundaberg Regional Council.
3. The operations of the facility are to be in accordance with the Maritime Transport and Offshore Facilities Security Act 2003 (Cth). Any operations involving security regulated shipping will require obtaining an approved Maritime Security Plan.
4. Any construction activities that involve the excavation and removal from site of 5,000t or more of material per annum will trigger an approval for Environmentally Relevant Activity 16 (2b) e.g. in relation to site development earthworks, removal of existing revetment or dock excavation earthworks.
5. All other relevant approvals must be obtained before commencement of the development or operation of the development, including any Building works or Plumbing and drainage works.
6. Where a permit to Dig/Excavate prior to commencing excavation or digging for the development, the proponent or their contractors are required to apply for and obtain the permit by contacting the GPC on 4976 1314 or planning@gpcl.com.au.
7. Where a construction compound or laydown area is required, the proponent or their contractor is required to apply for and obtain a Consent to Enter from the GPC’s Property Specialist via 07 4976 1334 or property@gpcl.com.au prior to works commencing.

8. Where works are to be undertaken outside tenured areas, the proponent or their contractor is required to apply for and obtain Consent to Enter from GPC's Property specialist via 07 4976 1334 or property@gpcl.com.au prior to works commencing.
9. The Environmental Protection Act 1994 states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks, construction, and operational phases of this development, are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm.
10. This decision notice does not represent an approval to commence Building work.
11. Connections to water and sewerage infrastructure will require Plumbing and Drainage works approvals from a suitably qualified person.
12. Landscaping on site it to comply with requirements to register the facility in accordance with the 'First point of entry biosecurity standards (ports)'.
13. All navigational changes are to be approved by MSQ and/ or the Regional Harbour master. Operational work for navigational signs and aids is 'accepted, subject to requirements' of the Port of Bundaberg Land use plan 2020 (at date of decision).
14. Where the applicant is required to submit further documentation to the Assessment Manager, this is to be directed to the Planning section at planning@gpcl.com.au, including reference to the allocated development application number.
15. For the purpose of providing street addresses for deliveries and emergency vehicles, the street addresses for the premises can be advised upon request.
16. The provision of a substation referred to within the approved plans at the site is nominally 'Accepted development subject to requirements' under the Port of Bundaberg Land Use Plan 2020 in force at the time of this approval. Assessment against the relevant outcomes of the Land Use Plan is to be undertaken prior to construction to ensure the proposal does not trigger assessable development.
17. Refuelling of vessels used in construction must be undertaken in accordance with DTMR's Guide for the prevention of ship-sourced pollution and for the safe transfer of bunkers in Queensland waters for the Safe transfer of bunker.
18. The Wash-bay and Treatment Facility is not authorised to discharge to site and has not been considered within the assessment as part of reticulated infrastructure.

PART 2: REFERRAL AGENCY CONDITIONS

Referral Agency Name: Department of State Development, Infrastructure, Local Government and Planning



SARA reference: 2412-43981 SPD
Council reference: DA2018/10/04
Applicant reference: 11180

29 January 2025

Pacific Marine Base Bundaberg Pty Ltd
C/- Saunders Havill Group
9 Thompson Street
BOWEN HILLS QLD 4006
jeremygoodsell@saundershavill.com

Attention: Julian Wooderson

Dear Julian

SARA change application decision—Buss Street, 45 Wharf Drive, Creevey Road, and 15 Creevey Road, Burnett Heads

(Given under section 83 of the *Planning Act 2016*)

I refer to your application made on 18 December 2024 to the State Assessment and Referral Agency (SARA) requesting a change to an existing development approval issued on 30 November 2022 by the Gladstone Ports Corporation, for the following:

- Development permit for
 - o material change of use for marine industry base on strategic port land and environmentally relevant activity (ERA) 16 (c) – Extraction and screening (dredging in a year more than 100,000t but not more than 1,000,000t)
 - o operational work for tidal works (dredging, reclamation and construction of sheet pile wharf, dock, additional piles, stormwater outfall and navigational aids)

SARA has assessed your application to make a change to the existing development approval.

Decision for change application

Date of decision:	29 January 2025
SARA reference:	2412-43981 SPD
Decision details:	Make the change and amend existing conditions
Changes agreed to:	Changes to plans referenced in condition 5 of the referral agency response. SARA has also made an administrative change and updated the

reference to a former department name in conditions 9, 10 and 11.

Reasons: The reasons for the responsible entity decision are in **Attachment 1**

The following copy of the referral agency response including the above changes replaces the previous referral agency response issued for the original development application under SARA reference 2207-30170 SRA.

Changed response

Outcome:	<ol style="list-style-type: none"> 1. Amended condition 5 to update plans referenced, to include the new stage, Stage 0. 2. References to a former department name in conditions 9, 10, and 11 have also been amended.
Date of original response:	20 September 2022
Original reference:	2207-30170 SRA
Conditions:	The conditions in Attachment 2 must be attached to any development approval
Advice:	Changed Advice to the applicant is in Attachment 3

Development details

Description:	<p>Development permit for</p> <ul style="list-style-type: none"> • material change of use for marine industry base on strategic port land and environmentally relevant activity (ERA) 16 (c) – Extraction and screening (dredging in a year more than 100,000t but not more than 1,000,000t) • operational work for tidal works (dredging, reclamation and construction of sheet pile wharf, dock, additional piles, stormwater outfall and navigational aids)
SARA role:	Referral agency
SARA triggers:	<p>Schedule 10, Part 5, Division 4, Table 2, Item 1 (Planning Regulation 2017) – Development application involving environmentally relevant Activities</p> <p>Schedule 10, Part 17, Division 3, Table 1, Item 1 (Planning Regulation 2017) – Development application involving tidal works in a coastal management district</p> <p>Schedule 10, Part 17, Division 3, Table 2, Item 1 (Planning Regulation 2017) – Development application involving tidal works in tidal waters</p>
Assessment manager:	Port of Gladstone Ports Corporation Limited
Street address:	Buss Street, 45 Wharf Drive, Creevey Road & 15 Creevey Road, Burnett Heads
Real property description:	Lot 276 on SP128643, Lot 287 on SP166199, Lot 501 on SP279707, Lot 5 on RP7193, Lot 6 on RP7193 and Lot 6 on SP166192
Applicant name:	Pacific Marine Base Bundaberg Pty Ltd

Applicant contact details: 9 Thompson Street
Bowen Hills QLD 4006
alexpreston@saundershavill.com

Additional details

Native title considerations: Native title is considered to be extinguished over the area covered by the conclusion boundary in accordance with module AB of the Native Title Work Procedures.

Human Rights Act 2019 considerations: Consideration of the *Human Rights Act 2019* sections 15 to 35 has been undertaken as part of this response. It has been determined that this response does not limit human rights.

Dispute resolution

Appeal: The rights of applicants to appeal to a tribunal or the Planning and Environment Court against decisions about a change application are set out in Chapter 6, Part 1 of the *Planning Act 2016*. Copies of the relevant provisions are in **Attachment 4**.

For further information please contact Caroline Plank, Principal Planning Officer (Wide Bay Burnett), on 0753529709 or via email WBBSARA@dsdilgp.qld.gov.au who will be pleased to assist.

Yours sincerely



Luke Lankowski
Manager, Planning Services

enc Attachment 1 - Reasons for responsible entity decision
Attachment 2 – Changed referral agency conditions
Attachment 3 – Changed advice to the applicant
Attachment 4 – Appeal provisions
Attachment 5 – Documents referenced in conditions

cc Port of Gladstone Ports Corporation Limited, planning@gpcl.com.au

Attachment 1—Reasons for responsible entity decision

(Given under section 83(9) of the *Planning Act 2016*)

The reasons for SARA's decision are:

The development complies with State code 7: *Maritime safety* of the State Development Assessment Provisions (SDAP). All vessels, structures, plant and equipment associated with the project will be lit/marked in accordance with the required standards such that they do not cause a risk to navigation safety.

The development complies with State code 8: *Coastal development and tidal works* of SDAP. Specifically, the development:

- will not significantly impact coastal processes
- does not cause a significant residual impact to any matters of state environmental significance.

The development complies with State code 22: *Environmentally relevant activities* of SDAP. Specifically, the development:

- is located and designed to avoid or mitigate environmental harm on environmental values of the natural environment, adjacent sensitive land uses and sensitive receptors
- avoids impacts on matters of state environmental significance, and where avoidance is not reasonably possible, minimises and mitigates impacts
- adequately mitigates impacts associated with the environmentally relevant activity.

Material used in the assessment of the application:

- The development application material and submitted plans
- **The minor change request**
- *Planning Act 2016*
- Planning Regulation 2017
- The State Development Assessment Provisions (version 3.0), as published by SARA
- The Development Assessment Rules
- SARA DA Mapping system
- **section 58 of the Human Rights Act 2019**

Attachment 2—Changed referral agency conditions

(Under section 56(1)(b)(i) of the *Planning Act 2016* the following conditions must be attached to any development approval relating to this application) (Copies of the documents referenced below are found at Attachment 5)

No.	Conditions	Condition timing
Operational work		
10.17.3.2.1—Development application involving tidal works in tidal waters—The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of Transport and Main Roads to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following conditions:		
1.	<p>(a) Provide written notice to Regional Harbour Master Gladstone (Gladstone.RHM@msq.qld.gov.au), when the development authorised under this approval is scheduled to commence.</p> <p>Each notice must state this application number, the location and name of registered place and the condition number under which the notice is being given.</p> <p>(b) Provide written notice to Regional Harbour Master Gladstone (Gladstone.RHM@msq.qld.gov.au) when the development authorised under this approval has been completed.</p> <p>Each notice must state this application number, the location and name of registered place and the condition number under which the notice is being given.</p>	<p>(a) At least 20 business days prior to the commencement of works</p> <p>(b) Within 20 business days of the completion of works</p>
2.	<p>(a) All vessels, structures, plant and equipment associated with the construction of the approved works must be lit/marked in accordance with the following specifications and requirements such that undertaking the construction works does not cause a risk to the safe navigation of ships.</p> <p>(b) Lighting provided must not obscure, disguise or otherwise interfere with the effectiveness of navigational lighting.</p>	For the duration of works
3.	<p>(a) The structure must be lit/marked in accordance with the following specifications, such that it does not cause a risk to the safe navigation of other ships.</p> <p>(b) Lighting provided must not obscure, disguise or otherwise interfere with the effectiveness of navigational lighting.</p>	At all times
4.	The construction, operation or maintenance of the structure, and any ship moored at this structure, must not restrict safe access to or from neighbouring structures.	At all times
10.17.3.1.1 – Development application involving tidal works in a coastal management district—The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of the Environment, Tourism, Science and Innovation to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following conditions:		
5.	<p>The dredging and construction of the associated tidal works must be undertaken generally in accordance with the following plans:</p> <ul style="list-style-type: none"> - General Layout Plan Stage 0 Interim Operation Site Facilities Detail, prepared by LONJAC, dated 5.12.2024, 	For the duration of the works

	<p><u>drawing number 0888-C0110, revision A.</u></p> <ul style="list-style-type: none"> - <u>Staging Plans prepared by LONJAC dated 5.12.2024, drawing number 0888-C0200, revision B.</u> - <u>Pavement Design Plan, prepared by RMA Engineers, dated 29/11/24, drawing number 088-H0424, revision 2.</u> - <u>Site Grading Layout Plan, prepared by RMA Engineers, dated 29/11/24, drawing number 088-H0425, revision 2.</u> - <u>Site Grading Sections, prepared by RMA Engineers, dated 29/11/24, drawing number 088-H0426, revision 2.</u> - <u>Stormwater Culvert Layout Plan and Sections, prepared by RMA Engineers, dated 29/11/24, drawing number 088-H0429, revision 2.</u> - <u>Basin Notes and Standard Details, prepared by RMA Engineers, dated 29/11/24, drawing number 088-H0430, revision 2.</u> - <u>Basin Layout Plan, prepared by RMA Engineers, dated 29/11/24, drawing number 088-H0431, revision 2.</u> - <u>Basin Details, prepared by RMA Engineers, dated 29/11/24, drawing number 088-H0432, revision 2.</u> - <u>Interim Operations Stage 0 Master Services Site Plan, prepared by LONJAC, dated 5.12.2024, drawing number 0888-C0951, revision A.</u> - General Layout Plan drawing number 0888-C0100, revision A, as amended in red by SARA - Site Sections Sheet 1 of 4, drawing number 0888-C0620, revision A, as amended in red by SARA - Site Sections Sheet 2 of 4, drawing number 0888-C0620, revision A, as amended in red by SARA - Maritime Notes and Typical Section, drawing number 0888-K0000, revision A, as amended in red by SARA - Stage 2 Maritime Layout, drawing number 0888-K0020, revision B, as amended in red by SARA - Stage 1 Works – Structural Cell Set Out, drawing number 0888-K0115, revision 1 - Stage 2 Works – Structural Cell Set Out, drawing number 0888-K0116, revision 0 - Stage 1 Works – Structural Ramp Details, drawing number 0888-K0120, revision 1, as amended in red by SARA - Stage 2 Works – Structural Wharf Typical Sections and Details, drawing number 0888-K0127, revision 0 - Stage 2 Works – Structural Fender and Bollard Layout, drawing number 0888-K0138, revision 0 - Stage 1 Rock Wall Plan and Elevation, drawing number 0888-K0410, revision A, as amended in red by SARA - Stage 1 Rock Wall Typical Sections, drawing number 0888-K0420, revision A - Stage 1 and 2 Typical Sections and Details Sheets 1-5, drawing number 0888-K0570 – 0888-K0574, revision A - Stage 1 and 2 Dredging and Reclamation Plan, drawing number 0888-K0600, revision A, as amended in red by SARA. 	
6.	For the proposed works, only use clean materials and ensure that the works do not cause contamination.	For the duration of the works
7.	Erosion and sediment control measures which are in accordance with Best Practice Erosion and Sediment Control (BPESC)	For the duration of the works

	guidelines for Australia (International Erosion Control Association), are to be installed and maintained to prevent the release of sediment to tidal waters.	
8.	Should any erosion control structures or berth pocket infrastructure collapse, fail or otherwise suffer structural consequences which impact their integrity or ability to function as intended, the works must be: <ul style="list-style-type: none"> i. reinstated in accordance with this development approval; or ii. removed and disposed of at an appropriately licensed facility. 	As soon as reasonably practicable subsequent to the damage
9.	(a) Obtain RPEQ certification confirming that the tidal works, have been constructed in accordance with the current version of the Department's guideline 'Building and engineering standards for tidal works. (b) Provide a copy of the certification must be provided to the Department of Environment and Science Department of the Environment, Tourism, Science and Innovation at palm@des.qld.gov.au or mail to: Permit and Licence Management Implementation and Support Unit GPO Box 2454 Brisbane Qld 4001	Within 20 days of the completion of the works
10.	Provide "As Constructed drawings" to the Department of Environment and Science Department of the Environment, Tourism, Science and Innovation at palm@des.qld.gov.au or mail to: Permit and Licence Management Implementation and Support Unit GPO Box 2454 Brisbane Qld 4001	Within 20 business days of the completion of the works
11.	(a) In the event that the works cause disturbance or oxidisation of acid sulfate soil, the affected soil must be treated and thereafter managed (until the affected soil has been neutralised or contained) in accordance with the current Queensland Acid Sulfate Soil Technical Manual: Soil management guidelines, prepared by the Department of Science, Information Technology, Innovation and the Arts, 2014. (b) Provide certification by a an appropriately qualified person, confirming that the affected soil has been neutralised or contained, in accordance with (a) above to the Department of Environment and Science Department of the Environment, Tourism, Science and Innovation at palm@des.qld.gov.au or mail to: Permit and Licence Management Implementation and Support Unit GPO Box 2454 Brisbane Qld 4001 <i>Note: Appropriately qualified person means a person or persons who has professional qualifications, training, skills and experience relevant to soil chemistry or acid sulfate soil management and can give authoritative assessment, advice and analysis in relation to acid sulfate soil management using the relevant protocols, standards, methods or literature.</i>	(a) Upon disturbance or oxidisation until the affected soil has been neutralised or contained (b) At the time the soils have been neutralised or contained

Material change of use		
<p>10.5.4.2.1 – Development application involving environmentally relevant activities—The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of the Environment, Tourism, Science and Innovation to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition:</p>		
12.	<p>The dredging must be undertaken generally in accordance with the following plans:</p> <ul style="list-style-type: none"> - Maritime Notes and Typical Section, drawing number 0888-K0000, revision A - Stage 2 Maritime Layout, drawing number 0888-K0020, revision B, as amended in red by SARA - Stage 1 and 2 Typical Sections and Details Sheets 1-5, drawing number 0888-K0570 – 0888-K0574, revision A, as amended in red by SARA - Stage 1 and 2 Dredging and Reclamation Plan, drawing number 0888-K0600, revision A, as amended in red by SARA. 	<p>Prior to the commencement of use and to be maintained at all times</p>

Attachment 3—Changed advice to the applicant

General advice	
1.	Terms and phrases used in this document are defined in the Planning Act 2016, its regulation or the State Development Assessment Provisions (SDAP) (version 3.0). If a word remains undefined it has its ordinary meaning.
2.	<p>Allocation of Quarry Material</p> <p>Given part of the proposed dredging is located within Unallocated State Land and is to be placed above the high-water mark, the proposed works is likely to require an allocation of quarry material permit under section 73 of the <i>Coastal Protection and Management Act 1995</i>. Further information on allocations of quarry material is available at the following site https://www.business.qld.gov.au/running-business/environment/licences-permits/dredgingquarry.</p>
3.	<p><u>Environmentally relevant activity (ERA)</u></p> <p><u>Please contact Department of Environment, Tourism, Science and Innovation directly, via email palm@des.qld.gov.au, to discuss whether you require any changes to your environmental authority, associated with ERA 16 (c) – Extraction and screening (dredging in a year more than 100,000t but not more than 1,000,000t).</u></p>

Attachment 4—Appeal provisions

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Planning Act 2016 – Appeal provisions

The following provisions are the **appeal rights** as defined in the Planning Act 2016, schedule 2.

Chapter 6 Dispute resolution

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

(1) Schedule 1 states—

(a) matters that may be appealed to—

- (i) either a tribunal or the P&E Court; or
- (ii) only a tribunal; or
- (iii) only the P&E Court; and

(b) the person—

- (i) who may appeal a matter (the **appellant**); and
- (ii) who is a respondent in an appeal of the matter; and
- (iii) who is a co-respondent in an appeal of the matter; and
- (iv) who may elect to be a co-respondent in an appeal of the matter.

(2) An appellant may start an appeal within the appeal period.

(3) The **appeal period** is—

- (a) for an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or
- (b) for an appeal against a deemed refusal—at any time after the deemed refusal happens; or
- (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or
- (d) for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or
- (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the applicant gives the deemed approval notice to the assessment manager; or
- (f) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note—

See the P&E Court Act for the court's power to extend the appeal period.

(4) Each respondent and co-respondent for an appeal may be heard in the appeal.

- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—
 - (a) the adopted charge itself; or
 - (b) for a decision about an offset or refund—
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that—
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar, must, within the service period, give a copy of the notice of appeal to—
 - (a) the respondent for the appeal; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, table 1, item 1—each principal submitter for the development application; and
 - (d) for an appeal about a change application under schedule 1, table 1, item 2—each principal submitter for the change application; and
 - (e) each person who may elect to become a co-respondent for the appeal, other than an eligible submitter who is not a principal submitter in an appeal under paragraph (c) or (d); and
 - (f) for an appeal to the P&E Court—the chief executive; and
 - (g) for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.
- (4) The **service period** is—
 - (a) if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or
 - (b) otherwise—10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent by filing a notice of election, in the approved form, within 10 business days after the notice of appeal is given to the person.
- (7) Despite any other Act or rules of court to the contrary, a copy of a notice of appeal may be given to the chief executive by emailing the copy to the chief executive at the email address stated on the department's website for this purpose.

231 Other appeals

- (1) Subject to this chapter, schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.

- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section—

decision includes—

 - (a) conduct engaged in for the purpose of making a decision; and
 - (b) other conduct that relates to the making of a decision; and
 - (c) the making of a decision or the failure to make a decision; and
 - (d) a purported decision; and
 - (e) a deemed refusal.

non-appealable, for a decision or matter, means the decision or matter—

 - (a) is final and conclusive; and
 - (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, a tribunal or another entity; and
 - (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, a tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with rules of the P&E Court.

Schedule 1 Appeals

1 Appeal rights and parties to appeals

- (1) Table 1 states the matters that may be appealed to—
 - (a) the P&E court; or
 - (b) a tribunal.
- (2) However, table 1 applies to a tribunal only if the matter involves—
 - (a) the refusal, or deemed refusal of a development application, for—
 - i a material change of use for a classified building; or
 - ii operational work associated with building work, a retaining wall, or a tennis court; or
 - (b) a provision of a development approval for—
 - i a material change of use for a classified building; or
 - ii operational work associated with building work, a retaining wall, or a tennis court; or
 - (c) if a development permit was applied for—the decision to give a preliminary approval for—
 - i a material change of use for a classified building; or
 - ii operational work associated with building work, a retaining wall, or a tennis court; or

- (d) development condition if—
 - i the development approval is only for a material change of use that involves the use of a building classified under the Building Code as a class 2 building; and
 - ii the building is, or is proposed to be, not more than 3 storeys; and
 - iii the proposed development is for not more than 60 sole-occupancy units; or
 - (e) a decision for, or a deemed refusal of, an extension application for a development approval that is only for a material change of use of a classified building; or
 - (f) a decision for, or a deemed refusal of, a change application for a development approval that is only for a material change of use of a classified building; or
 - (g) a matter under this Act, to the extent the matter relates to the Building Act, other than a matter under that Act that may or must be decided by the Queensland Building and Construction Commission; or
 - (h) a decision to give an enforcement notice—
 - i in relation to a matter under paragraphs (a) to (g); or
 - ii under the Plumbing and Drainage Act; or
 - (i) an infrastructure charges notice; or
 - (j) the refusal, or deemed refusal, of a conversion application; or
 - (k) a matter prescribed by regulation.
- (3) Also, table 1 does not apply to a tribunal if the matter involves—
- (a) for a matter in subsection (2)(a) to (d)—
 - i a development approval for which the development application required impact assessment; and
 - ii a development approval in relation to which the assessment manager received a properly made submission for the development application; or
 - (b) a provision of a development approval about the identification or inclusion, under a variation approval, of a matter for the development.
- (4) Table 2 states the matters that may be appealed only to the P&E Court.
- (5) Table 3 states the matters that may be appealed only to the tribunal.
- (6) In each table—
- (a) column 1 states the appellant in the appeal; and
 - (b) column 2 states the respondent in the appeal; and
 - (c) column 3 states the co-respondent (if any) in the appeal; and
 - (d) column 4 states the co-respondents by election (if any) in the appeal.
- (7) If the chief executive receives a notice of appeal under section 230(3)(f), the chief executive may elect to be a co-respondent in the appeal.
- (8) In this section—
- storey** see the Building Code, part A1.1.

Table 1
Appeals to the P&E Court and, for certain matters, to a tribunal

1. Development applications

For a development application other than a development application called in by the minister, an appeal may be made against—

- (a) the refusal of all or part of the development application; or
- (b) the deemed refusal of the development application; or
- (c) a provision of the development approval; or
- (d) if a development permit was applied for—the decision to give a preliminary approval.

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant	The assessment manager	If the appeal is about a concurrence agency's referral response—the concurrence agency	<ol style="list-style-type: none"> 1. A concurrence agency that is not a co-respondent 2. If a chosen assessment manager is the respondent—the prescribed assessment manager 3. Any eligible advice agency for the application 4. Any eligible submitter for the application

2. Change applications

For a change application other than a change application made to the P&E Court or called in by the Minister, an appeal may be made against—

- (a) the responsible entity's decision on the change application; or
- (b) a deemed refusal of a change application.

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<ol style="list-style-type: none"> 1. The applicant 2. If the responsible entity is the assessment manager—an affected entity that gave a pre-request notice or response notice 	The responsible entity	If an affected entity starts the appeal—the applicant	<ol style="list-style-type: none"> 1. A concurrence agency for the development application 2. If a chosen assessment manager is the respondent—the prescribed assessment manager 3. A private certifier for the development application 4. Any eligible advice agency for the change application 5. Any eligible submitter for the change application

3. Extension applications

For an extension application other than an extension application called in by the Minister, an appeal may be made against—

- (a) The assessment manager's decision on the extension application; or
- (b) A deemed refusal of the extension application.

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
1. The applicant 2. For a matter other than a deemed refusal of an extension application—a concurrence agency, other than the chief executive, for the application	The assessment manager	If a concurrence agency starts the appeal—the applicant	If a chosen assessment manager is the respondent—the prescribed assessment manager

4. Infrastructure charges notices

An appeal may be made against an infrastructure charges notice on 1 or more of the following grounds—

- (a) the notice involved an error relating to—
 - (i) the application of the relevant adopted charge; orExamples of errors in applying an adopted charge:
 - the incorrect application of gross floor area for a non-residential development
 - applying an incorrect 'use category', under a regulation, to the development
 - (ii) the working out of extra demand, for section 120; or
 - (iii) an offset or refund; or
- (b) there was no decision about an offset or refund; or
- (c) if the infrastructure charges notice states a refund will be given—the timing for giving the refund; or
- (d) the amount of the charge is so unreasonable that no reasonable relevant local government could have imposed the amount.

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the infrastructure charges notice	The local government that gave the infrastructure charges notice	—	—

5. Conversion applications

An appeal may be made against—

- (a) the refusal of a conversion application; or
- (b) a deemed refusal of a conversion application.

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant	The local government to which the conversion application was made	—	—

6. Enforcement notices

An appeal may be made against the decision to give an enforcement notice.

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the enforcement notice	The enforcement authority	—	If the enforcement authority is not the local government for the premises in relation to which the offence is alleged to have happened—the local government

Table 2
Appeals to the P&E Court only

1. Appeals from tribunal

An appeal may be made against a decision of a tribunal, other than a decision under section 252, on the ground of—

- (a) an error or mistake in law on the part of the tribunal; or
- (b) jurisdictional error.

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A party to the proceedings for the decision	The other party to the proceedings for the decision	—	—

2. Eligible submitter appeals

For a development application or change application other than an application decided by the P&E Court or called in by the Minister, an appeal may be made against the decision to approve the application, to the extent the decision relates to—

- (a) any part of the development application or change application that required impact assessment; or
- (b) a variation request

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<ol style="list-style-type: none"> 1. For a development application—an eligible submitter for the development application 2. For a change application—an eligible submitter for the change application 	<ol style="list-style-type: none"> 1. For a development application—the assessment manager 2. For a change application—the responsible entity 	<ol style="list-style-type: none"> 1. The applicant 2. If the appeal is about a concurrence agency's referral response—the concurrence agency 	Another eligible submitter for the application

3. Eligible submitter and eligible advice agency appeals

For a development application or change application other than an application decided by the P&E Court or called in by the Minister, an appeal may be made against a provision of the development approval, or a failure to include a provision in the development approval, to the extent the matter relates to—

- (a) any part of the development application or the change application, that required impact assessment; or
- (b) a variation request.

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)

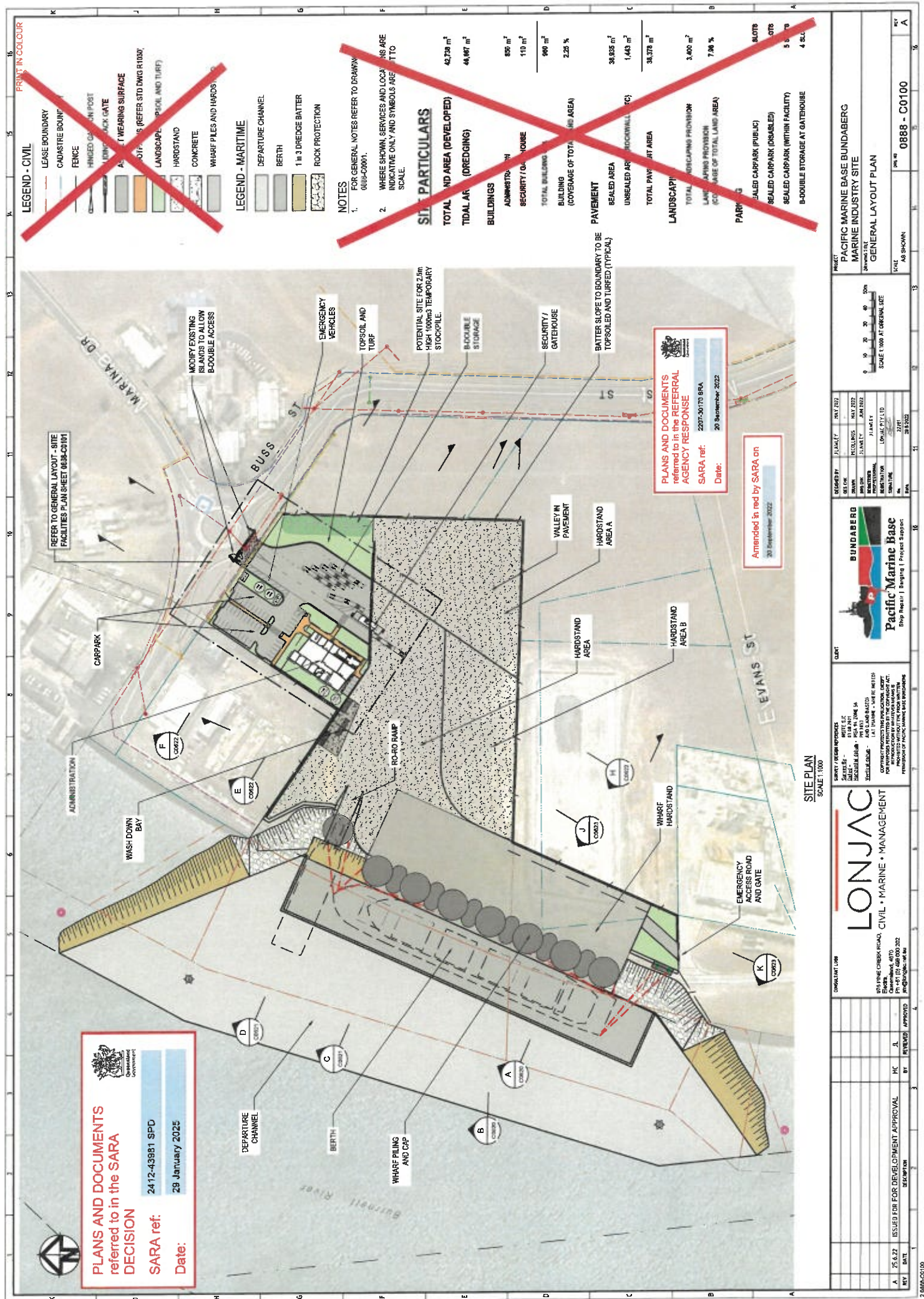
<ol style="list-style-type: none"> 1. For a development application—an eligible submitter for the development application 2. For a change application—an eligible submitter for the change application 3. An eligible advice agency for the development application or change application 	<ol style="list-style-type: none"> 1. For a development application—the assessment manager 2. For a change application—the responsible entity 	<ol style="list-style-type: none"> 1. The applicant 2. If the appeal is about a concurrence agency's referral response—the concurrence agency 	Another eligible submitter for the application
4. Compensation claims An appeal may be made against— <ol style="list-style-type: none"> (a) a decision under section 32 about a compensation claim; or (b) a decision under section 265 about a claim for compensation; or (c) a deemed refusal of a claim under paragraph (a) or (b). 			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person dissatisfied with the decision	The local government to which the claim was made	—	—
5. Registered premises An appeal may be made against a decision of the Minister under chapter 7, part 4.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<ol style="list-style-type: none"> 1. A person given a decision notice about the decision 2. If the decision is to register premises or renew the registration of premises—an owner or occupier of premises in the affected area for the registered premises who is dissatisfied with the decision 	The Minister	—	If an owner or occupier starts the appeal—the owner of the registered premises
6. Local laws An appeal may be made against a decision of a local government, or conditions applied, under a local law about— <ol style="list-style-type: none"> (a) the use of premises, other than a use that is the natural and ordinary consequence of prohibited development; or (b) the erection of a building or other structure. 			

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who— (a) applied for the decision; and (b) is dissatisfied with the decision or conditions.	The local government	—	—
Table 3 Appeals and tribunal only			
1. Building advisory agency appeals An appeal may be made against giving a development approval for building work to the extent the building work required code assessment against the building assessment provisions.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A building advisory agency for the development application related to the approval	The assessment manager	The applicant	1. A concurrence agency for the development application related to the approval 2. A private certifier for the development application related to the approval
2. Inspection of building work An appeal may be made against a decision of a building certifier or referral agency about the inspection of building work that is the subject of a building development approval under the Building Act.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant for the development approval	The person who made the decision	—	—
3. Certain decisions under the Building Act and the Plumbing and Drainage Act An appeal may be made against— (a) a decision under the Building Act, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under that Act; or (b) a decision under the Plumbing and Drainage Act, part 4 or 5, if an information notice about the decision was given or required to be given under that Act.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who received, or was entitled to receive, an information notice about the decision	The person who made the decision	—	—
4. Local government failure to decide application under the Building Act An appeal may be made against a local government's failure to decide an application under the Building Act within the period required under that Act.			

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who was entitled to receive notice of the decision	The local government to which the application was made	—	—

Attachment 5—Documents referenced in conditions

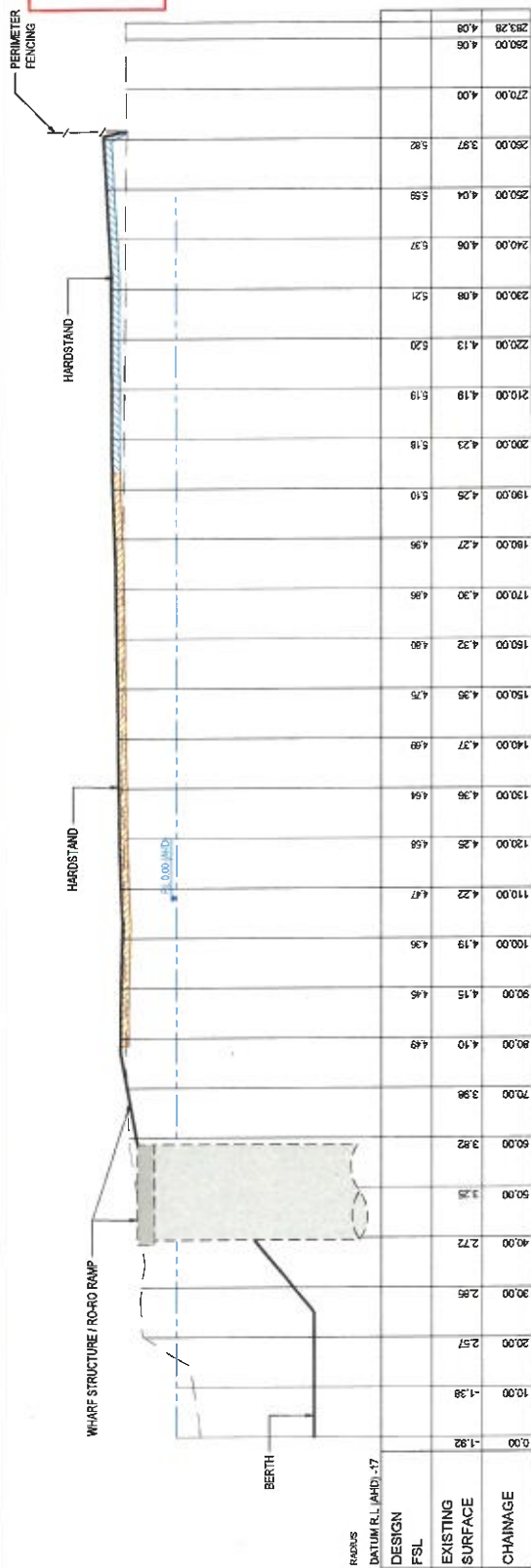
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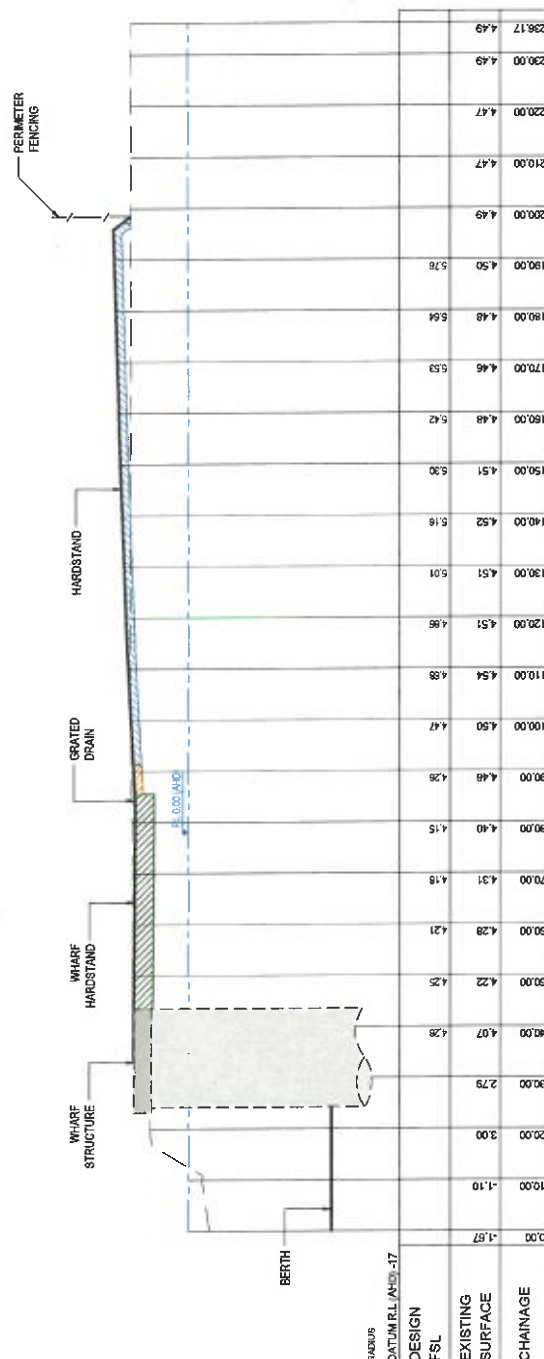
SARA ref: 2412-43901 SPD

Date: 219 January 2025



SARA ref: 2207-30170 6RA

Date: 20 September 2023

Amended in red by SARA on
30 September 2022

ENGINEERING

-
- TYPE A (HARDEST)
- TYPE B (TRANSPORT)
- TYPE C (ACCESS)
- TYPE D (SEMI-ACCESS)
- TYPE E (SEMI-ACCESS)
- TYPE F (HARDEST)
- TYPE G (GREEN AREAS)
- TYPE H (BUILDING)



ADVISE / REASON REFERENCES
 CHRG BY - INSITE SK
 TIME - 0346 2821
 REASON FOR CALL - HOL 34 ZONE 56
 PH 3853
 INITIALS OF AM -
 LAT (MARINE - WHERE NOTED
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GENERAL

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RESEARCH IN PROGRESS

REINFORCEMENT

R2. ENCASE EMBEDDED ITEMS (BRICKS, THREADED RODS, BOLTS, DISBURSED METAL ITEMS, IN COVER CONCRETE OR EXPOSED TO AIR) ARE NOT IN CONTACT WITH REINFORCEMENT. PROVIDE ISOLATION BETWEEN DISBURSED METALS, AND BETWEEN REINFORCEMENT AND EXPOSED ITEMS.

R3. REINFORCEMENT CAST IN ITEMS ARE NOT TO BE WELDED UNLESS APPROVED BY A SUITABLY QUALIFIED ENGINEER.

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED
DATE 08-01-2010 BY 60322 UCBAW

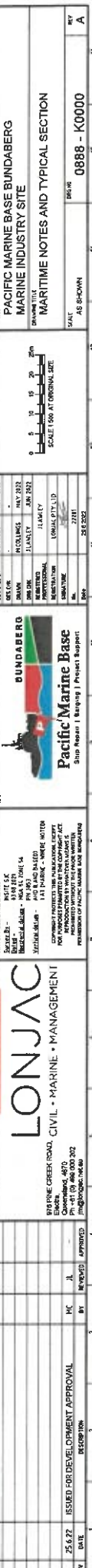
ALL THE CREDIT

[illegible]

PROTECTIVE COATINGS

PG1. PROTECTIVE COATINGS SHALL BE APPLIED TO ANY STRUCTURAL STEEL WORK THAT IS EXPOSED TO ATMOSPHERIC CONDITIONS.

MAINTAINANCE FOR A TIGHT ENVIRONMENT. COATING WITH THE TECHNOLOGIES OF KINGS 2001 COATING SHALL BE A GOOD SOLUTION FOR COATING SYSTEMS WITH PROTECTIVE COATING SYSTEMS TO ACHIEVE A LONG-TERM PROTECTIVE FILM. THE PROTECTIVE COATING SYSTEMS SHALL BE APPLIED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER'S RECOMMENDATIONS.





PRINT IN COLOUR

PLAN
SCALE 1:750

- AREA 1
DREDGE AND OPERATION AREA FOR SUB-LEASE AW ON SP335863, SUB-LEASE BA AND BB ON SP335870, ALL IN LOT 287 ON SP166158, AND SUB-LEASE BC ON SP335870 IN LOT 278 ON SP166158 (NET AREA OWNED BY THE STATE AND LEASED BY GPC.)
- AREA 2
DREDGE AREA ON UNALLOCATED STATE LAND (US), ASSOCIATED WITH SITE DEVELOPMENT
- AREA 3
DREDGE AREA FOR LEASE AU ON SP335878 AND LEASE AY ON SP335889 (ALL IN LOT 501 ON SP279707 (DRY AREA OWNED BY GPC))

PLANS AND DOCUMENTS referred to in the SARA DECISION

SARA ref: 2412-43981 SPD
Date: 29 January 2025

PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE

SARA ref: 2207-30170 BSA
Date: 20 September 2022

Amended in red by SARA on
20 September 2022

LEGEND - CIVIL

LEASE BOUNDARY
ASTRE BOUNDARY
HINGED GATE
FENCE

LEGEND - MARITIME

DEPARTURE CHANNEL
BERTH
1 in 3 DREDGE BATTER
ROCK PROTECTION

- NOTES**
1. FOR GENERAL NOTES REFER TO DRAWING 0888-C0001.
2. WHERE SHOWN, SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE.

REV		DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY
A		25.6.22	FOR DEVELOPMENT APPROVAL	HC	1		REVISED	APPROVED
B		29.8.2022	FOR DEVELOPMENT APPROVAL	HC	2		REVISED	APPROVED

CONTRACT NAME		CONTRACT NUMBER	CONTRACT DATE	CONTRACT VALUE
PACIFIC MARINE BASE BUNDABERG		0888-K0020	29.8.2022	

CLIENT		CLIENT NAME	CLIENT ADDRESS	CLIENT CONTACT
LONJAC		101 LANE CREEK ROAD, CIVIL • MARINE • MANAGEMENT	QUAMBYLAND, 4670 QLD	0888-K0020

DESIGNER		DESIGNER NAME	DESIGNER ADDRESS	DESIGNER CONTACT
BUNDABERG Pacific Marine Base		SHIP REPAIR BARGE PROJECT SUPPORT		

APPROVED BY		APPROVED DATE	APPROVED SIGNATURE
SARA		20 SEPTEMBER 2022	

SCALE		SCALE 1:750 AT ORIGIN SIZE
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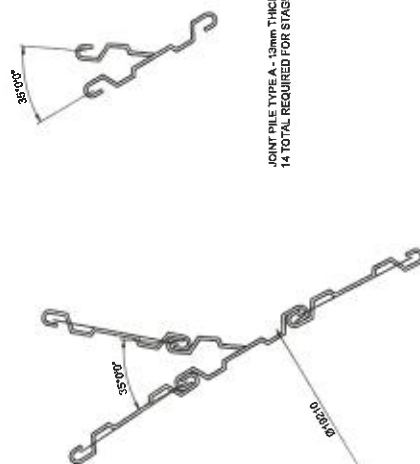
PART		PART NAME	PART NUMBER
PACIFIC MARINE BASE BUNDABERG		MARINE INDUSTRY SITE	0888-K0020

STAGE		STAGE NAME	STAGE NUMBER
MARITIME LAYOUT		MARITIME LAYOUT	0888-K0020



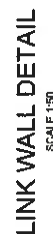
STRAIGHT PILE - UNO 13mm THICK x 22m LONG
120 PER CELL REQUIRED (WITH NO JOINING
PILES) 748 TOTAL REQUIRED FOR STAGE 1

JOINT PILE TYPE A - 13mm THICK x 22m LONG
14 TOTAL REQUIRED FOR STAGE 1

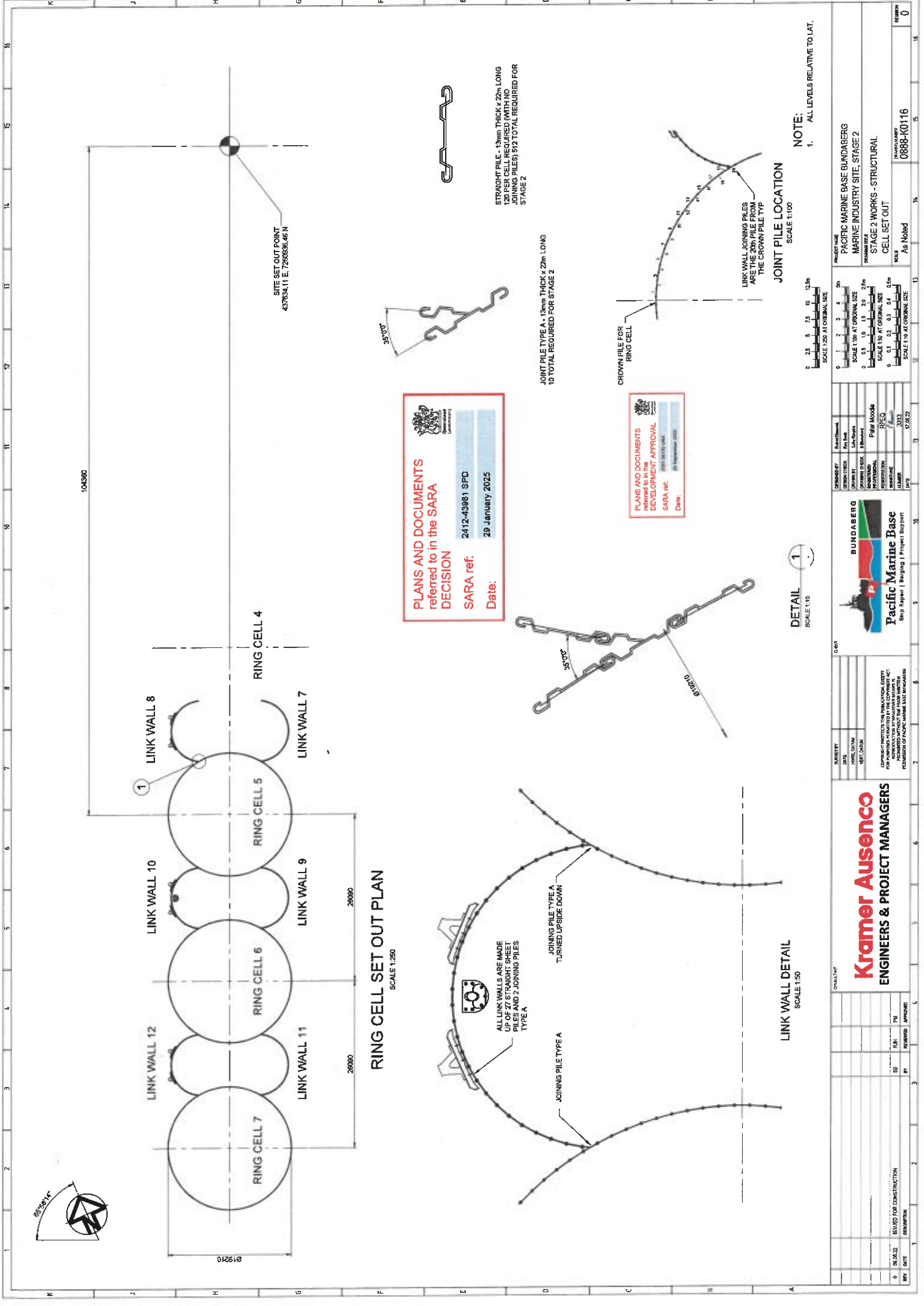


NOTES:

- NOTES:
1. ALL LEVELS RELATIVE TO LAT.
2. STAGE 1 GEOTECHNICAL 3D MODEL REVIEWED TO THE SATISFACTION OF THE STRUCTURAL ENGINEER PRIOR TO DRIVING OF PILES FOR STAGE 1



NO.	DATE	DESCRIPTION	BY	REVISION	APPROVED
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2	22-12-21	ISSUED FOR CONSTRUCTION	SM		
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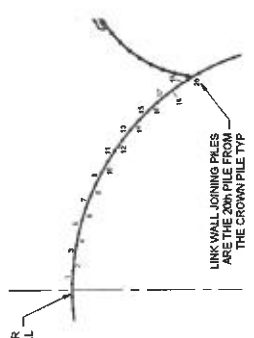
RING CELL SET OUT PLAN
SCALE 1:250

PLANS AND DOCUMENTS referred to in the SARA DECISION
SARA ref: 2412-03981 SPD
Date: 29 January 2025



STRAIGHT PILE - 13mm THICK x 22m LONG
120 PER CELL REQUIRED (WITH NO JOINING PILES) \$12 TOTAL REQUIRED FOR STAGE 2

JOINT PILE TYPE A - 13mm THICK x 22m LONG
10 TOTAL REQUIRED FOR STAGE 2

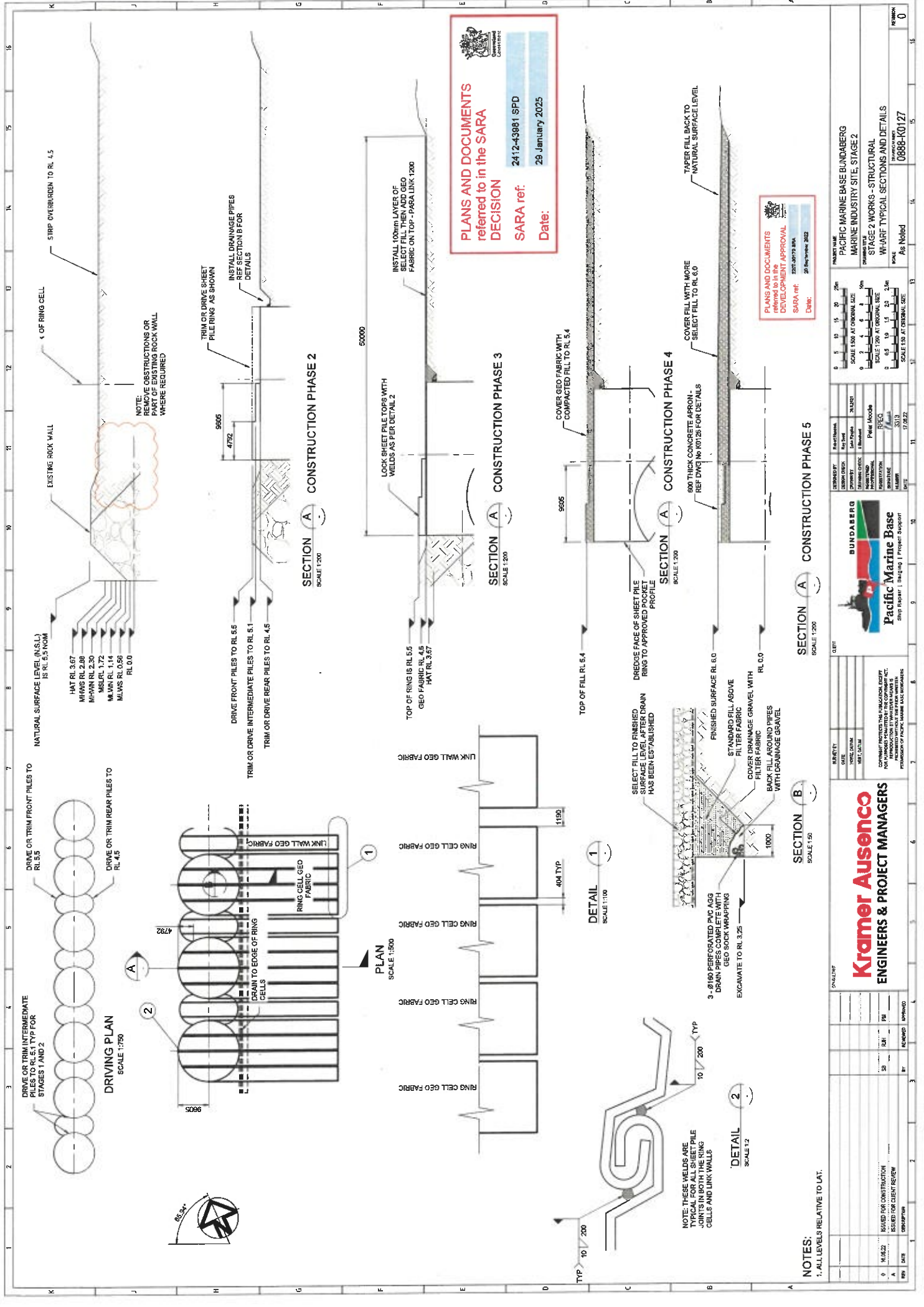


JOINT PILE LOCATION
SCALE 1:100

DETAIL
SCALE 1:10

NOTE:
1. ALL LEVELS RELATIVE TO LAT.

PROJECT NAME												PACIFIC MARINE BASE BUNDABERG											
DRAWING TITLE												MARINE INDUSTRY SITE, STAGE 2											
DRAWING NO.												STAGE 2 WORKS - STRUCTURAL											
CELL SET OUT												As Noted											
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PLANS AND DOCUMENTS
referred to in the SARA
DECISION

SARA ref: 2412-43981 SPD

Date: 29 January 2025

PLANS AND DOCUMENTS
referred to in the
DEVELOPMENT APPROVAL

SARA ref: 227-00793 SPA

Date: 20 May 2022

SECTION A CONSTRUCTION PHASE 2
SCALE 1:200

SECTION A CONSTRUCTION PHASE 3
SCALE 1:200

SECTION A CONSTRUCTION PHASE 4
SCALE 1:200

SECTION B
SCALE 1:50

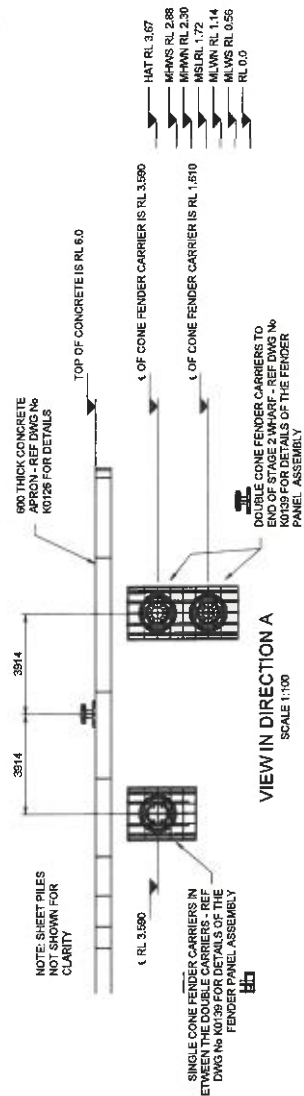
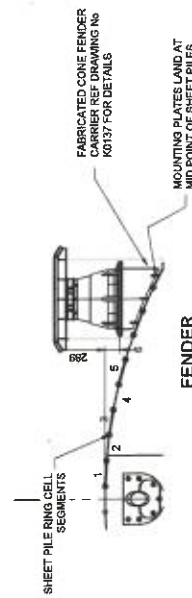
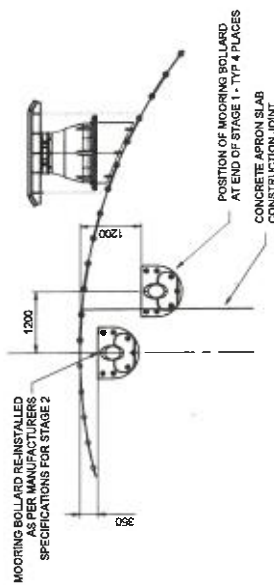
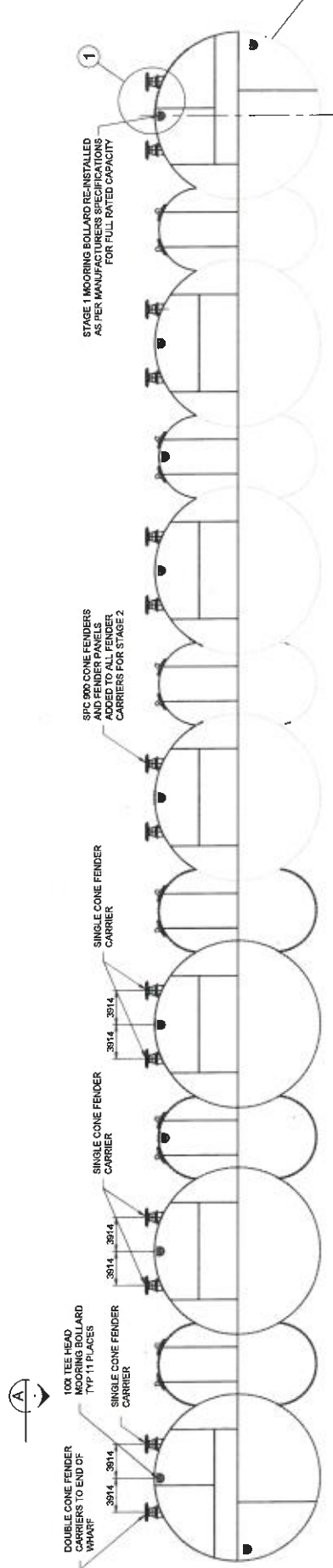
NOTES:
1. ALL LEVELS RELATIVE TO LAT.

Kramer Ausenco
ENGINEERS & PROJECT MANAGERS



PACIFIC MARINE BASE BUNDABERG
MARINE INDUSTRY SITE, STAGE 2
STAGE 2 WORKS - STRUCTURAL
WHARF TYPICAL SECTIONS AND DETAILS

PROJECT NAME
MARINE INDUSTRY SITE, STAGE 2
STAGE 2 WORKS - STRUCTURAL
WHARF TYPICAL SECTIONS AND DETAILS
SCALE
As Noted
0888-K0127



PLANS AND DOCUMENTS
referred to in the SARA
DECISION

SARA ref: 2412-43981 SPD

Date: 29 January 2025

PLANS AND DOCUMENTS
referred to in the
DEVELOPMENT APPROVAL

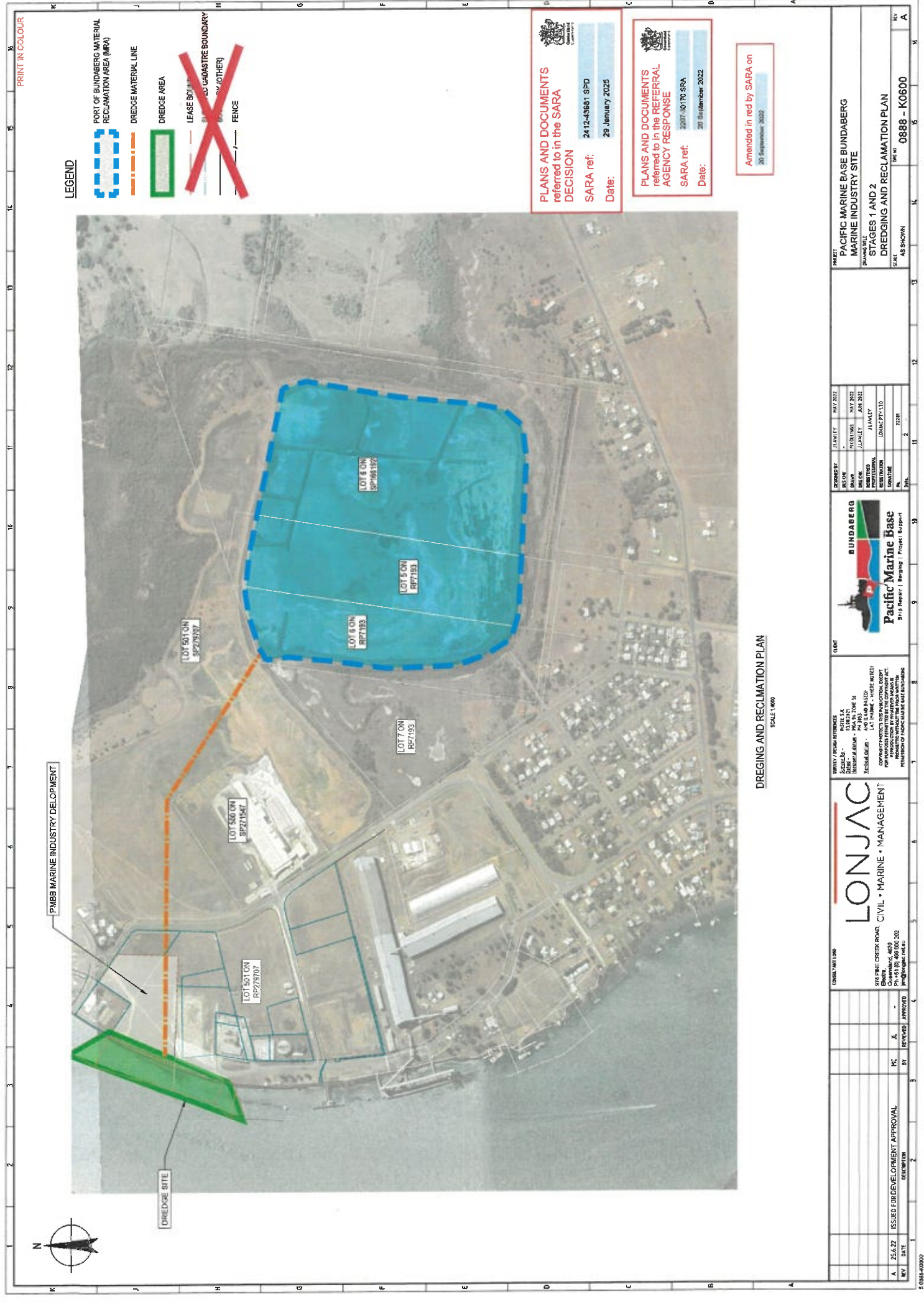
SARA ref.

Date:

NOTES

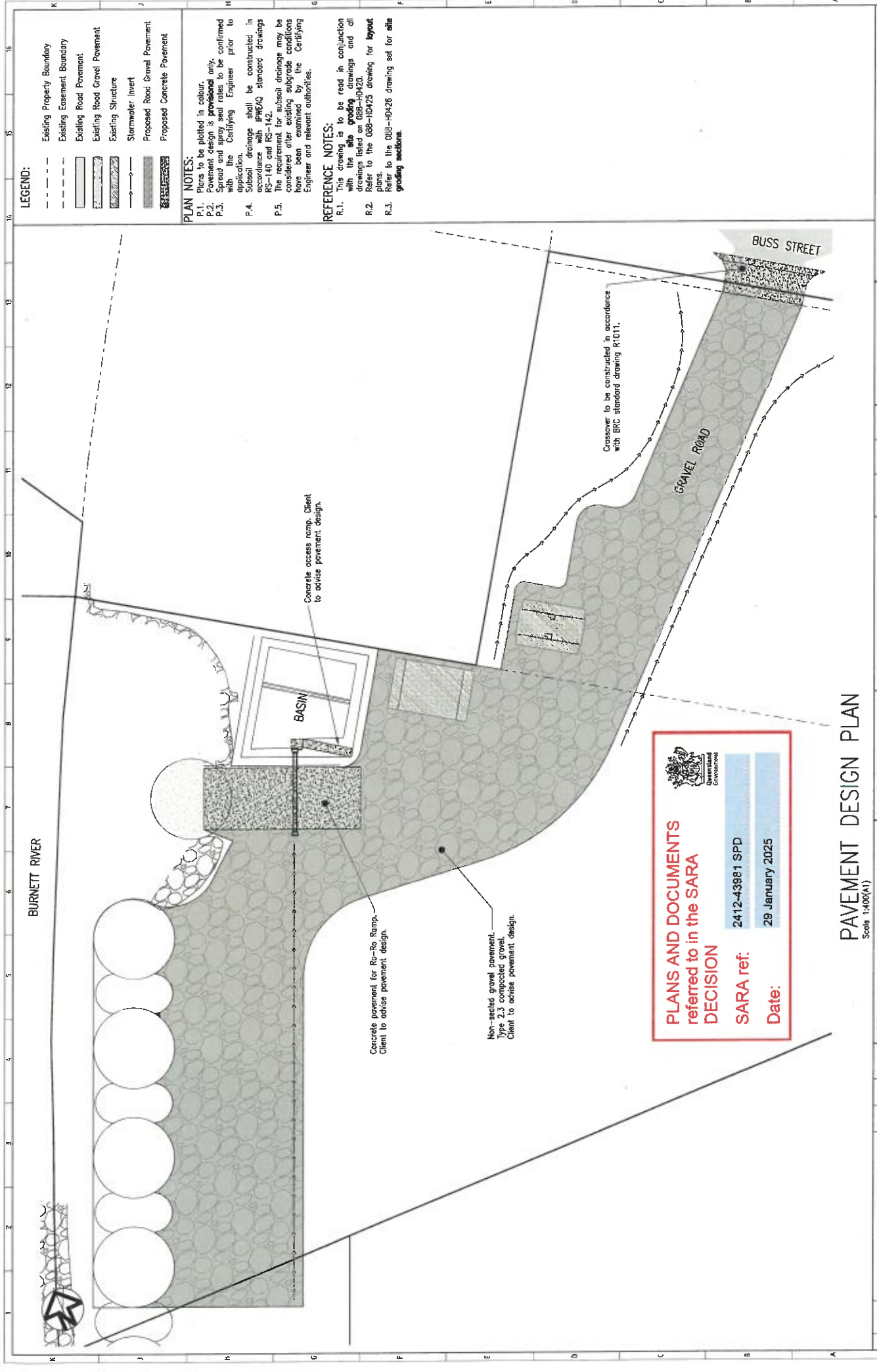
1. ALL LEVELS RELATIVE TO LAT.



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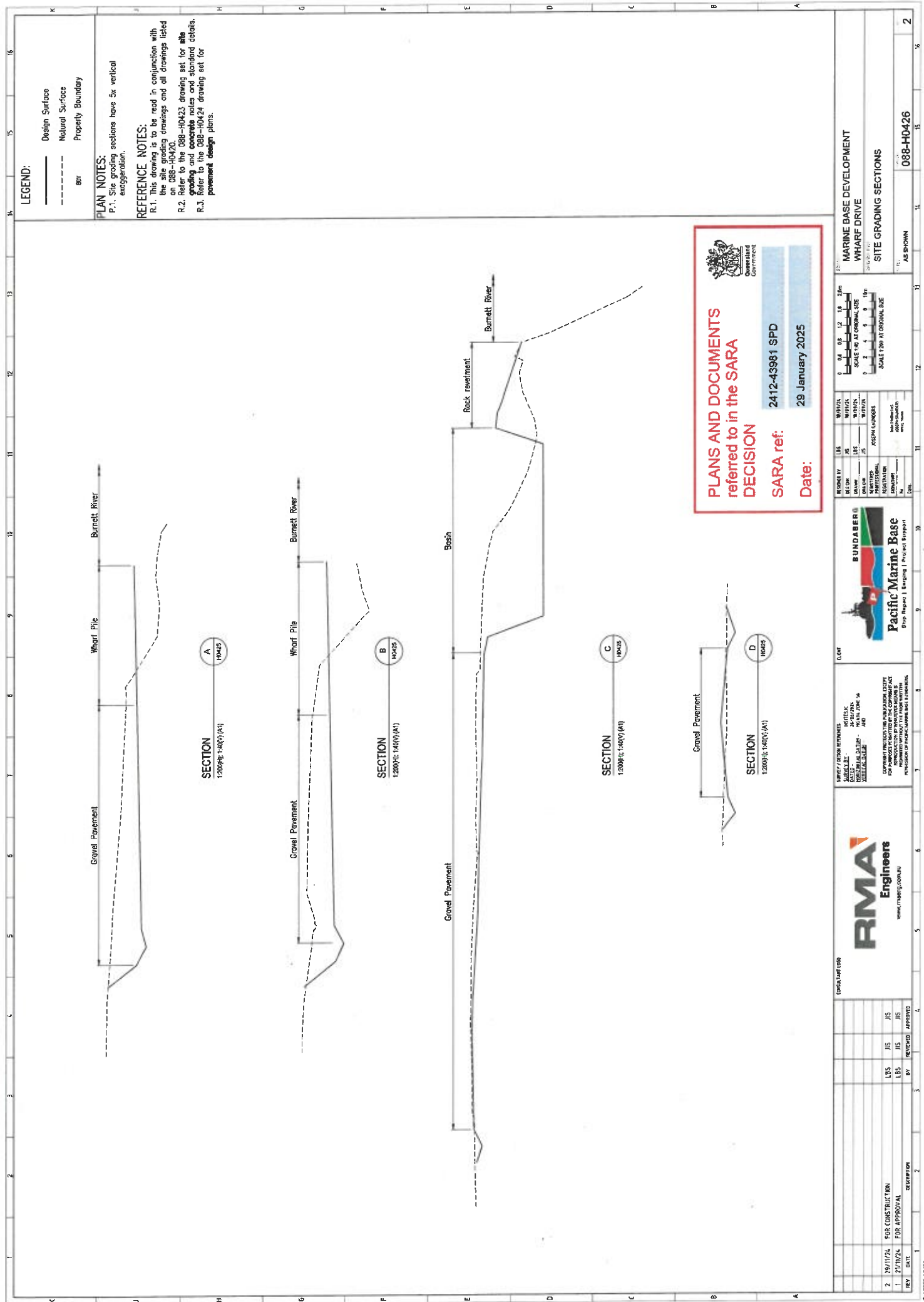


DREDGING AND RECLAMATION PLAN

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COMMITTEE LOG										 RMA Engineers Rural Municipality of Regina, Saskatchewan										SHEET										BUNDABERG  Pacific Marine Base Rural Municipality of Bundaberg, Queensland										SHEET																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
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DETENTION BASIN/BIO RETENTION NOTES

Basin Retention Control

GENERAL

- G.1. This drawing is to be read in conjunction with Project Notes on drawing 0884-H0421
G.2. In some instances a note may not apply and therefore can be ignored. It is the Contractor's responsibility to confirm whether a note applies or not with the Superintendent.

DRAINAGE

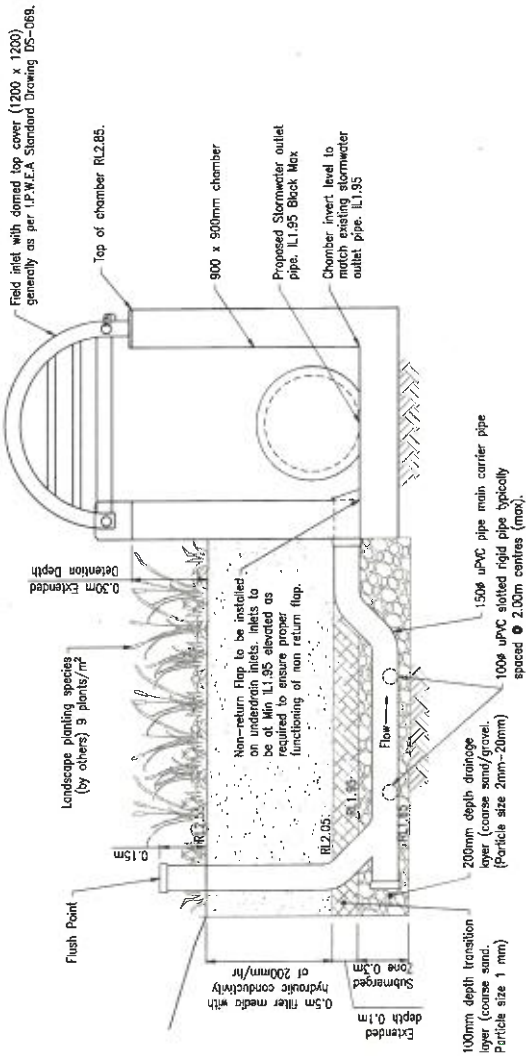
- D.1. Refer to the stormwater drainage drawings for details.

BIO RETENTION

- B.1. Any minimum liner nominated must extend a minimum of 500mm beyond the top of the bio-retention system side walls.
B.2. Any areas within the bio-retention system are to be DN100 PVC-U slotted rigid pipe. Slots in the pipe must not be greater than the drainage layer aggregate nominated.
B.3. Ensure under drains are laid flat and as per the specified layout detailed in these drawings.
B.4. Seal junctions and connections using sufficient sealant to prevent sand, gravel or soil passing into the drainage network.
B.5. Submerged zone media shall meet the following requirements. Media filter shall be a washed coarse sand with an added carbon source. The media up area is typically:
B.5.a. 150g per dry weight or similar
B.5.b. 150g per dry weight or similar
B.5.c. 150g per dry weight or similar
B.5.d. 150g per dry weight or similar
B.5.e. 150g per dry weight or similar
B.5.f. 150g per dry weight or similar
B.5.g. 150g per dry weight or similar
B.5.h. 150g per dry weight or similar
B.5.i. 150g per dry weight or similar
B.5.j. 150g per dry weight or similar
B.5.k. 150g per dry weight or similar
B.5.l. 150g per dry weight or similar
B.5.m. 150g per dry weight or similar
B.5.n. 150g per dry weight or similar
B.5.o. 150g per dry weight or similar
B.5.p. 150g per dry weight or similar
B.5.q. 150g per dry weight or similar
B.5.r. 150g per dry weight or similar
B.5.s. 150g per dry weight or similar
B.5.t. 150g per dry weight or similar
B.5.u. 150g per dry weight or similar
B.5.v. 150g per dry weight or similar
B.5.w. 150g per dry weight or similar
B.5.x. 150g per dry weight or similar
B.5.y. 150g per dry weight or similar
B.5.z. 150g per dry weight or similar
B.6. Prior material shall be lightly compacted using a drum roller or vibrating plate, in no more than 400mm layers. Ensure that only 1 compaction pass per layer is made.
P.1. Establish and maintenance of the planting shall be in accordance with Water by Design.
P.2. Consultation and Establishment Guidelines 4.5
P.3. Sensitive Urban Design (SUD) Technical Design Guidelines for South East Queensland and in consultation with local plant suppliers.
P.4. There must be a minimum of 4 different plant species and types selected. Plants shall be grouped and distributed evenly across the surface of the filter zone. Minimum plant density shall be 9 plants per square metre.
P.5. Before clearing out, completely fill the submerged zone with water slowly through clean out points.
P.6. Water new plantings regularly until fully established.

VERIFICATION

- V.1. Site visits by Certifying Engineer (minimum mandatory requirements)
V.1.a. Inlet structure foundations
V.1.b. Outlet structure foundations
V.1.c. concrete reinforcement prior to concrete placement
V.1.d. Base of bio-retention (following trimming)
V.1.e. Under drains
V.1.f. Submerged zone
V.1.g. Filter media surface
V.1.h. Bio-retention basins



Date:

29 January 2025

	Existing Property Boundary
	Existing Easement Boundary
	Existing Lease Boundary
	Existing Stormwater
	Existing Sewer Main
	Existing Sewer Rising Main
	Existing Water Main
	Existing Electrical
	Existing Rock Wall
	Existing Road Gravel Pavement
	Existing Road Pavement
	Existing Concrete Pavement
	Proposed Stormwater
	Basin Control Line
	Sewer Point
	Proposed Rock
	Turf
	Indicative Filter Media Area
	Basin Top of Embankment
	Proposed Concrete Pavement
	Proposed Road Gravel Pavement
	Design Minor Contours
	Design Major Contours

- P.1. Plans to be plotted in colour.
- P.2. Intervals between contours - 0.05m.
Contours are design surface levels.
- P.3. Basin extents to be confirmed onsite by Superintendent. Minimum areas shown to be developed for basin.

- R.1. This drawing is to be read in conjunction with the basin drawings, stormwater drainage drawings and oil drawings listed on 088-H0420.
- R.2. Refer to the 088-H0430 drawing set for standard notes and details.
- R.3. Refer to the 088-H0432 drawing set for basin sections.
- R.4. Refer to the 088-H0429 drawing set for culvert layout plan.
- R.5. Refer to RMA stormwater management plan for detailed detention basin information.

PI	CHANNEL	EASTING	NORTHING	HEIGHT
1	1000	431114.007	7260805.206	3.750
2	574.037	431769.181	7260886.260	3.750
3	553.161	437713.841	7260874.577	3.860
4	748.29	437698.132	7260954.379	3.950




RMA
Engineers
www.rmaeng.com.au

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COMPANY AND ITS DESIGN SERVICES ARE NOT
 RESPONSIBLE FOR THE DESIGN OF THE
 STRUCTURE. THE DESIGN OF THE STRUCTURE
 IS THE RESPONSIBILITY OF THE CLIENT. THE
 CLIENT IS ADVISED THAT THE RMA ENGINEERS
 HAS NOT BEEN ADVISED OF ANY
 REVISIONS TO THE DESIGN OF THE STRUCTURE
 SINCE THE DESIGN WAS COMPLETED.



088-H0431	AS SHOWN
BASIN LAYOUT PLAN	
MARINE BASE DEVELOPMENT WHARF DRIVE	



LEGEND:

- | | |
|-------|------------------------------------|
| — | Design Surface |
| - - - | Natural Surface |
| — | Q_{100} water level (weir level) |
| CL | Basin control line centreline |
| BDY | Property Boundary |

PLAN NOTES:

P.1. Plans to be plotted in colour.
P.2. Levels shown are finished surface levels.

REFERENCE NOTES:

- R.1. This drawing is to be read in conjunction with the basin drawings, stormwater drainage drawings and oil drawings listed on 088-H0420.
- R.2. Refer to the 088-H0430 drawing set for standard notes and details.
- R.3. Refer to the 088-H0431 drawing set for layout plan and details.
- R.4. Refer to RMA stormwater management plan for detailed detention basin information.

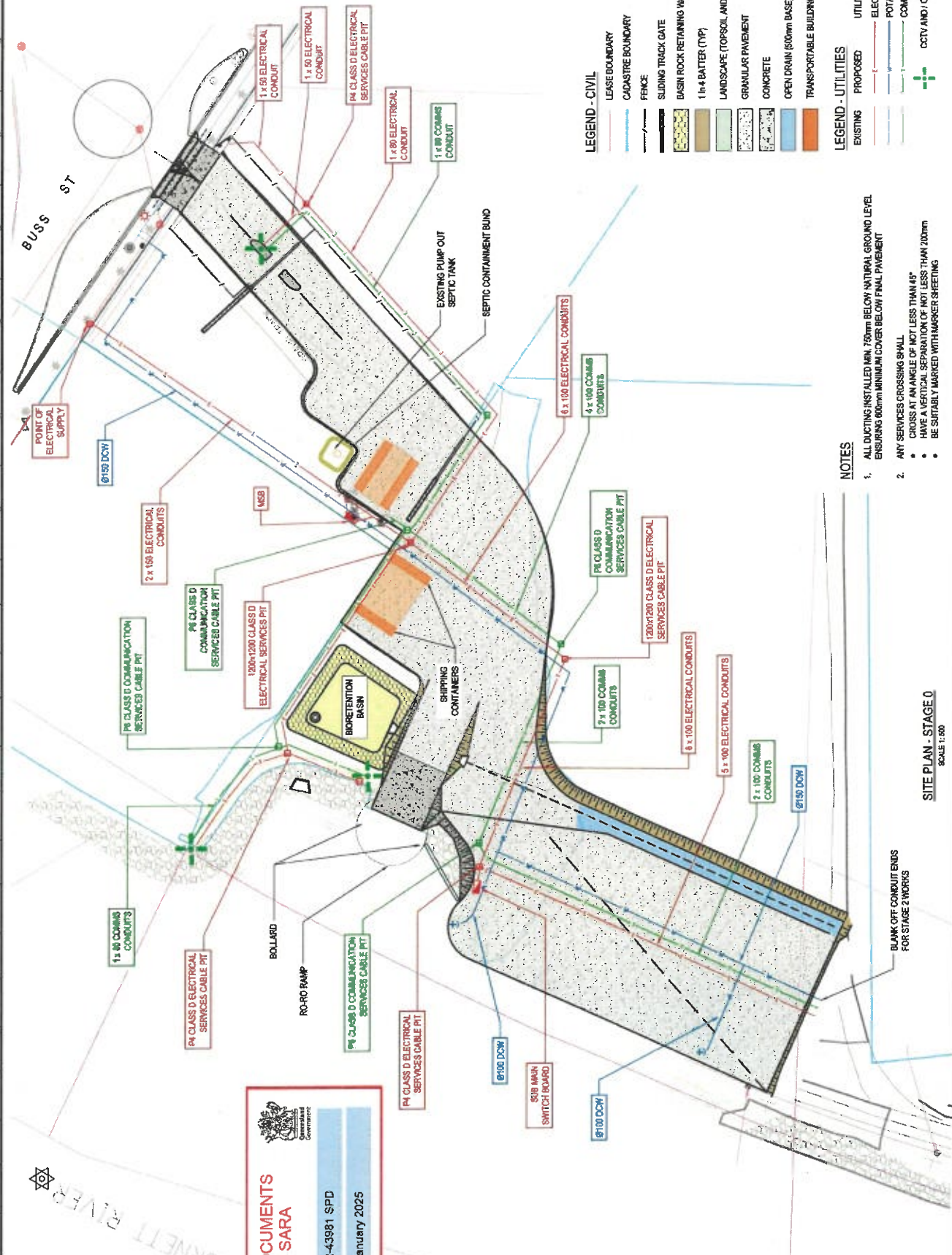
PLANS AND DOCUMENTS
referred to in the SARA
DECISION

2412-43981 SPD

29 January 2025

[illegible]

PRINT IN COLOUR



LEGEND - CIVIL

- LEASE BOUNDARY
- CADASTRE BOUNDARY
- FENCE
- SLIDING TRACK GATE
- BASIN ROCK RETAINING WALL
- 1 in 4 BATTER (TYP)
- LANDSCAPE (TOPSOIL AND TURF)
- GRANULAR PAVEMENT
- CONCRETE
- OPEN DRAIN (600mm BASE)
- TRANSPORTABLE BUILDINGS

LEGEND - UTILITIES

- EXISTING
- PROPOSED
- UTILITY
- ELECTRICAL
- POTABLE WATER
- COMMUNICATIONS
- CCTV AND/OR LIGHTING POLES

NOTES

- ALL DUCTING INSTALLED MIN. 750mm BELOW NATURAL GROUND LEVEL ENSURING 600mm MINIMUM COVER BELOW FINAL PAVEMENT
- ANY SERVICES CROSSING SHALL:
 - CROSS AT AN ANGLE OF NOT LESS THAN 45°
 - HAVE A VERTICAL SEPARATION OF NOT LESS THAN 200mm
 - BE SUITABLY MARKED WITH MARKER SHEETING

SITE PLAN - STAGE 0
SCALE 1:500

BLANK OFF CONDUIT ENDS
FOR STAGE 2 WORKS



PLANS AND DOCUMENTS
referred to in the SARA
DECISION

SARA ref: 2412-43981 SPD
Date: 29 January 2025

LONJAC
CIVIL • MARINE • MANAGEMENT

17 RICA ERM WADE
Bundaberg, QLD 4670
PH: 08 130 100 000
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SURVEY / DESIGN SERVICES
SPECIALIST - SURVEYING
SPECIALIST - MARINE
SPECIALIST - CIVIL
SPECIALIST - ELECTRICAL
SPECIALIST - MECHANICAL
SPECIALIST - PLUMBING
SPECIALIST - ROADS
SPECIALIST - STRUCTURAL
SPECIALIST - TENDERS
SPECIALIST - TRAFFIC
SPECIALIST - UTILITIES
SPECIALIST - WATERWAYS
SPECIALIST - WASTE
SPECIALIST - WEATHER
SPECIALIST - WIND
SPECIALIST - WOODWORK
SPECIALIST - ZONING



PACIFIC MARINE BASE BUNDABERG
MARINE INDUSTRY SITE
INTERIM OPERATIONS
STAGE 0 MASTER SERVICES SITE PLAN

PROJECT	PACIFIC MARINE BASE BUNDABERG
CLIENT	MARINE INDUSTRY SITE
INTERIM OPERATIONS	STAGE 0 MASTER SERVICES SITE PLAN
DATE	29 JAN 2025
BY	AB BROWN
REV	0888 - C0951

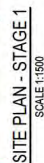
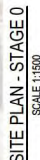
Attachment 2 Approved Plans and Specifications

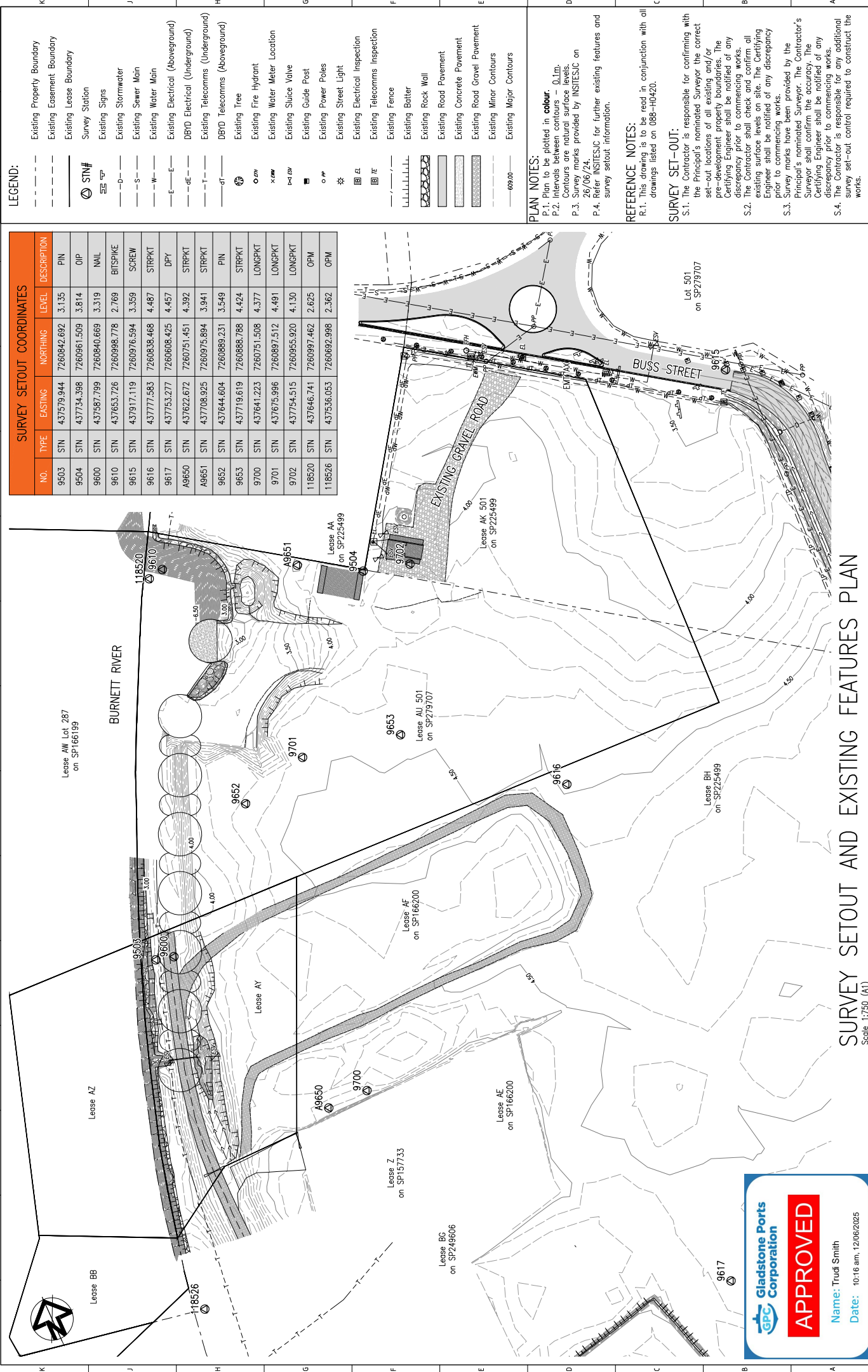
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- INCLINING BASED WORKS OTHER THAN THAT SHOWN AS PART OF STAGE 0

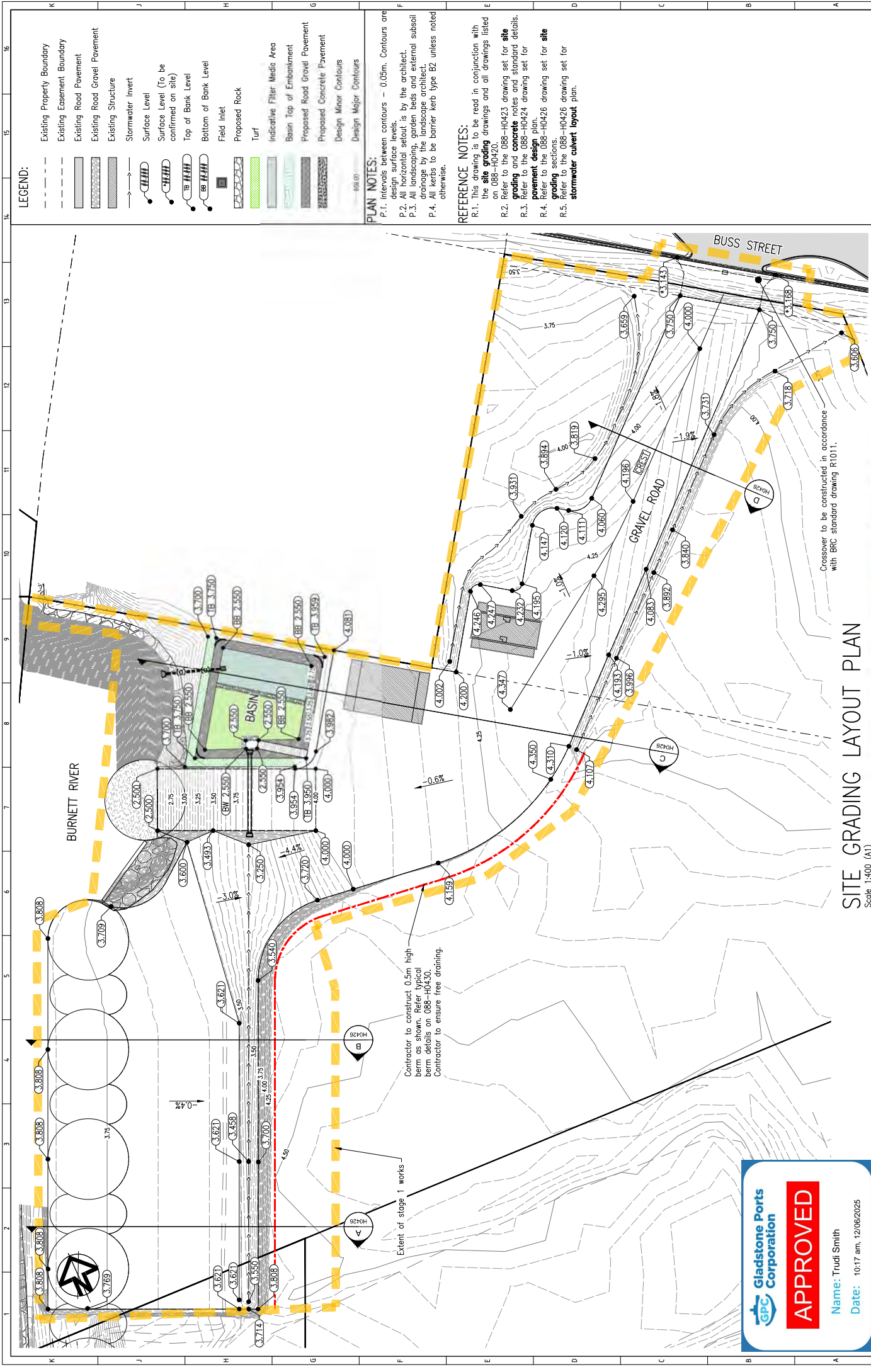
- FIRE WATER; ADMINISTRATION BUILDING

ROCK PROTECTION

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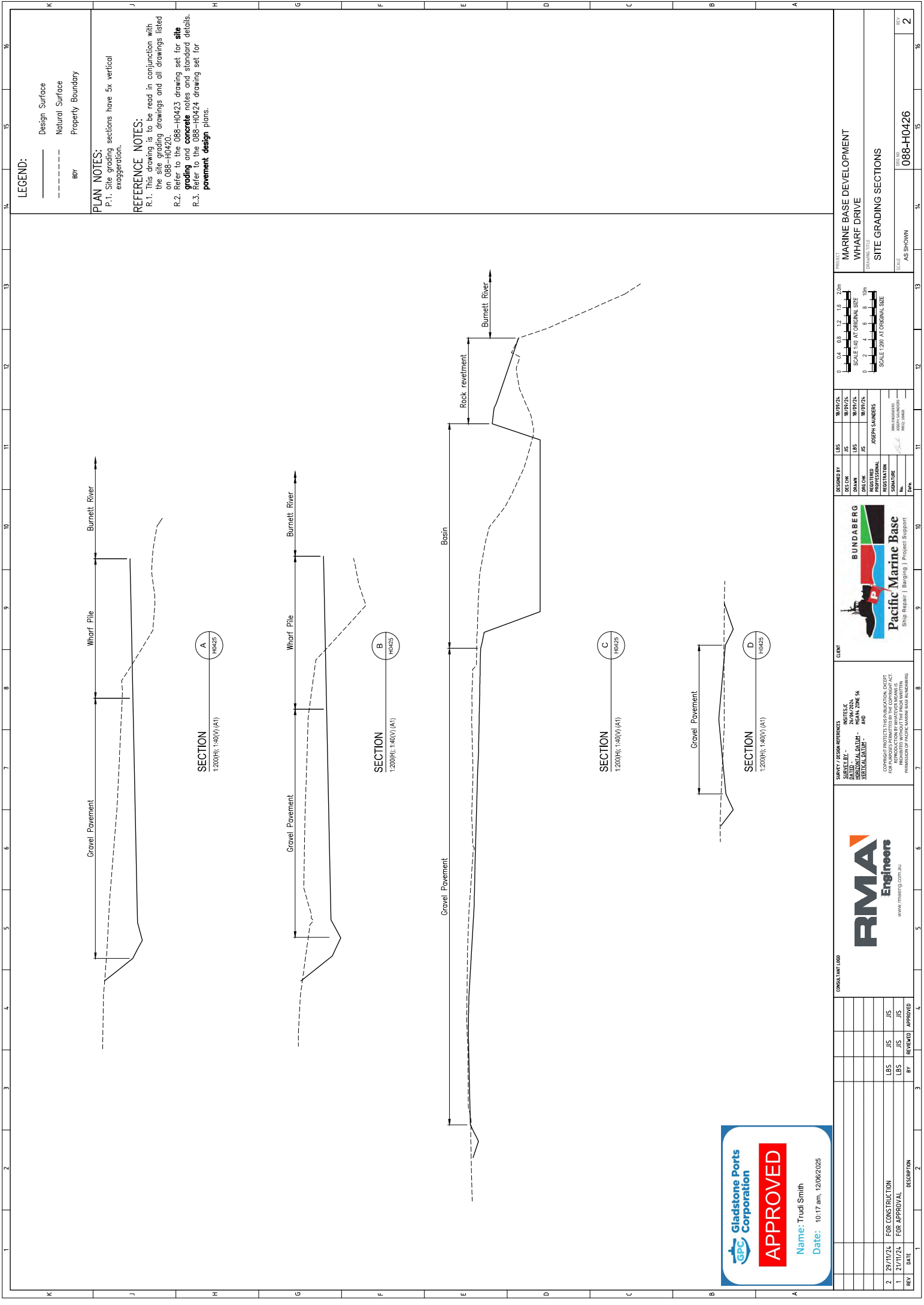


CONSULTANT LOGO				SURVEY / FROM REFERENCE SURVEY/EX - HORIZONTAL DATUM - MEAN, ZONE 56 VERTICAL DATUM - AND		CLIENT				PROJECT SCALE 1:50 AT ORIGINAL SIZE		DRAWING TITLE SURVEY SETOUT AND EXISTING FEATURES PLAN	
REV	DATE	DESCRIPTION	BY	REVIEWED	APPROVED					DRAUGHTSMAN DATE		SHEET NO. OF	
2	29/11/24	FOR CONSTRUCTION	LBS	JIS	JIS					DRAUGHTSMAN DATE		SHEET NO. OF	
1	21/11/24	FOR APPROVAL	LBS	JIS	JIS					DRAUGHTSMAN DATE		SHEET NO. OF	



The image shows the Gladstone Ports Corporation logo, which consists of a stylized 'GPC' inside a blue circle. To the right of the logo, the text 'Gladstone Ports Corporation' is written in blue. Below the logo and text is a large red rectangular stamp with the word 'APPROVED' in white capital letters. To the right of the stamp, the text 'Name: Trudi Smith' and 'Date: 10:17 am, 12/06/2025' is printed in blue.

[illegible]



LEGEND:

- Design Surface
- Natural Surface
- Property Boundary

PLAN NOTES:

- P.1. Site grading sections have 5x vertical exaggeration.
- REFERENCE NOTES:
 - R.1. This drawing is to be read in conjunction with the site grading drawings and all drawings listed on 088-H0420.
 - R.2. Refer to the 088-H0423 drawing set for **site grading** and standard details.
 - R.3. Refer to the 088-H0424 drawing set for **pavement design** plans.

SECTION A
1:200(H); 140(V) (A1)

SECTION B
1:200(H); 140(V) (A1)

SECTION C
1:200(H); 140(V) (A1)

SECTION D
1:200(H); 140(V) (A1)



APPROVED

Name: Trudi Smith
Date: 10:17 am, 12/06/2025

SURVEY / DESIGN REFERENCES				CLIENT				DESIGNED BY				PROJECT			
PROJECT REF - 088-H0420				BUNDABERG				DES OK				MARINE BASE DEVELOPMENT			
NOTES: 1. DESIGN REFERENCE - 088-H0420				Pacific Marine Base				DRAWN				WHARF DRIVE			
COPYRIGHT PROTECTS THIS PUBLICATION. EXCEPT FOR REPRODUCTION BY WHATEVER MEANS IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF PACIFIC MARINE BASE BUNDABERG				Ship Repair Bargeing Project Support				CHECKED				SCALE 1:40 AT ORIGINAL SIZE			
								PROFESSIONAL				SCALE 1:20 AT ORIGINAL SIZE			
								SIGNATURE				AS SHOWN			
								No.				088-H0426			
								DATE				SITE GRADING SECTIONS			
												SCALE			
												REV			
												2			

DETENTION BASIN/BIO RETENTION NOTES

GENERAL

- G.1. This drawing is to be read in conjunction with Project Notes on drawing 088H-0421
G.2. In some instances a note may not apply and therefore can be ignored. It is the Contractor's responsibility to confirm whether a note applies or not with the Superintendent.

DRAINAGE

- D.1. Refer to the stormwater drainage drawings for details.

BIO RETENTION

- B.1. Any membrane liner, nominated must extend a minimum of 500mm beyond the top of the bioretention system side walls.
B.2. Any drains within the bioretention system are to be DN100 PVC-U sloped rigid pipes. Slots in the pipes must not be greater than the drainage layer aggregate nominated.
B.3. Ensure under drains are laid flat and as per the specified layout detailed in these drawings.
B.4. Seal joints and connections using sufficient sealant to prevent sand, gravel or soil passing into the drainage network.
B.5. Submerged zone media shall meet the following requirements. Media filter shall be a washed coarse sand with an added carbon source. The make up shall be typically:

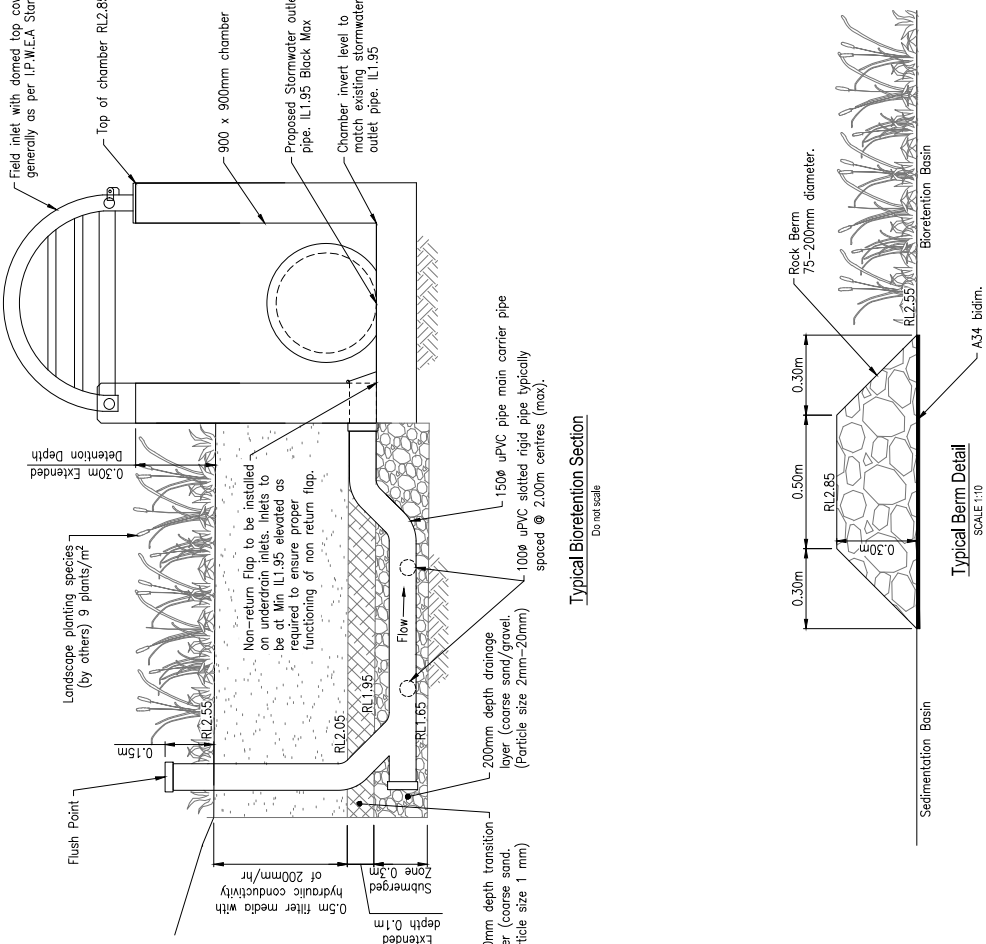
- B.5.a. 98L sand
B.5.b. 500g pea straw or similar
B.5.c. 1.5kg red gum woodchips or similar
B.5.d. 1.5kg red gum woodchips or similar
B.5.e. 1.5kg red gum woodchips or similar
B.5.f. 1.5kg red gum woodchips or similar
B.5.g. 1.5kg red gum woodchips or similar
B.5.h. 1.5kg red gum woodchips or similar
B.5.i. 1.5kg red gum woodchips or similar
B.5.j. 1.5kg red gum woodchips or similar
B.5.k. 1.5kg red gum woodchips or similar
B.5.l. 1.5kg red gum woodchips or similar
B.5.m. 1.5kg red gum woodchips or similar
B.5.n. 1.5kg red gum woodchips or similar
B.5.o. 1.5kg red gum woodchips or similar
B.5.p. 1.5kg red gum woodchips or similar
B.5.q. 1.5kg red gum woodchips or similar
B.5.r. 1.5kg red gum woodchips or similar
B.5.s. 1.5kg red gum woodchips or similar
B.5.t. 1.5kg red gum woodchips or similar
B.5.u. 1.5kg red gum woodchips or similar
B.5.v. 1.5kg red gum woodchips or similar
B.5.w. 1.5kg red gum woodchips or similar
B.5.x. 1.5kg red gum woodchips or similar
B.5.y. 1.5kg red gum woodchips or similar
B.5.z. 1.5kg red gum woodchips or similar
B.6. Filler material shall be lightly compacted using a drum lawn roller or vibrating plate, in no thicker than 400mm layers. Ensure that only 1 compaction pass per layer is made.

PLANTING

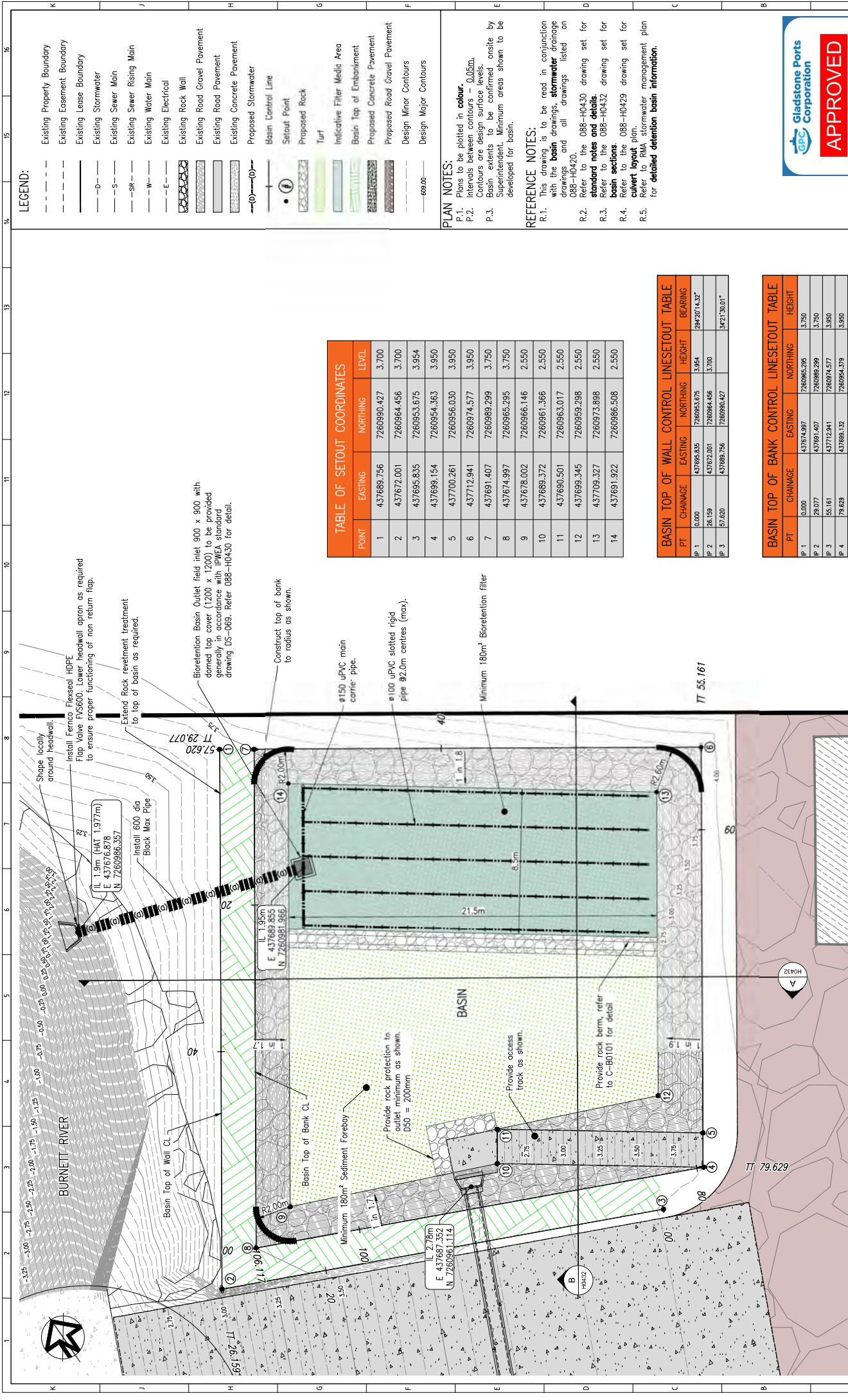
- P.1. Establish and maintenance of the planting shall be in accordance with Water by Design, Construction and Establishment Guidelines 3.6
P.2. Bioretention zone plants shall be selected from species listed in Appendix A of Water Sensitive Urban Design (WSUD) Technical Design Guidelines for South East Queensland and in consultation with local plant suppliers.
P.3. There must be a minimum of 4 different plant species and types selected. Plants shall be grouped and distributed evenly across the surface of the filter zone. Minimum plant density shall be 9 plants per square metre.
P.4. Before planting out, completely fill the submerged zone with water slowly through clean out points.
P.5. Water new planting regularly until fully established.

VERIFICATION

- V.1. Site visits by Certifying Engineer (minimum mandatory requirements)
V.1.a. Inlet structure foundations
V.1.b. Outlet structure foundations
V.1.c. concrete reinforcement prior to concrete placement
V.1.d. Base of bioretention (following trimming)
V.1.e. Under drains
V.1.f. Submerged zone
V.1.g. Filter media surface
V.1.h. Bioretention batters



CONSULTANT LOG				RMA Engineers www.rmaeng.com.au				SURVEY / DESIGN REFERENCES NOTES: DESIGN: 1.1.1 - DESIGN: 1.1.2 - DESIGN: 1.1.3 - DESIGN: 1.1.4 - DESIGN: 1.1.5 - DESIGN: 1.1.6 - DESIGN: 1.1.7 - DESIGN: 1.1.8 - DESIGN: 1.1.9 - DESIGN: 1.1.10 - DESIGN: 1.1.11 - DESIGN: 1.1.12 - DESIGN: 1.1.13 - DESIGN: 1.1.14 - DESIGN: 1.1.15 - DESIGN: 1.1.16 - DESIGN: 1.1.17 - DESIGN: 1.1.18 - DESIGN: 1.1.19 - DESIGN: 1.1.20 - DESIGN: 1.1.21 - DESIGN: 1.1.22 - DESIGN: 1.1.23 - DESIGN: 1.1.24 - DESIGN: 1.1.25 - DESIGN: 1.1.26 - DESIGN: 1.1.27 - DESIGN: 1.1.28 - DESIGN: 1.1.29 - DESIGN: 1.1.30 - DESIGN: 1.1.31 - DESIGN: 1.1.32 - DESIGN: 1.1.33 - DESIGN: 1.1.34 - DESIGN: 1.1.35 - DESIGN: 1.1.36 - DESIGN: 1.1.37 - DESIGN: 1.1.38 - DESIGN: 1.1.39 - DESIGN: 1.1.40 - DESIGN: 1.1.41 - DESIGN: 1.1.42 - DESIGN: 1.1.43 - DESIGN: 1.1.44 - DESIGN: 1.1.45 - DESIGN: 1.1.46 - DESIGN: 1.1.47 - DESIGN: 1.1.48 - DESIGN: 1.1.49 - DESIGN: 1.1.50 - DESIGN: 1.1.51 - DESIGN: 1.1.52 - DESIGN: 1.1.53 - DESIGN: 1.1.54 - DESIGN: 1.1.55 - 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[illegible][illegible][illegible]

The image shows the Gladstone Ports Corporation logo, which includes a stylized blue and white 'GPC' emblem. To the right of the logo is a large red rectangular stamp with the word 'APPROVED' in white, bold, capital letters. Below the stamp, the text 'Name: Trudi Smith' and 'Date: 10:19 am, 12/06/2025' is printed in blue.

Name: Trudi Smith
Date: 10:19 am, 12/06/2025

MARINE BASE DEVELOPMENT
WHARF DRIVE

BASIN LAYOUT PLAN

SCALE AS SHOWN	DRG NO. 088-H0431	REV 2
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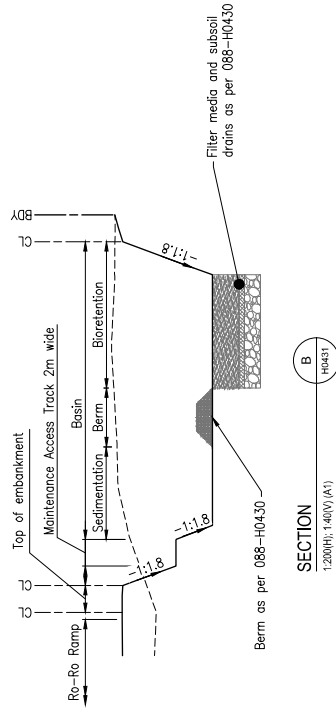
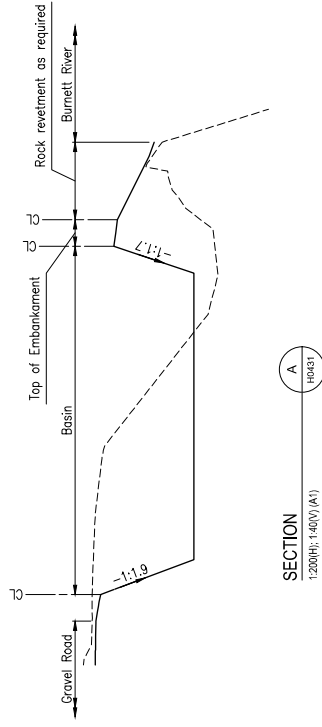
LEGEND:

PLAN NOTES:

REFERENCE NOTES:

Refer to RMA stormwater management for detailed detention basin information.

C-80101-80401



LEGEND:

- | | |
|-------|------------------------------------|
| — | Design Surface |
| - - - | Natural Surface |
| — | Q_{100} water level (weir level) |
| CL | Basin control line centreline |
| BDY | Property Boundary |

PLAN NOTES:

P.1. Plans to be plotted in colour.
P.2. Levels shown are finished surface

REFERENCE NOTES:

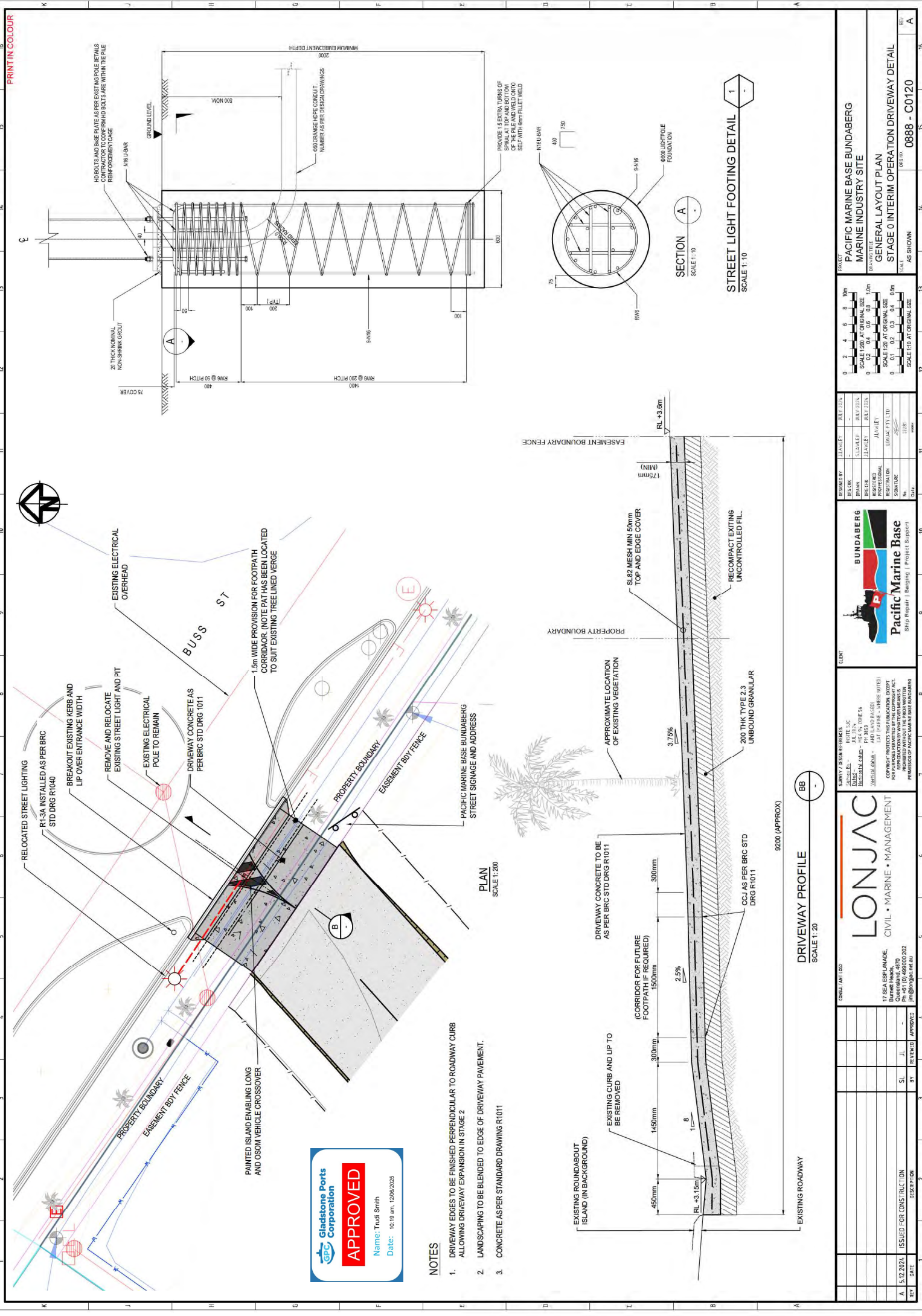
- R.1. This drawing is to be read in conjunction with the **basin** drawings, **stormwater** drainage drawings and all drawings listed on **088-H0420**.
- R.2. Refer to the **088-H0430** drawing set for **standard notes and details**.
- R.3. Refer to the **088-H0431** drawing set for **layout plan and details**.
- R.4. Refer to RNA stormwater management plan for **detailed detention basin information**.

 Gladstone Ports Corporation

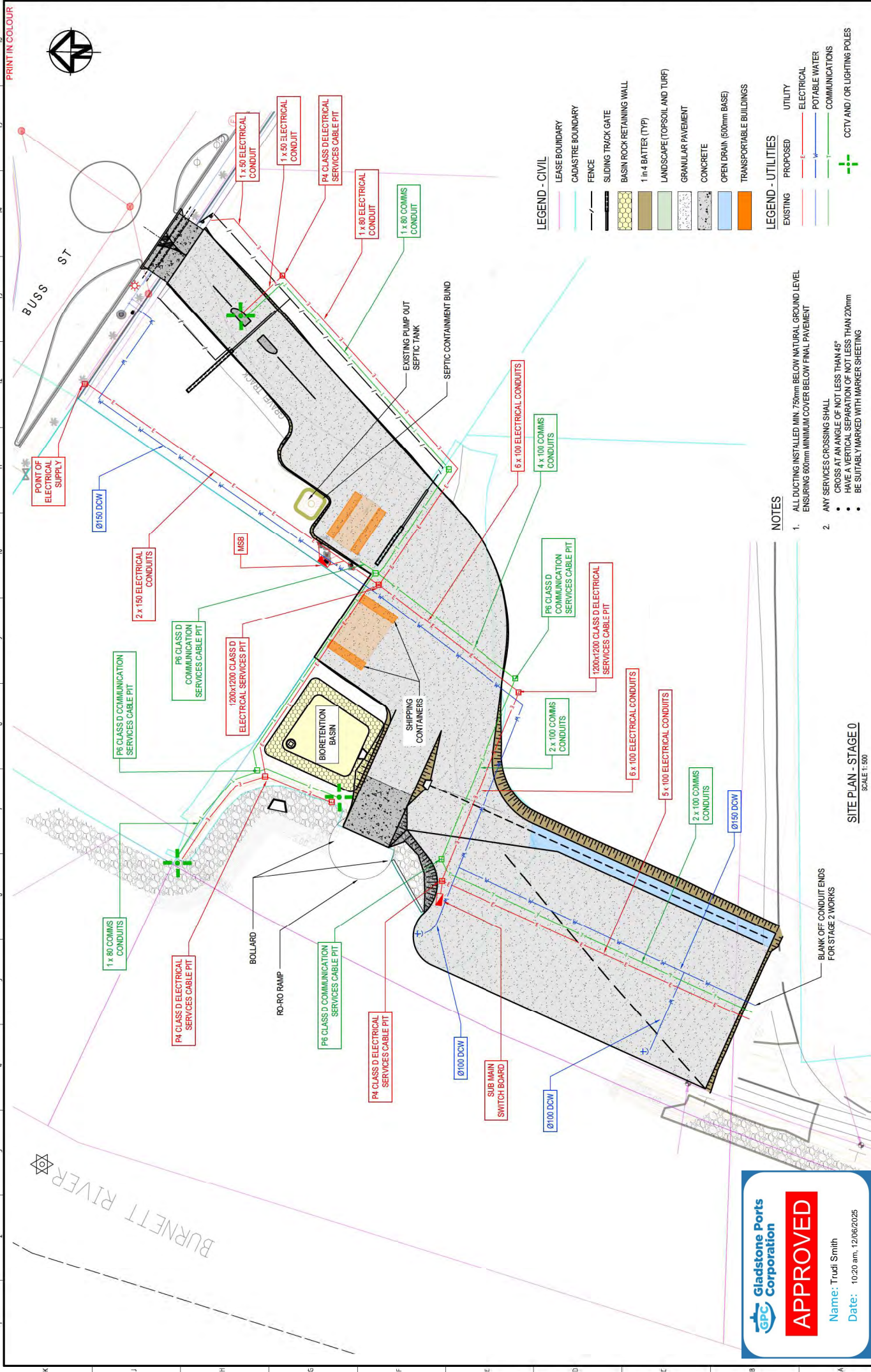
APPROVED

Name: Trudi Smith
Date: 10:19 am, 12/06/2025

[illegible]











CONSULTANT LOGO		SAFETY & DESIGN REFERENCES		CLIENT		DESIGNED BY		PROJECT	
<div>LONJAC</div> <div>CIVIL • MARINE • MANAGEMENT</div>		AS 1754		BUNDABERG		JULY 2024		PACIFIC MARINE BASE BUNDABERG	
		17 SEA ESPR-MADE, Dated from 470 Ph: +61 (0) 469900 202 Email: jon@lonjac.com.au		MARINE INDUSTRY SITE		JULY 2024		MARINE INDUSTRY SITE	
ISSUED FOR CONSTRUCTION		REVIEWED		DRAWN		CHECKED		SCALE 1:200 AT ORIGINAL SIZE	
DATE		DATE		DATE		DATE		SCALE 1:200 AT ORIGINAL SIZE	
5/2/2024		JL		JL		JL		SCALE 1:200 AT ORIGINAL SIZE	
PROJECT NO.		PROJECT NO.		PROJECT NO.		PROJECT NO.		SCALE 1:200 AT ORIGINAL SIZE	
0888 - C0120		0888 - C0120		0888 - C0120		0888 - C0120		SCALE 1:200 AT ORIGINAL SIZE	
A		A		A		A		SCALE 1:200 AT ORIGINAL SIZE	



LEASE BOUNDARY

CADASTRE BOUNDARY

- | | |
|---|----------------------------|
|  | SLIDING TRACK GATE |
|  | BASIN ROCK RETAINING WALL |
|  | 1 in 4 BATTER (TYP) |
|  | LANDSCAPE/TOPSOIL AND TURF |
|  | GRANULAR PAVEMENT |
|  | CONCRETE |
|  | OPEN DRAIN (500mm BASE) |
|  | TRANSPORTABLE BUILDINGS |

EXISTING	PROPOSED	UTILITY
		ELECTRIC

- POTABLE WATER
COMMUNICATIONS
CCTV AND / OR LIGHTING POINTS

1. ALL DUCTING INSTALLED MIN. 750mm BELOW NATURAL GROUND LEVEL ENSURING 600mm MINIMUM COVER BELOW FINAL PAVEMENT

2. ANY SERVICES CROSSING SHALL
 - CROSS AT AN ANGLE OF NOT LESS THAN 45°
 - HAVE A VERTICAL SEPARATION OF NOT LESS THAN 200mm
 - BE SUITABLY MARKED WITH MARKER SHEETING

SITE PLAN - STAGE 0

SCALE 1:500

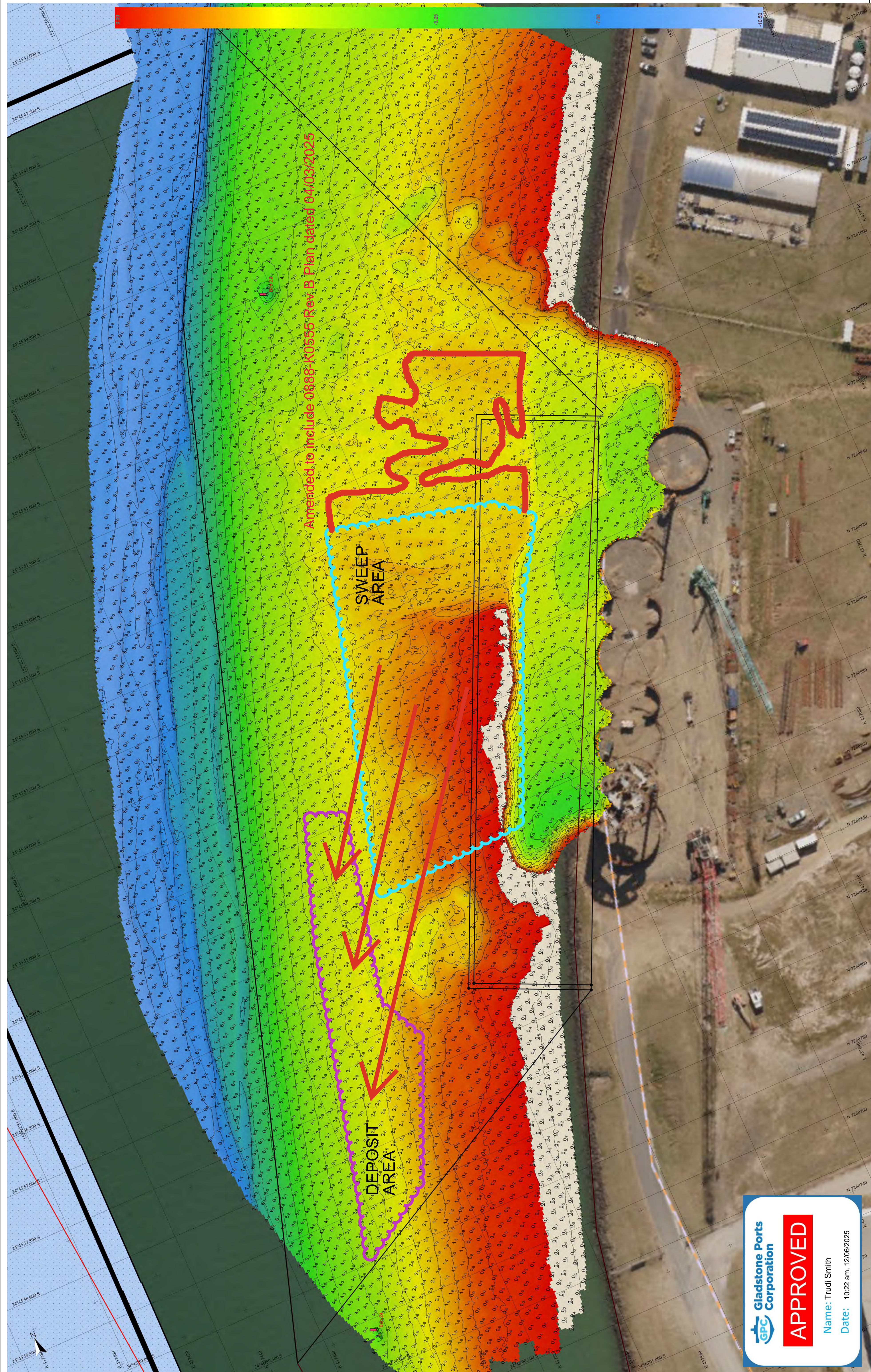
 **Gladstone Ports Corporation**

APPROVED

Name: Trudi Smith
Date: 10:20 am, 12/06/2025

[illegible]

[illegible]






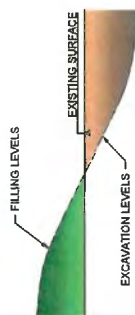
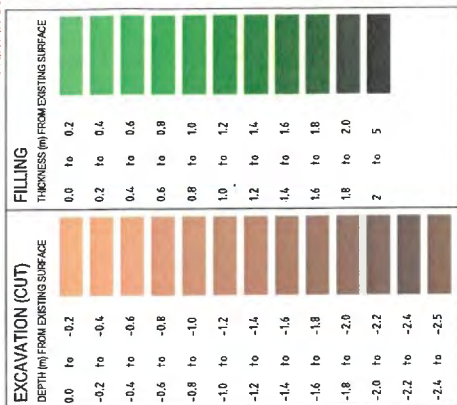
Amended to include 0888X0555-8, B Plan dated 04/03/2025



APPROVED

Name: Trudi Smith
Date: 10:22 am, 12/06/2025

 <div>Drawing Date: 22 July 2024 Original Size: A1</div>	<div>Scale: 1:500</div>
<div><div><div>PACIFIC MARINE BASE BUNDABERG Progress Bathymetric Survey 22 July 2024</div></div><div>Horizontal Tolerance: 0.5m Vertical Tolerance: 0.5m Scale of Survey: 1:500</div></div>	
<div><div><div><div>Survey Equipment</div><div>Survey Vessel: ECHO 2640CC Motion Sensor: POS MV WaveMaster Horizontal positioning: POS MV with RTK Corrections Navigation and Data Collection: QINSY Ver 8.18.3 Plan Production: QINSY Ver 8.18.3</div></div><div><div>Horizontal Datum</div><div>Datum: GDA94 Ellipsoid: GR830 Semi-Major Axis (a): 6,378,137m Inverse Flattening: 298.257222101 Projection: MGA84 Zone 56 Central Meridian: 153° East Scale Factor: 0.9996 False Easting: 500,000m False Northing: 10,000,000m</div></div><div><div>Vertical Datum</div><div>LAT via Smartnet RTK Adopted H value 46.05m and checked on to Geoscience Australia tide gauge Bench mark Tag: 4.64m LAT at Burnett Heads</div></div></div></div>	
<div><div><div>PACIFIC MARINE BASE BUNDABERG Progress Bathymetric Survey 22 July 2024</div></div><div>Horizontal Tolerance: 0.5m Vertical Tolerance: 0.5m Scale of Survey: 1:500</div></div>	



EXCAVATION THICKNESS DETAIL


VOLUME MOVEMENT TABLES (EXCAVATION)

DEPTH (m) FROM EXITING	FROM	TO	CUT	FILL	VOLUME (m ³)
-0.20	-0.20	0.00	-9695.352	0.000	0.000
-0.40	-0.40	-0.200	-2854.334	0.000	0.000
-0.60	-0.60	-0.400	-2102.409	0.000	0.000
-0.80	-0.80	-0.600	-1693.169	0.000	0.000
-1.00	-1.00	-0.800	-1538.629	0.000	0.000
-1.20	-1.20	-1.000	-1382.574	0.000	0.000
-1.40	-1.40	-1.200	-1033.094	0.000	0.000
-1.60	-1.60	-1.400	-433.077	0.000	0.000
-1.80	-1.80	-1.600	-35.412	0.000	0.000
-2.00	-2.00	-1.800	0.000	0.000	0.000
-2.20	-2.20	-2.000	0.000	0.000	0.000
-2.40	-2.40	-2.200	0.000	0.000	0.000
-2.50	-2.50	-2.400	0.000	0.000	3084.100
-2.60	-2.60	-2.500	0.000	0.000	2153.892
-2.80	-2.80	-2.600	0.000	0.000	1434.599
-3.00	-3.00	-2.800	0.000	0.000	806.233
-3.20	-3.20	-3.000	0.000	0.000	395.755
-3.40	-3.40	-3.200	0.000	0.000	190.366
-3.60	-3.60	-3.400	0.000	0.000	60.671
-3.80	-3.80	-3.600	0.000	0.000	24.552
-4.00	-4.00	-3.800	0.000	0.000	9.023
-4.20	-4.20	-4.000	0.000	0.000	1.615
-4.40	-4.40	-4.200	0.000	0.000	0.037

Total cut	-14768.149
Total fill	8140.916
Total balance	-6627.233
ie excess of cut over fill	6627.233

- NOTES**
1. FOR GENERAL NOTES REFER TO DRAWING 0033-C0001.
 2. WHERE SHOWN, SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE.
 3. ALL VOLUMES IN SITU CUBIC METRES

PLAN
CAB F 1750

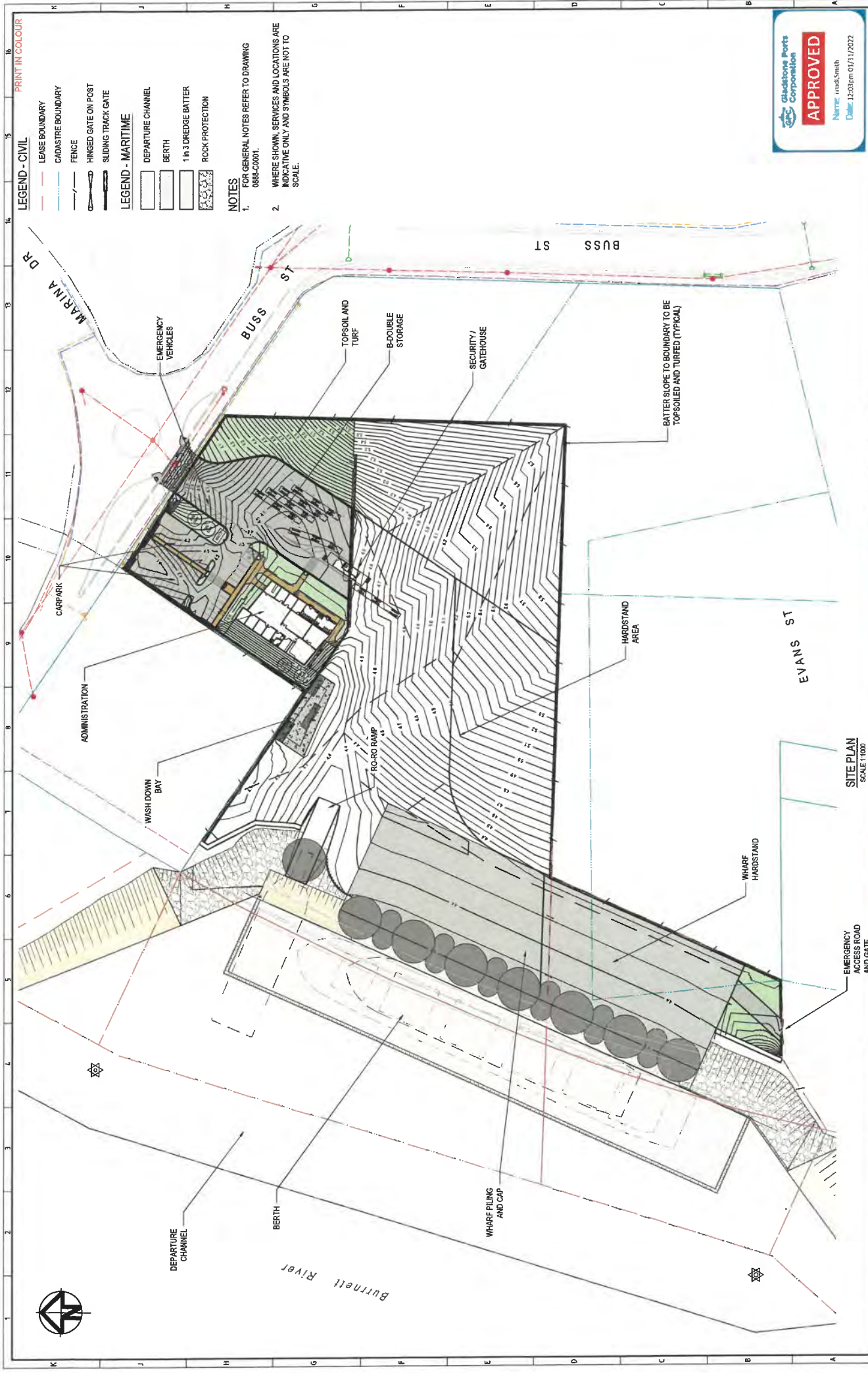
 Gladstone Ports Corporation

APPROVED

Name: Trudi Smith

Date: 12:03pm 01/11/2022

REV	A	25.22	ISSUED FOR DEVELOPMENT APPROVAL	DATE	3	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466	467	468	469	470	471	472	473	474	475	476	477	478	479	480	481	482	483	484	485	486	487	488	489	490	491	492	493	494	495	496	497	498	499	500	501	502	503	504	505	506	507	508	509	510	511	512	513	514	515	516	517	518	519</
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LEGEND - CIVIL

- LEASE BOUNDARY
- CADASTRE BOUNDARY
- FENCE
- HINGED GATE ON POST
- SLIDING TRACK GATE

LEGEND - MARITIME

- DEPARTURE CHANNEL
- BERTH
- 1 in 3 DREDGE BATTER
- ROCK PROTECTION

NOTES

- FOR GENERAL NOTES REFER TO DRAWING 0888-C0001.
- WHERE SHOWN, SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE.



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LEGEND - CIVIL

- LEASE BOUNDARY
- CADASTRE BOUNDARY
- FENCE
- HINGED GATE ON POST
- SLIDING TRACK GATE
- KERB AND CHANNEL TYPE B1 (BUNDABERG STD DRG R1020)
- BARRIER KERB TYPE B2 (BUNDABERG STD DRG R1020)
- INVERT TYPE (DRH CROSSING) (BUNDABERG STD DRG R1020, 300mm LIP)
- KERB (RAMP) PEDESTRIAN CROSSING (BUNDABERG STD DRG R400)

NOTES

- FOR GENERAL NOTES REFER TO DRAWING 0888-C0001.
- WHERE SHOWN SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE. REFER ALSO TO PLAN 0888-C0050.

UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS		UNCLAS	
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APPROVED

Glestone Ports Corporation

Name: Trudi Smith

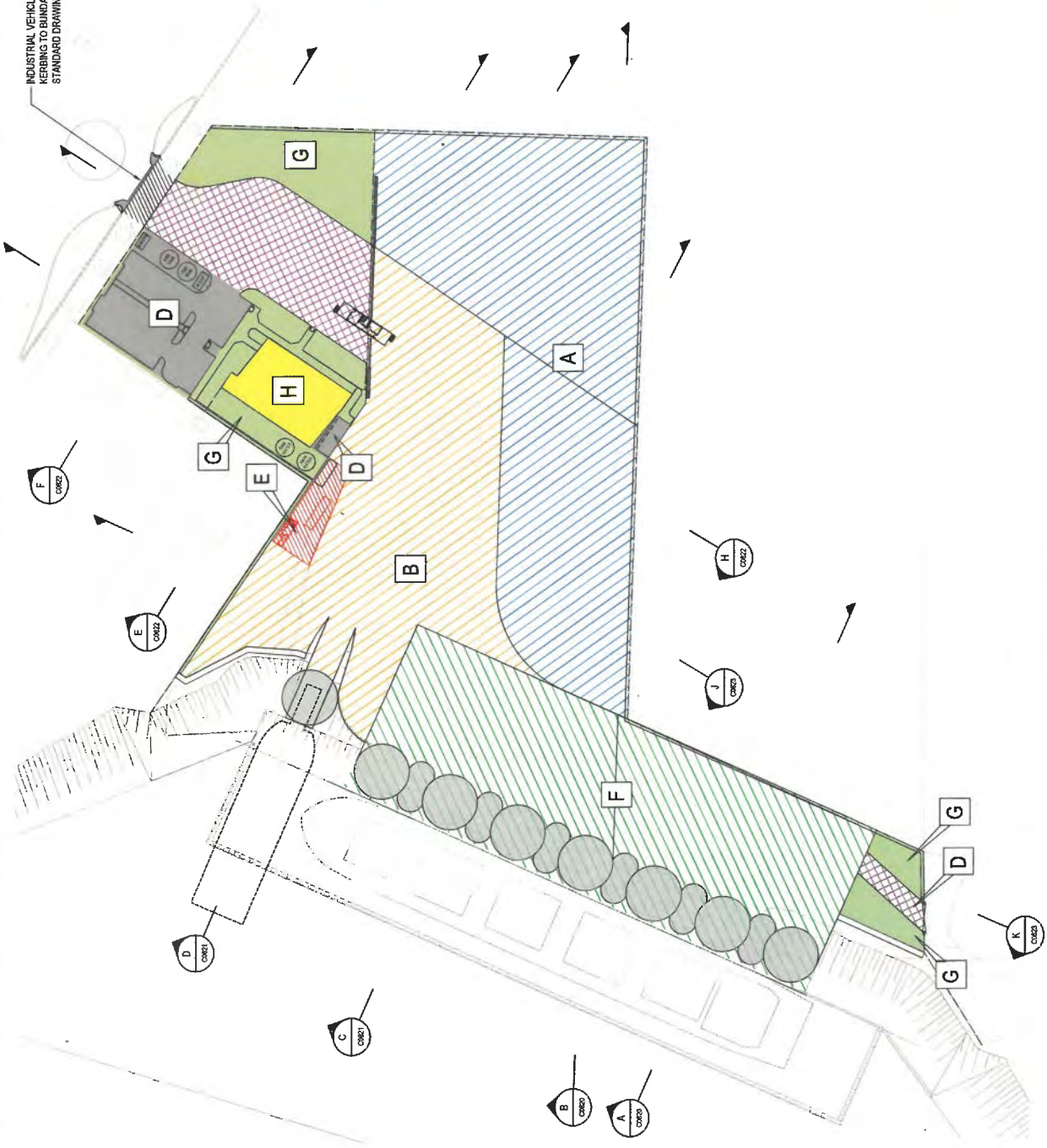
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INDUSTRIAL VEHICLE CROSSING AND KERBING TO BUNDEBERG REGIONAL COUNCIL STANDARD DRAWINGS R1011 AND R1020

LEGEND:

TYPE	PAVEMENT MATERIAL	TRAFFIC DESIGN ESRs	ASSUMED CBR (%)
A HARBOUR AND	100mm SURFACING LAYER - AC24H (A1SE) 75mm BASE COURSE - AC24H (B60) 200mm UPPER SUB BASE TYPE 2.1	CRANE OPERATIONS	5
B TRANSPORT AREA	300mm LOWER SUB BASE TO 70% CBR FILL SUBGRADE IMPROVEMENT 800mm RECOMPACTED UNCONTROLLED FILL WITH SYNTHETIC FABRIC REINFORCEMENT	50,000 BOULDERES AND CRANE OPERATIONS	5
C ACCESS ROAD	50mm SURFACING LAYER - AC24H (A1SE) 75mm BASE COURSE - AC24H (B60) 100mm UPPER SUB BASE TYPE 2.1	10,000 BOULDERES ONLY	5
D PASSENGER CARRIAGES	400mm LOWER SUB BASE TO 70% CBR FILL SUBGRADE IMPROVEMENT 800mm RECOMPACTED UNCONTROLLED FILL WITH SYNTHETIC FABRIC REINFORCEMENT	10,000	5
E VESSEL WASH BAY (HIGH FREQUENCY)	50mm SURFACING LAYER - AC24H (A1SE) 75mm BASE COURSE - AC24H (B60) 150mm UPPER SUB BASE TYPE 2.1 UNBOUND GRANULAR	400 CONTAINER 1000 CYEAR	5
F WHARF	SUBGRADE IMPROVEMENT 800mm RECOMPACTED UNCONTROLLED FILL WITH SYNTHETIC FABRIC REINFORCEMENT	NA	NA
G (GREEN AREAS)	30mm SURFACING LAYER - AC24H (A1SE) 21 UNBOUND GRANULAR	NA	NA
H (BUILDING)	150mm UPPER SUB BASE COURSE SUBGRADE IMPROVEMENT 500mm RECOMPACT EXISTING UNCONTROLLED FILL	NA	NA

LEVEL ADOPTED FOR FINISHED CUT / FILL EARTHWORKS ON SHEET C0600



PLAN
SCALE 1:500

PROJECT: PACIFIC MARINE BASE BUNDEBERG
MARINE INDUSTRY SITE
PAVEMENT PLAN

SCALE: AS SHOWN

0888 - C0600

DATE: 25.6.22

ISSUED FOR DEVELOPMENT APPROVAL

BY: J.L.

REVIEWED: APPROVED

CLIENT: BUNDEBERG Pacific Marine Base

DESIGNED BY: J.L.

CHECKED BY: J.L.

APPROVED BY: J.L.

SAFETY / DESIGN REFERENCES

AS 1742.1 - 2015

AS 1742.2 - 2015

AS 1742.3 - 2015

AS 1742.4 - 2015

AS 1742.5 - 2015

AS 1742.6 - 2015

AS 1742.7 - 2015

AS 1742.8 - 2015

AS 1742.9 - 2015

AS 1742.10 - 2015

AS 1742.11 - 2015

AS 1742.12 - 2015

AS 1742.13 - 2015

AS 1742.14 - 2015

AS 1742.15 - 2015

AS 1742.16 - 2015

AS 1742.17 - 2015

AS 1742.18 - 2015

AS 1742.19 - 2015

AS 1742.20 - 2015

AS 1742.21 - 2015

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AS 1742.94 - 2015

AS 1742.95 - 2015

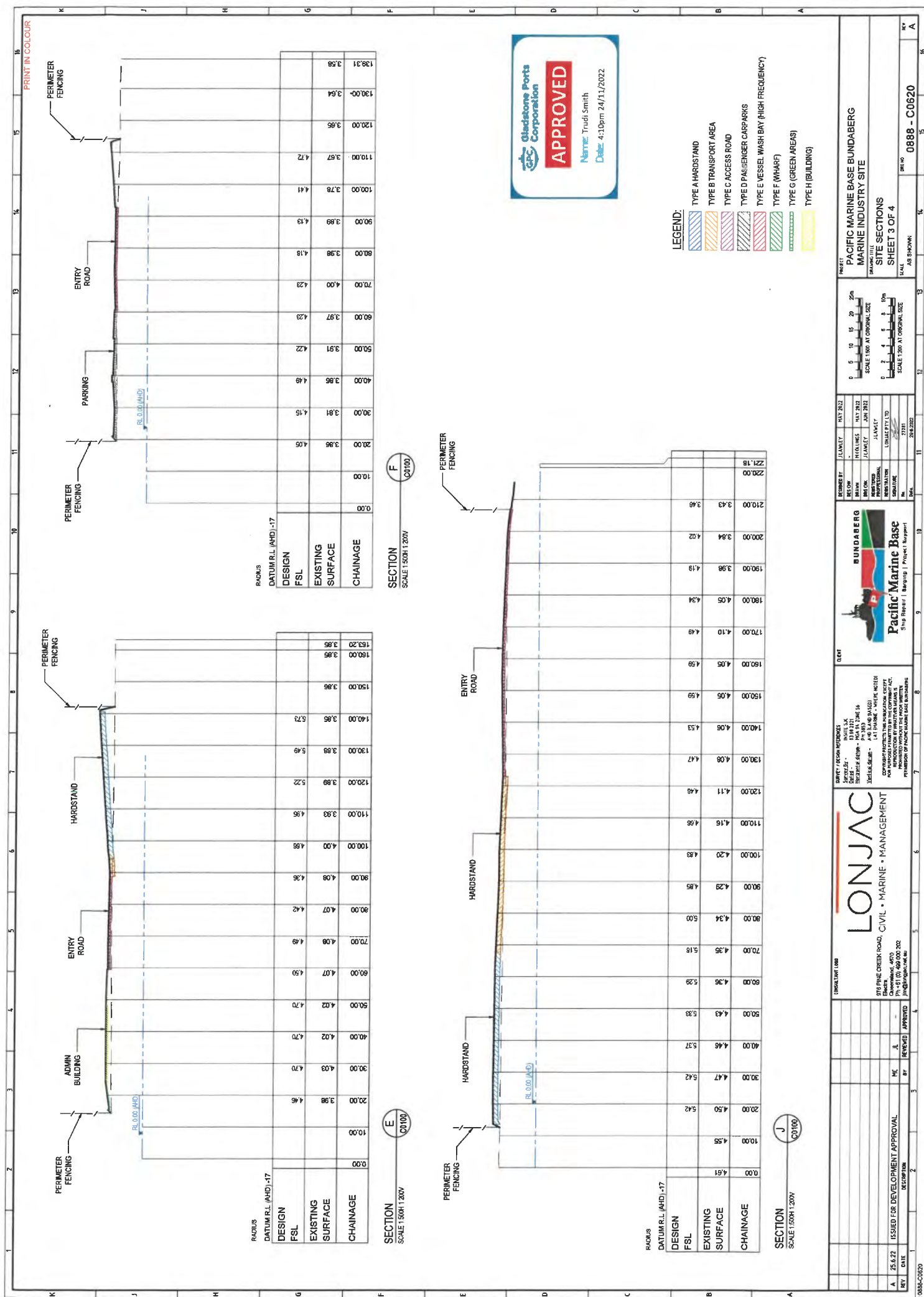
AS 1742.96 - 2015

AS 1742.97 - 2015

AS 1742.98 - 2015

AS 1742.99 - 2015

AS 1742.100 - 2015





PRINT IN COLOUR

PERIMETER FENCING

WHARF HARDSTAND

RL 0.00 (MHD)

RADIUS DATUM R.L. (MHD) -17

CHAINAGE	DATUM E.L. (AOD) -17'																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																													
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SECTION SCALE 1:500 H 1:200 V

PERIMETER FENCING

PARKING

ADMIN BUILDINGS

PARKING

HARDSTAND

HARDSTAND

RL 0.00 (MHD)

RADIUS DATUM R.L. (MHD) -17

DESIGN FSL	240.00	230.00	220.00	210.00	200.00	190.00	180.00	170.00	160.00	150.00	140.00	130.00	120.00	110.00	100.00	90.00	80.00	70.00	60.00	50.00	40.00	30.00	20.00	10.00	0.00
EXISTING SURFACE	3.18	3.62	3.75	3.84	3.90	3.98	3.92	3.86	3.98	4.08	4.25	4.31	4.36	4.40	4.41	4.41	4.42	4.45	4.49	4.54	4.59	4.59	4.57		
CHAINAGE																									

SECTION SCALE 1:500 H 1:200 V

LEGEND:

- TYPE A HARDSTAND
- TYPE B TRANSPORT AREA
- TYPE C ACCESS ROAD
- TYPE D PASSENGER CARPARKS
- TYPE E VESSEL WASH BAY (HIGH FREQUENCY)
- TYPE F (WHARF)
- TYPE G (GREEN AREAS)
- TYPE H (BUILDING)

PROJECT

PACIFIC MARINE BASE BUNDABERG

MARINE INDUSTRY SITE

SITE SECTIONS

SHEET 4 OF 4

SCALE

AS SHOWN

REV

A

DATE

25.6.22

ISSUED FOR DEVELOPMENT APPROVAL

BY

HC

REVIEWED

APPROVED

DATE

25.6.22

ISSUED FOR DEVELOPMENT APPROVAL

BY

HC

REVIEWED

APPROVED

DESIGNED BY

J. J. J. J.

DRAWN

J. J. J. J.

CHECKED

J. J. J. J.

PROJECT MANAGER

J. J. J. J.

PERMITTING

J. J. J. J.

CONSTRUCTION

J. J. J. J.

OPERATION

J. J. J. J.

MAINTENANCE

J. J. J. J.

DECOMMISSIONING

J. J. J. J.

DATE

25.6.22

CLIENT

SHIP REPAIR | MARINE PROJECT SUPPORT

SAFETY / RESUME INSTRUCTIONS

1. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE PROJECT SAFETY PLAN.

2. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE PROJECT RESUME PLAN.

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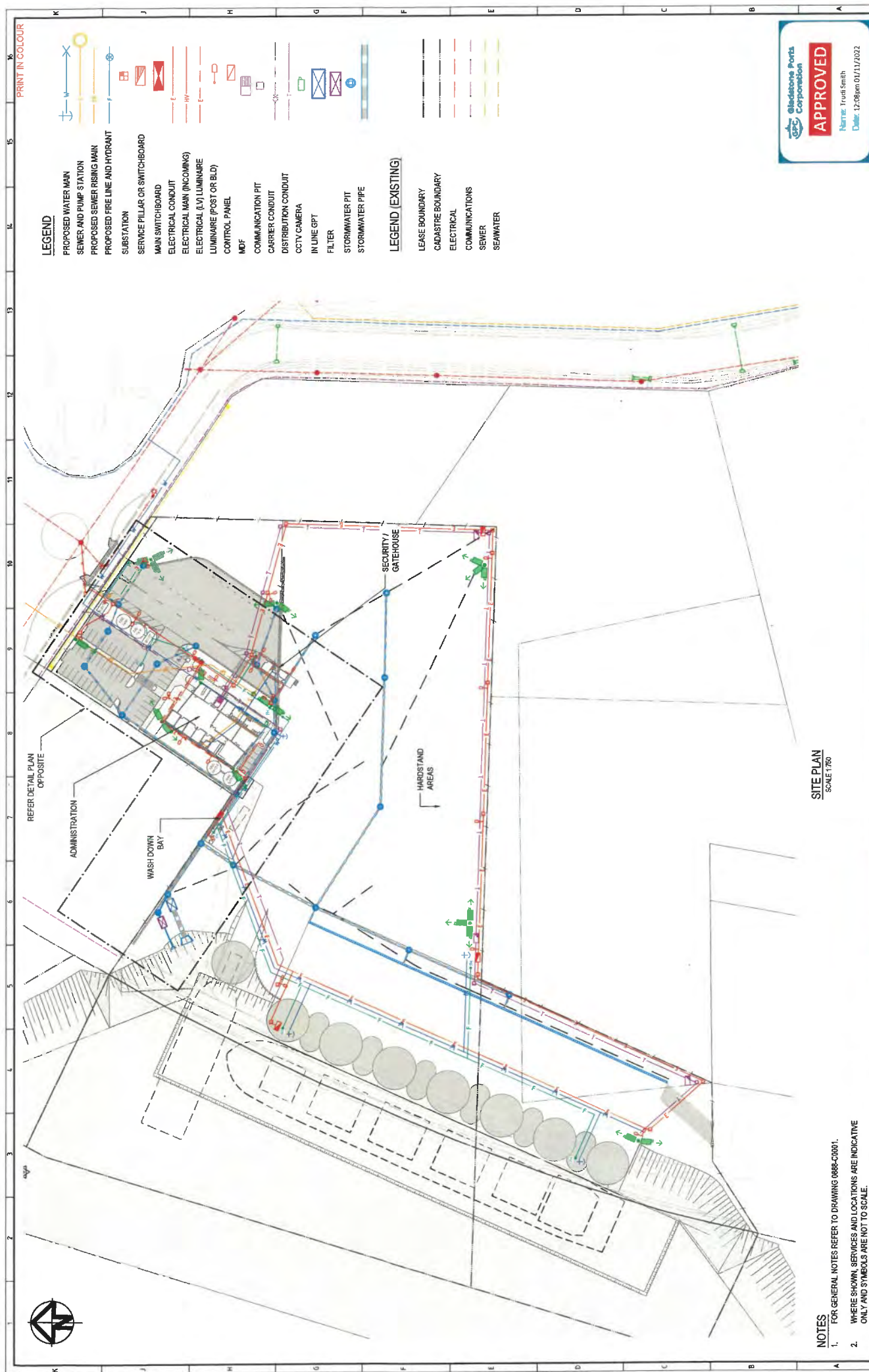
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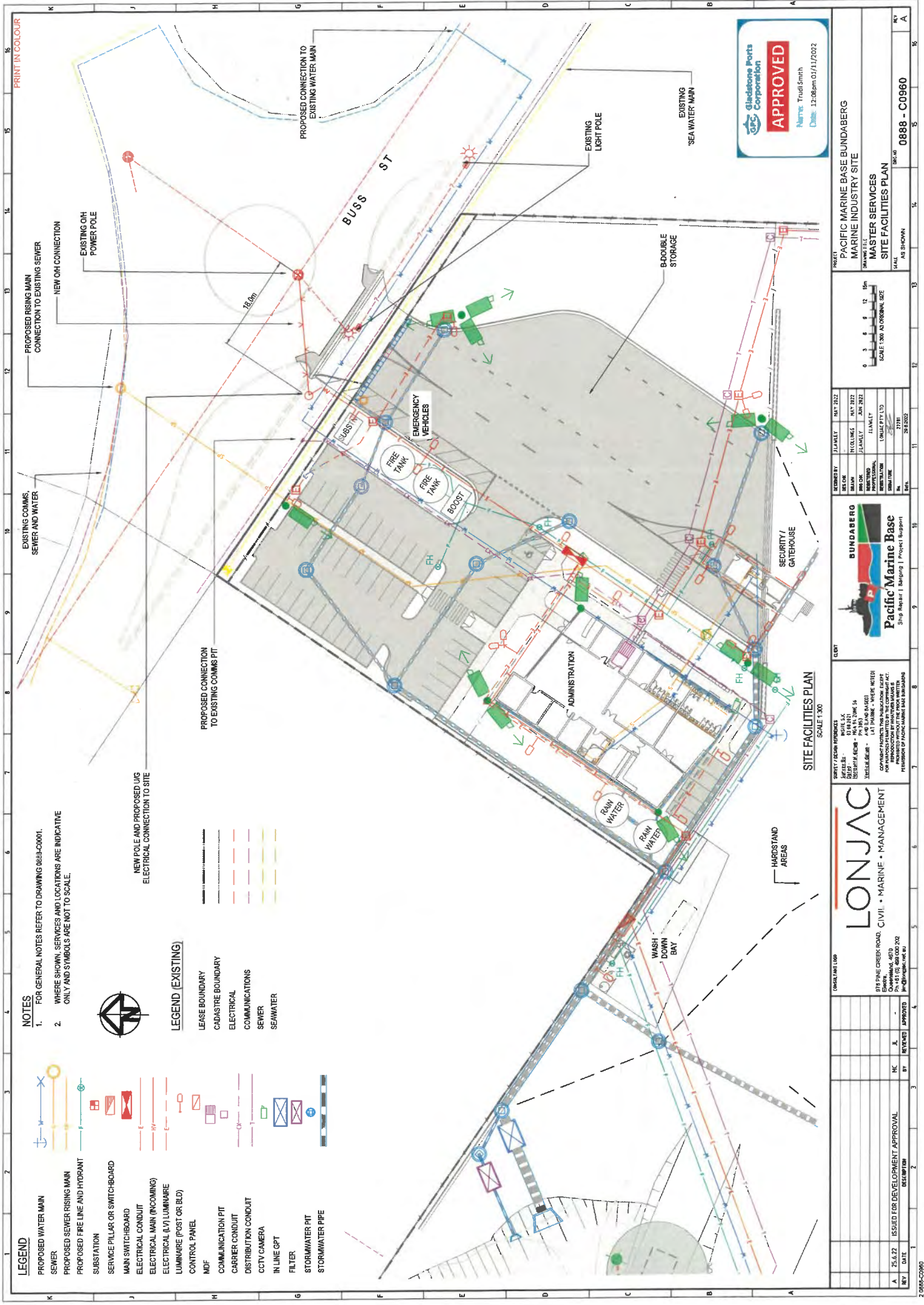
2-0088-C0820



NOTES

- NOTES**
1. FOR GENERAL NOTES REFER TO DRAWING 0888-C0001.
 2. WHERE SHOWN, SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE.

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LEGEND

- PROPOSED WATER MAIN
- SEWER
- PROPOSED SEWER RISING MAIN
- PROPOSED FIRE LINE AND HYDRANT
- SUBSTATION
- SERVICE PILLAR OR SWITCHBOARD
- MAIN SWITCHBOARD
- ELECTRICAL CONDUIT
- ELECTRICAL MAIN (INCOMING)
- ELECTRICAL (L/V) LUMINAIRE
- LUMINAIRE (POST OR BLD)
- CONTROL PANEL
- MDF
- COMMUNICATION PIT
- CARRIER CONDUIT
- DISTRIBUTION CONDUIT
- CCTV CAMERA
- IN LINE GPT
- FILTER
- STORMWATER PIT
- STORMWATER PIPE

- NOTES
- FOR GENERAL NOTES REFER TO DRAWING 0888-C0001.
 - WHERE SHOWN, SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE.



LEGEND (EXISTING)

- LEASE BOUNDARY
- CADASTRE BOUNDARY
- ELECTRICAL
- COMMUNICATIONS
- SEWER
- SEAWATER

SITE FACILITIES PLAN

SCALE 1:300

LONJAC
CIVIL • MARINE • MANAGEMENT

878 PINE CREEK ROAD
BUNDABERG, QLD 4670
Ph: +61 (0) 8 900 000 000
lon@lonjac.net.au

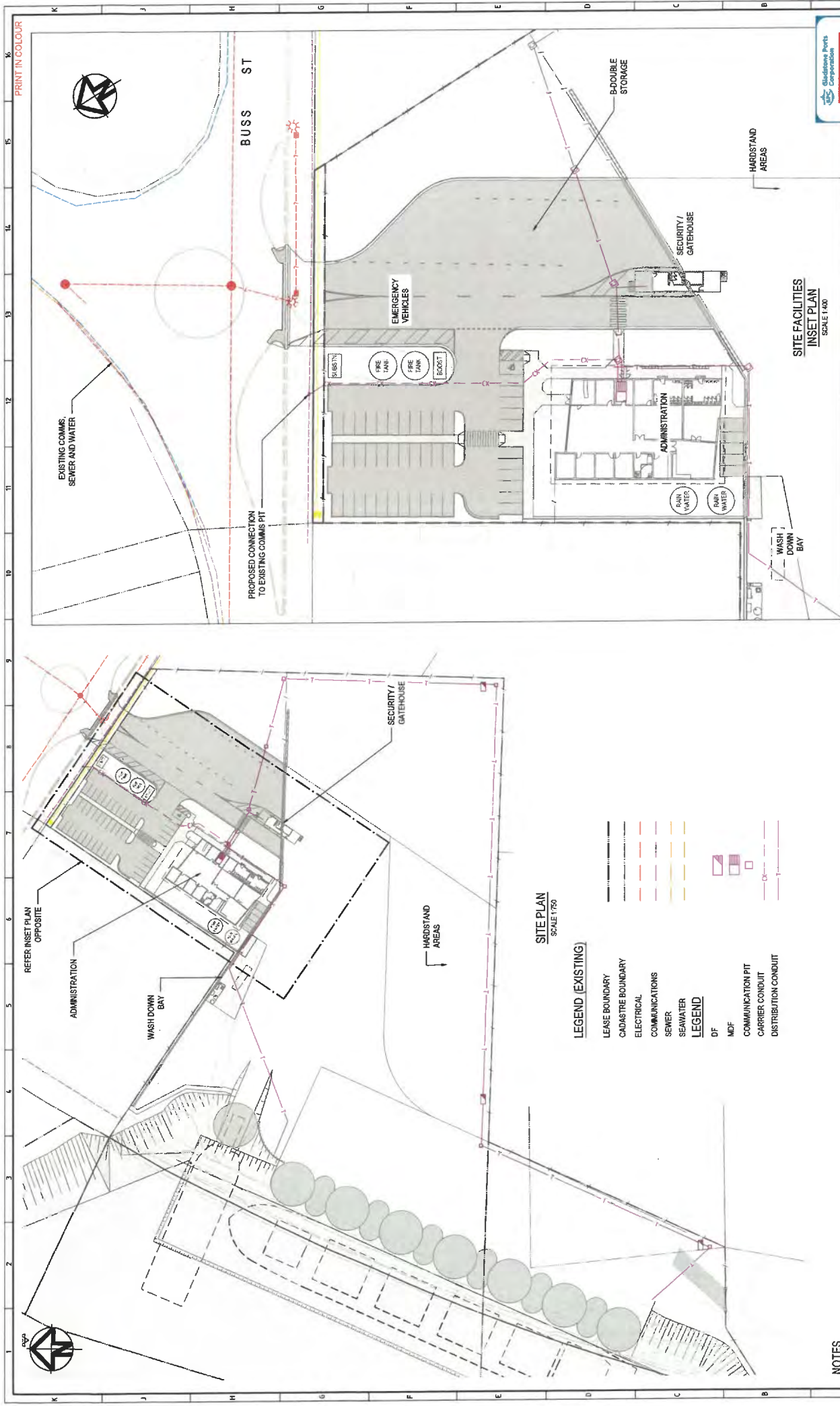
BUNDABERG
Pacific Marine Base
Ship Repair | Salvage | Project Support

REVISION	DATE	BY	DESCRIPTION
1	12/08/2022	TR	ISSUED FOR DEVELOPMENT APPROVAL

PROJECT: PACIFIC MARINE BASE BUNDABERG
DRAWING TITLE: MARINE INDUSTRY SITE MASTER SERVICES SITE FACILITIES PLAN
SCALE: 1:300 AS ORIGINAL SIZE
DATE: 12/08/2022

APPROVED
Gladstone Ports Corporation
Name: Trudi Smith
Date: 12/08/2022

0888 - C0960

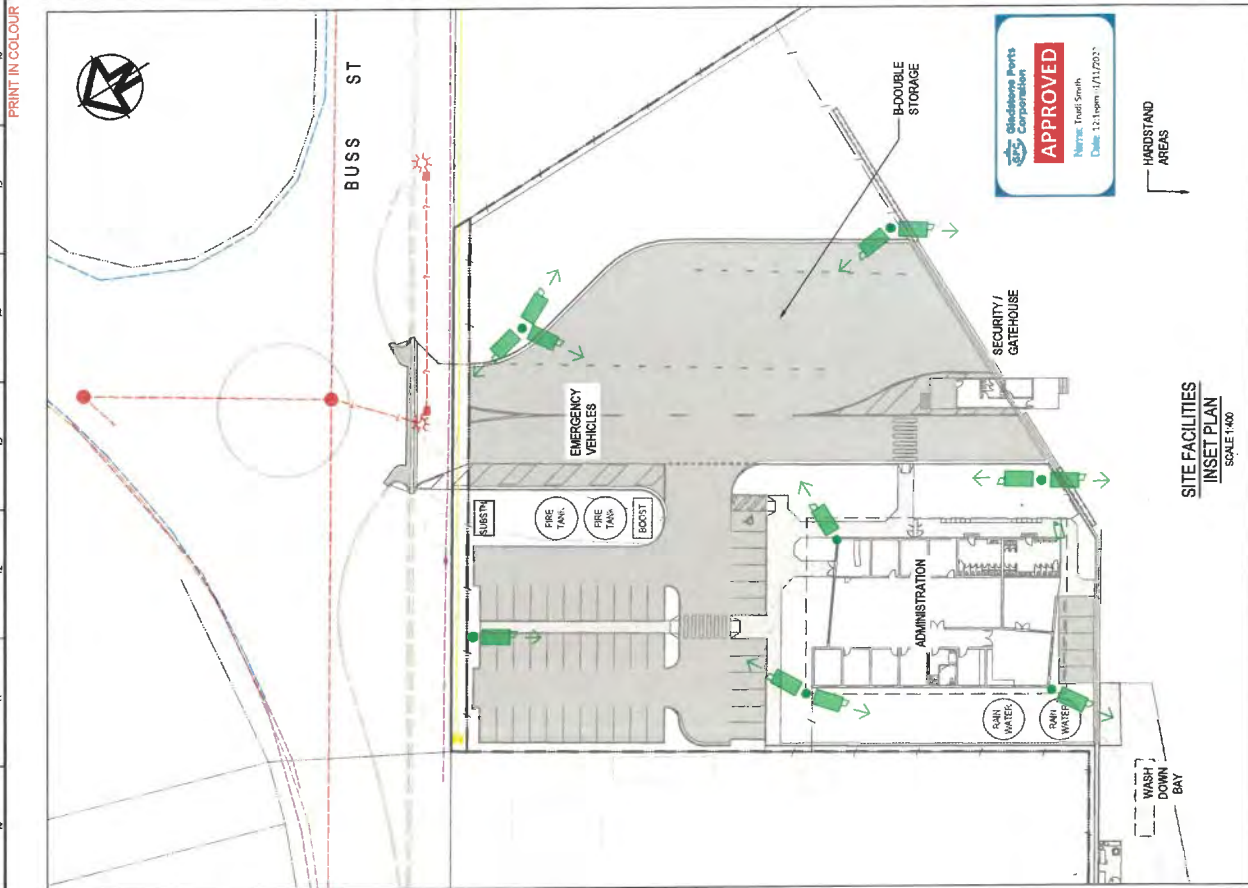


NOTES

1. FOR GENERAL NOTES REFER TO DRAWING 0888-C0001.
2. WHERE SHOWN SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE.

REVISION		DATE	BY	REVIEWED	APPROVED	DESCRIPTION
A	25.6.22		HC	AL		ISSUED FOR DEVELOPMENT APPROVAL

CONTRACT NO.		0888-E0300
CLIENT		LONJAC CIVIL • MARINE • MANAGEMENT
PROJECT		PACIFIC MARINE BASE BUNDABERG MARINE INDUSTRY SITE
DRAWING TITLE		COMMUNICATIONS SITE RETICULATION LAYOUT PLAN
SCALE		AS SHOWN
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SITE PLAN
SCALE 1:750

LEGEND (EXISTING)

- LEASE BOUNDARY
CADASTRE BOUNDARY
ELECTRICAL
COMMUNICATIONS
SEWER
SEAWATER

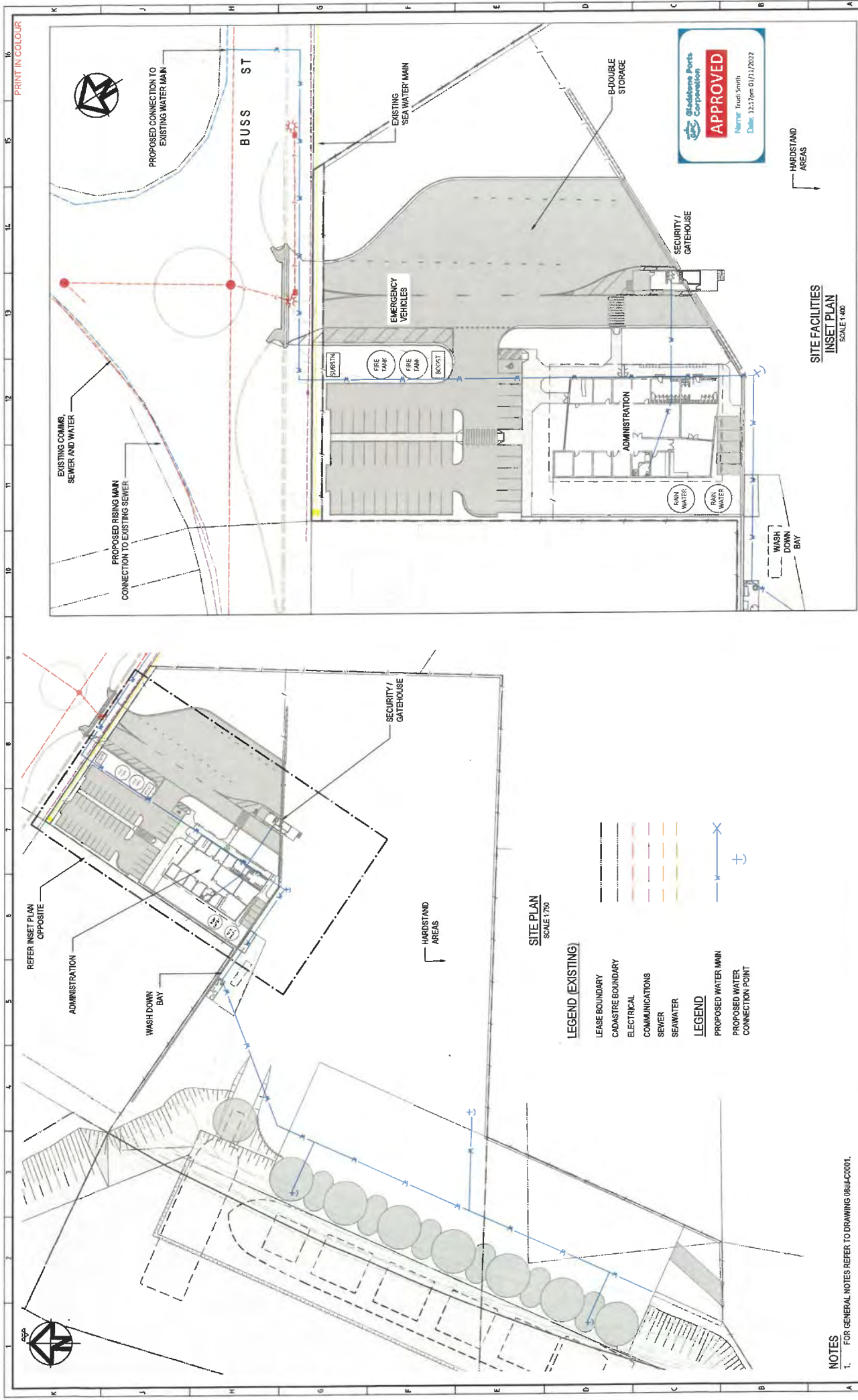
LEGEND

CCTV CAMERA

NOTES

- NOTES**
1. FOR GENERAL NOTES REFER TO DRAWING 0000-LC0001.
 2. WHERE SHOWN, SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE.

REV	A	25.6.22	ISSUED FOR DEVELOPMENT 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REVIEWED																APPROVED																DESCRIPTION																Jing@longjac.com.au																PH: +61 (0) 498 003 002																670 PINE CREEK ROAD, ELSTERS, BUNDABERG, QLD 4670																CONTRACT 1046																DURVEY / KITCHEN REVISIONS																ELDT																REMOVED BY																SCALE 1:750 AT ORIGINAL SIZE																SCALE 1:750 AT ORIGINAL SIZE																SCALE 1:750 AT ORIGINAL SIZE																SCALE 1:750 AT ORIGINAL SIZE																SCALE 1:750 AT ORIGINAL SIZE																SCALE 1:750 AT ORIGINAL SIZE																SCALE 1:750 AT ORIGINAL SIZE																SCALE 1:750 AT ORIGINAL SIZE																SCALE 1:750 AT ORIGINAL SIZE																SCALE 1:750 AT ORIGINAL SIZE																SCALE 1:750 AT ORIGINAL SIZE																SCALE 1:750 AT ORIGINAL SIZE																SCALE 1:750 AT ORIGINAL SIZE																SCALE 1:750 AT ORIGINAL SIZE																SCALE 1:750 AT ORIGINAL SIZE																SCALE 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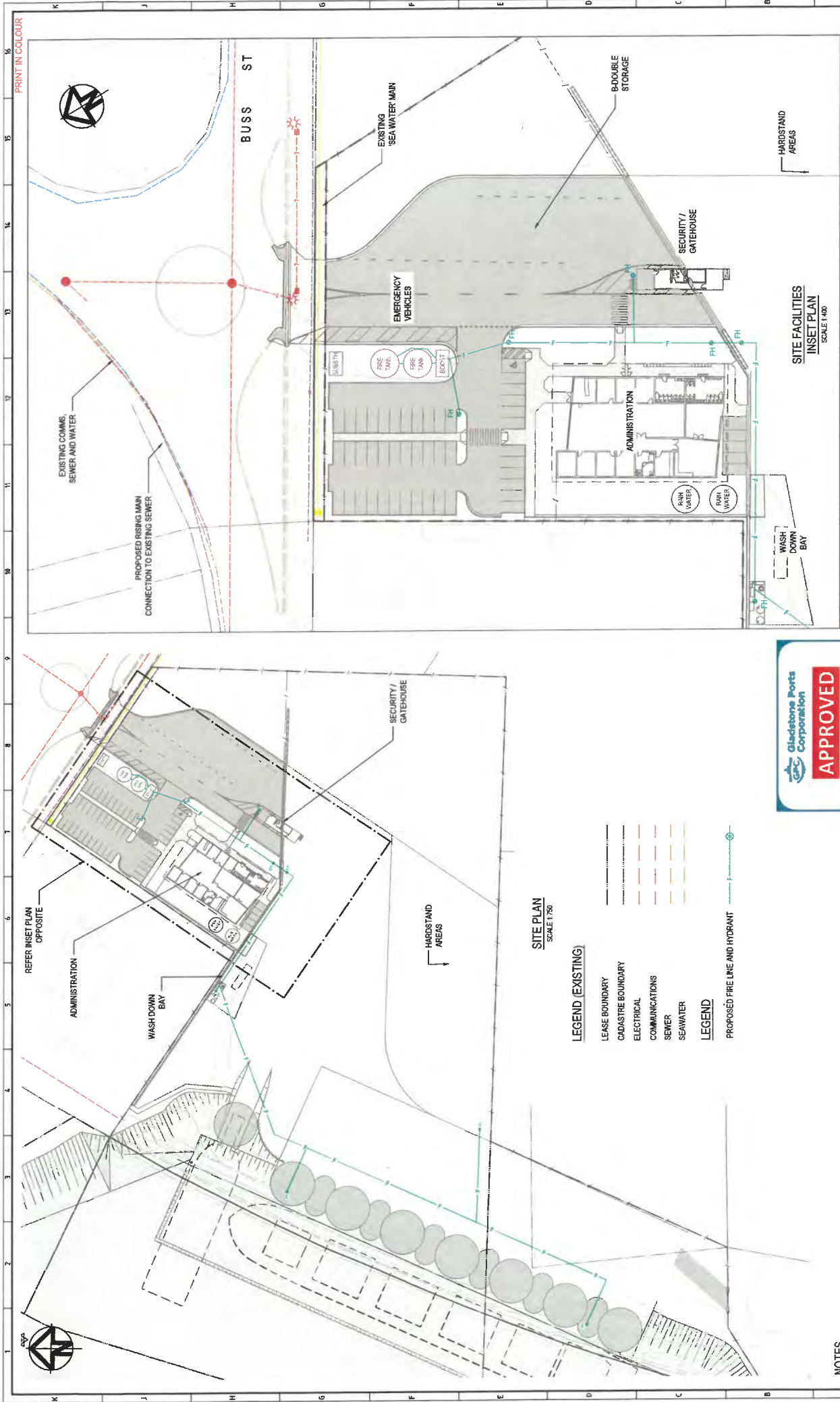
SITE PLAN
SCALE 1:750

- LEGEND EXISTING**
- LEASE BOUNDARY
 - CADASTRE BOUNDARY
 - ELECTRICAL
 - COMMUNICATIONS
 - SEWER
 - SEAWATER
- LEGEND**
- PROPOSED WATER MAIN
 - PROPOSED WATER CONNECTION POINT

SITE FACILITIES
INSET PLAN
SCALE 1:400

- NOTES**
- FOR GENERAL NOTES REFER TO DRAWING 0888-H0100.
 - WHERE SHOWN, SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE.

				CLIENT PACIFIC MARINE BASE BUNDABERG MARINE INDUSTRY SITE SERVICES SITE POTABLE WATER RETICULATION PLAN 0888 - H0100											
CONSULTANT INFO 870 PINE CREEK ROAD Bundaberg QLD 4670 PH: +61 (0) 89 400 000 INFO@LONJAC.COM.AU		DESIGNED BY NAME: J. L. LAYLEY DATE: MAY 2022 CHECKED BY: NAME: J. L. LAYLEY DATE: MAY 2022 DRAWN BY: NAME: J. L. LAYLEY DATE: MAY 2022 PROJECT MANAGER: NAME: J. L. LAYLEY DATE: MAY 2022 PROJECT NO: 0888-H0100		SCALE SCALE 1:400 AT ORIGINAL SIZE SCALE 1:750 AT ORIGINAL SIZE SCALE 1:750 AT ORIGINAL SIZE											
APPROVED NAME: J. L. LAYLEY DATE: 13.11.2022 PROJECT NO: 0888-H0100		REVISIONS <table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> <th>APPROVED</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>25.6.22</td> <td>ISSUED FOR DEVELOPMENT APPROVAL</td> <td>JL</td> <td>JL</td> </tr> </tbody> </table>				REV	DATE	DESCRIPTION	BY	APPROVED	A	25.6.22	ISSUED FOR DEVELOPMENT APPROVAL	JL	JL
REV	DATE	DESCRIPTION	BY	APPROVED											
A	25.6.22	ISSUED FOR DEVELOPMENT APPROVAL	JL	JL											



NOTES

- FOR GENERAL NOTES REFER TO DRAWING 0818-C0001.
- WHERE SHOWN, SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE.

SITE PLAN
SCALE 1:750

LEGEND (EXISTING)

- LEASE BOUNDARY
- CADASTRE BOUNDARY
- ELECTRICAL
- COMMUNICATIONS
- SEWER
- SEAWATER

LEGEND

- PROPOSED FIRE LINE AND HYDRANT



SITE FACILITIES
INSET PLAN
SCALE 1:400

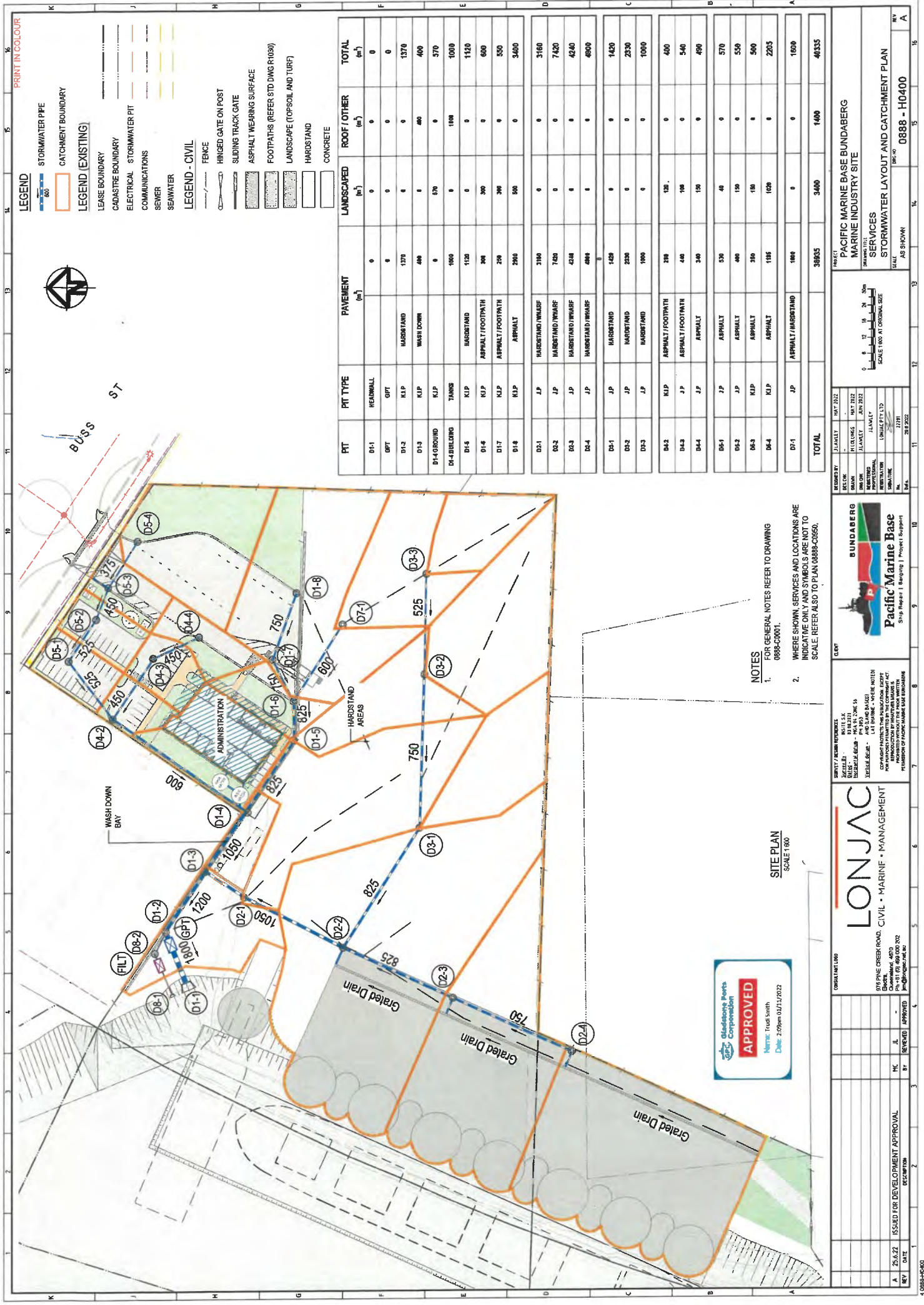
LONJAC
CIVIL • MARINE • MANAGEMENT

COMPANY PROPOSED FOR CONSTRUCTION OF THE PACIFIC MARINE BASE BUNDABERG
FOR APPROXIMATELY 1000 TONNAGE SHIPS
FOR APPROXIMATELY 1000 TONNAGE SHIPS
FOR APPROXIMATELY 1000 TONNAGE SHIPS



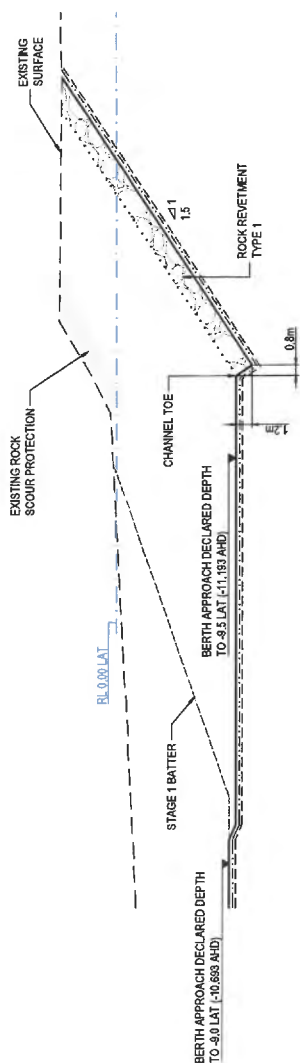
DESIGNED BY: J. LAMBERT
DRAWN BY: J. LAMBERT
CHECKED BY: J. LAMBERT
APPROVED BY: J. LAMBERT

PROJECT: PACIFIC MARINE BASE BUNDABERG
MARINE INDUSTRY SITE
SERVICES
SITE FIRE WATER RETICULATION PLAN
SCALE: AS SHOWN
DRAWING NO: 0888 - H0200
REV: A

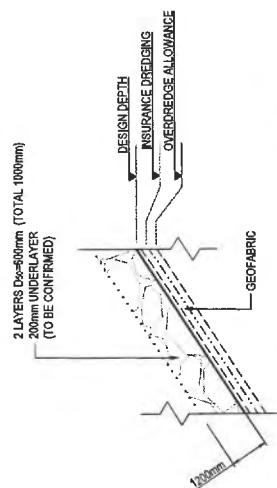


- LEGEND**
- STORMWATER PIPE
CATCHMENT BOUNDARY
LEASE BOUNDARY
CADASTRE BOUNDARY
ELECTRICAL STORMWATER PIT
SEWER
SEAWATER
- LEGEND - CIVIL**
- FENCE
HINGED GATE ON POST
SLIDING TRACK GATE
ASPHALT WEARING SURFACE
FOOTPATHS (REFER STD DWG R1030)
LANDSCAPE (TOPSOIL AND TURF)
HARDSTAND
CONCRETE
- LEGEND (EXISTING)**
- STORMWATER PIPE
CATCHMENT BOUNDARY
LEASE BOUNDARY
CADASTRE BOUNDARY
ELECTRICAL STORMWATER PIT
SEWER
SEAWATER

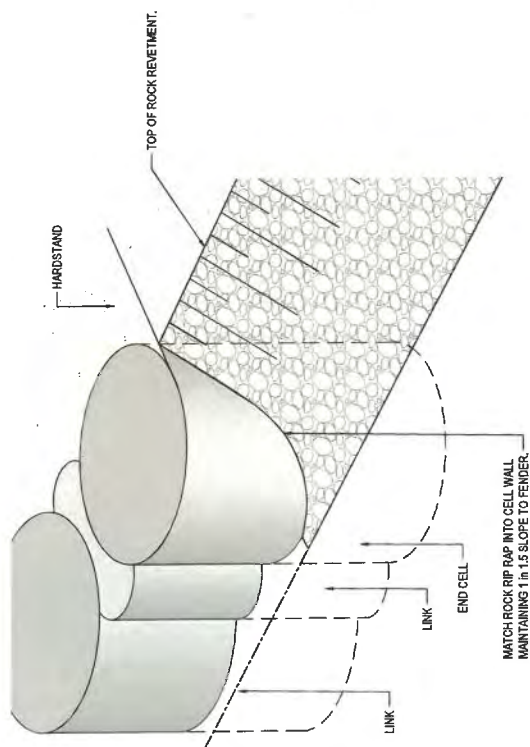
PIT	PIT TYPE	PAVEMENT (m ²)	LANDSCAPED (m ²)	ROOF / OTHER (m ²)	TOTAL (m ²)
D1-1	HEADWALL	0	0	0	0
D1-2	OPT	0	0	0	0
D1-3	KLP	MAJOR / AND	1370	0	1370
D1-4	KLP	WASH DOWN	400	0	400
D1-4 GROUND	KLP		0	0	0
D1-4	KLP		570	0	570
D1-4 BUILDING	TANKS	1000	0	1000	1000
D1-5	KLP	BASISTAND	1120	0	1120
D1-6	KLP	ASPHALT / FOOTPATH	300	0	600
D1-7	KLP	ASPHALT / FOOTPATH	200	0	500
D1-8	KLP	ASPHALT	2000	0	3400
D1-1	J.P	MAJESTAND / WMAJ	3100	0	3160
D1-2	J.P	MAJESTAND / WMAJ	7400	0	7420
D1-3	J.P	MAJESTAND / WMAJ	4240	0	4240
D1-4	J.P	MAJESTAND / WMAJ	0	0	4900
D1-1	J.P	MAJESTAND	1420	0	1420
D1-2	J.P	MAJESTAND	2330	0	2330
D1-3	J.P	MAJESTAND	1000	0	1000
D1-2	KLP	ASPHALT / FOOTPATH	280	0	400
D1-3	J.P	ASPHALT / FOOTPATH	400	0	540
D1-4	J.P	ASPHALT	340	0	490
D1-1	J.P	ASPHALT	530	0	570
D1-2	J.P	ASPHALT	400	0	550
D1-3	KLP	ASPHALT	300	0	500
D1-4	KLP	ASPHALT	1185	0	2205
D1-1	J.P	ASPHALT / MAJESTAND	1000	0	1000
TOTAL			30000	1400	40035



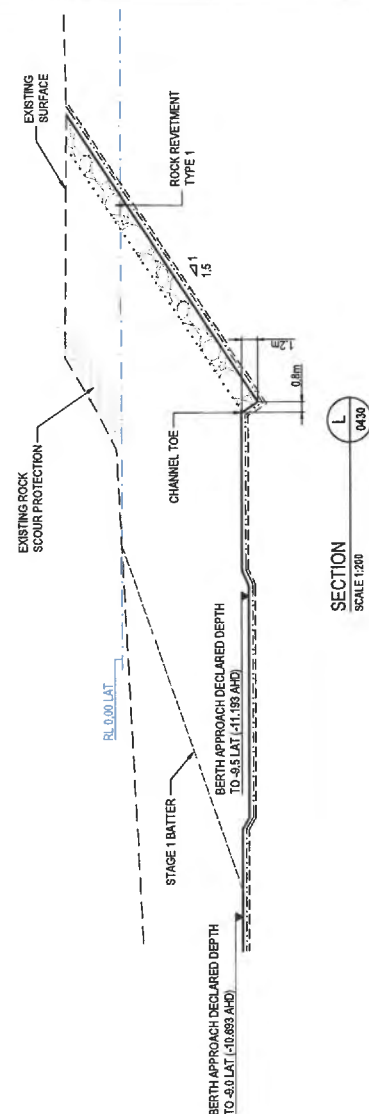
SECTION
SCALE 1:200



REVETMENT TYPE 1 DETAIL



DETAIL
SCALE 1/2"=0'



SECTION
SCALE 1:200

[illegible]



DEPTH RANGE

10 to 9	9 to 8	8 to 7	7 to 6	6 to 5	5 to 4	4 to 3	3 to 2	2 to 1	1 to 0
10	9	8	7	6	5	4	3	2	1

STG 1 BULK EARTHWORK VOLUMES TABLE

DEPTH FROM	VOLUME (m ³)	
	CUT	FILL
-15.000	-15460.605	0.000
-9.000	-6.000	0.000
-8.000	-16257.185	0.000
-7.000	-6.000	0.000
-6.000	-18432.669	0.000
-5.000	-23649.234	0.000
-4.000	-29525.479	0.000
-3.000	-33781.926	0.000
-2.000	-35848.060	0.000
-1.000	-37343.366	0.000
0.000	-39384.950	0.000
Total cut	-257506.980	

Total cut	-257506,989
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NOTES

1. DEPTHS SHOWN TO DESIGN DREDGE LEVELS
2. ALL VOLUMES ARE IN-SITU CUBIC METRES
3. STAGED VOLUMES ASSUME THE PREVIOUS STAGE HAS BEEN COMPLETED
4. CONTOURS SHOWN ON THIS PLAN ARE DEPTHS BETWEEN THE VOLUME SURFACES.
5. EARTHWORKS:
 - FILL
 - MATERIAL PLACED FROM EXISTING SURFACE TO DESIGN LEVELS.

STAGE 1 DREDGE VOLUMES

ALL VOLUMES AND STUDY GUIDES LISTED ARE TO CAT

ZONE	SURFACE AREA (PLAN AREA) m ²	DECLARED DEPTH (m)	MIN. VOLUME (m ³)	MAX. VOLUME (m ³)
DEPARTURE CHANNEL AND 13 BATTERS (DECLARED DEPTH: 7.1 LA 1)	31,066	162.784	175,275	183,837
BERTH POCKET, WHARF PILES AND ROCK BOUR AREA (DECLARED DEPTH: 7.1 LA 1)	11,668	94.732	98,139	100,286
TOTAL	42,074	257,536	273,414	284,034

[illegible]

PROJECT	PACIFIC MARINE BASE BUNDABERG MARINE INDUSTRY SITE	DATE 90	0888
	STAGE 1		
	VOLUMES PLAN		
		AS SHOWN	

0888-K0520

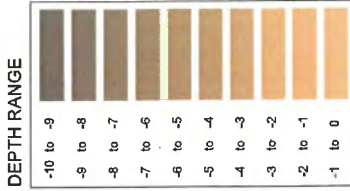
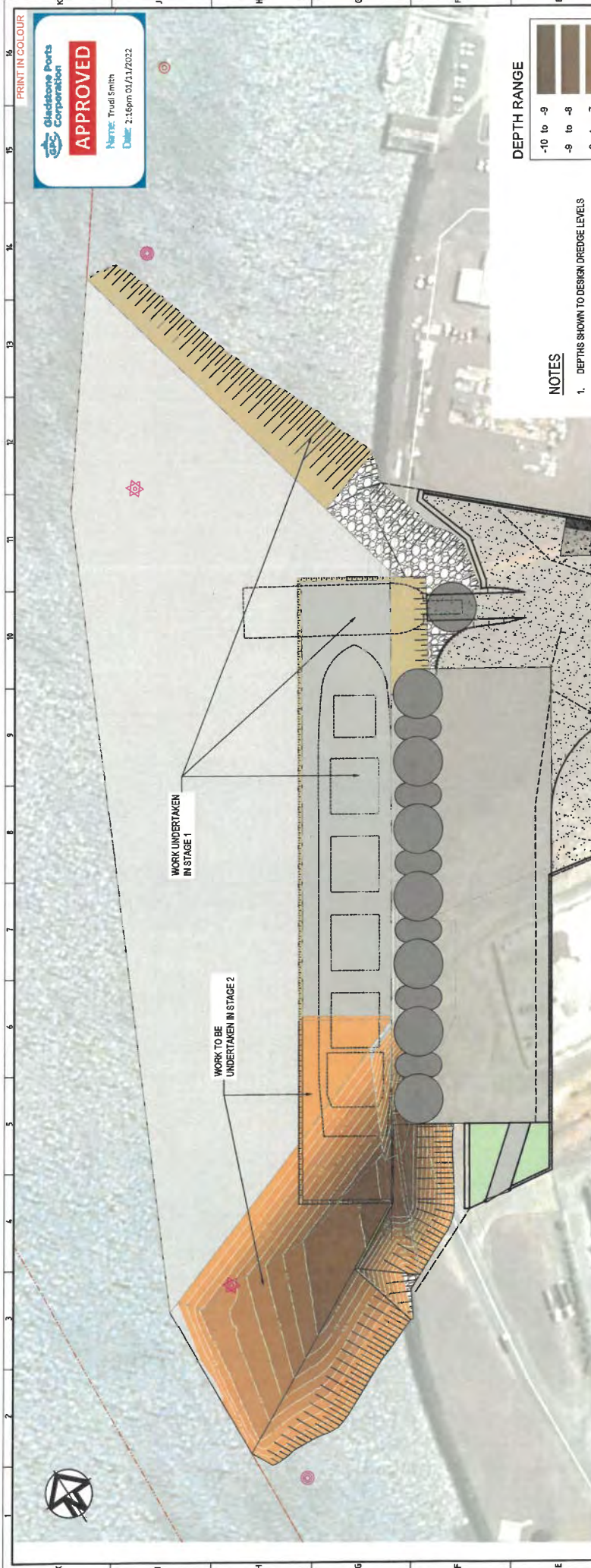
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APPROVED

Marine Trudi Smith

Date: 21/06/2022



- NOTES**
- DEPTHS SHOWN TO DESIGN DREDGE LEVELS
 - ALL VOLUMES ARE IN-SITU CUBIC METRES
 - STAGED VOLUMES ASSUME THE PREVIOUS STAGE HAS BEEN COMPLETED
 - CONTOURS SHOWN ON THIS PLAN ARE DEPTHS BETWEEN THE VOLUME SURFACES.
 - EARTHWORKS:
 - FILL MATERIAL PLACED FROM EXISTING SURFACE TO DESIGN LEVELS.
 - CUT EXCAVATION TO DESIGN DREDGE LEVELS

PLAN
SCALE 1:750

STAGE 1 DREDGE VOLUMES

ALL VOLUMES IN SITU CUBIC METRES (ALL LEVELS ARE TO LAT)

ZONE	SURFACE AREA (PLAN AREA m ²)	DECLARED DEPTH (m)	DECLARED DEPTH VOLUME (m ³)	INSURANCE VOLUME (m ³)	OVERDREDGE VOLUME (m ³)
DEPARTURE CHANNEL AND 13 BATTER (DECLARED DEPTH -7.1 LAT)	31,006	182.794	182,794	175,275	185,637
BERTH POCKET, WHARF PILES AND ROCK SCOUR AREAS (DECLARED DEPTH -7.1 LAT)	11,068	94.752	94,752	98,139	100,396
TOTAL	42,074	257.536	257,536	273,414	284,034

STAGE 2 DREDGE VOLUMES (STAGE 1 COMPLETED)

ALL VOLUMES IN SITU CUBIC METRES (ALL LEVELS ARE TO LAT)

ZONE	SURFACE AREA (PLAN AREA m ²)	DECLARED DEPTH (m)	DECLARED DEPTH VOLUME (m ³)	INSURANCE VOLUME (m ³)	OVERDREDGE VOLUME (m ³)
DEPARTURE CHANNEL AND 13 BATTER (DECLARED DEPTH -4.1 LAT)	6,170	28.157	28,157	30,430	31,951
BERTH POCKET, WHARF PILES AND ROCK SCOUR AREAS (DECLARED DEPTH -4.1 LAT)	4,620	20.183	20,183	21,342	22,125
TOTAL	10,790	48.350	48,350	51,782	54,076

TOTAL DREDGE VOLUMES (STAGE 1 AND STAGE 2)

ALL VOLUMES IN SITU CUBIC METRES (ALL LEVELS ARE TO LAT)

ZONE	SURFACE AREA (PLAN AREA m ²)	DECLARED DEPTH (m)	DECLARED DEPTH VOLUME (m ³)	INSURANCE VOLUME (m ³)	OVERDREDGE VOLUME (m ³)
DEPARTURE CHANNEL AND 13 BATTER (DECLARED DEPTH -4.1 LAT)	34,017	190.941	190,941	205,705	215,588
BERTH POCKET, WHARF PILES AND ROCK SCOUR AREAS (DECLARED DEPTH -4.1 LAT)	13,288	114.945	114,945	119,481	122,521
TOTAL	47,305	305.886	305,886	325,186	338,110

STG 2 BULK EARTHWORK VOLUMES TABLE

DEPTH	FROM	TO	CUT	FILL
	-15.000	-9.000	-1282.808	0.000
	-9.000	-8.000	-1476.199	0.000
	-8.000	-7.000	-2338.485	0.000
	-7.000	-6.000	-3125.769	0.000
	-6.000	-5.000	-4001.379	0.000
	-5.000	-4.000	-5009.037	0.000
	-4.000	-3.000	-6217.571	0.000
	-3.000	-2.000	-7244.009	0.000
	-2.000	-1.000	-8144.621	0.000
	-1.000	0.000	-9511.406	0.000
Total			-48351.286	

ISSUED FOR DEVELOPMENT APPROVAL

DATE: 25.5.22

BY: JL

REVIEWED: MC

APPROVED: BT

DESCRIPTION: STAGE 2

STAGE 2

VOLUMES PLAN

SCALE 1:750 AT ORIGINAL SIZE

0 7.5 15 22.5 30 37.5

PROJECT: PACIFIC MARINE BASE BUNDABERG MARINE INDUSTRY SITE

DRAWING TITLE: STAGE 2 VOLUMES PLAN

SCALE: AS SHOWN

DWG NO: 0888-K0560

REV: A

CLIENT: BUNDABERG Pacific Marine Base

DESIGNED BY: J. LAMLEY

DRAWN BY: J. LAMLEY

CHECKED BY: J. LAMLEY

DATE: 21/06/2022

PROJECT MANAGER: J. LAMLEY

DATE: 21/06/2022

PROJECT MANAGER: J. LAMLEY

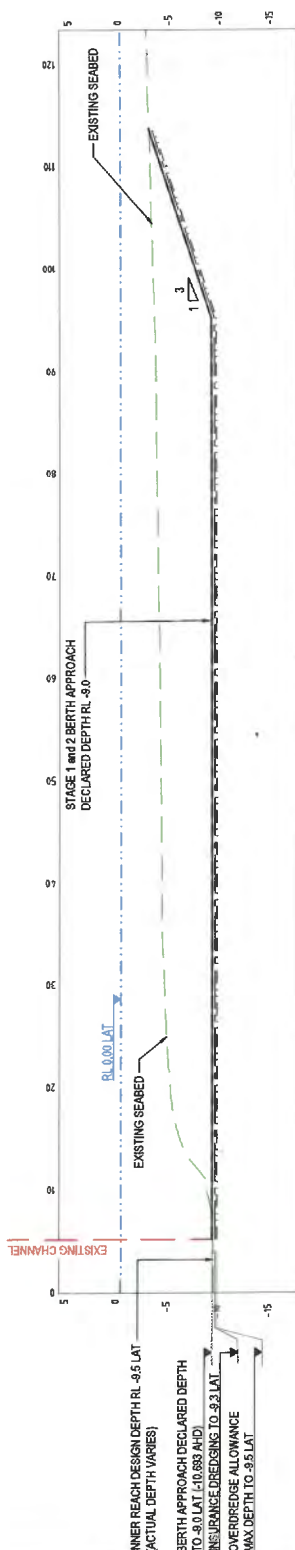
DATE: 21/06/2022

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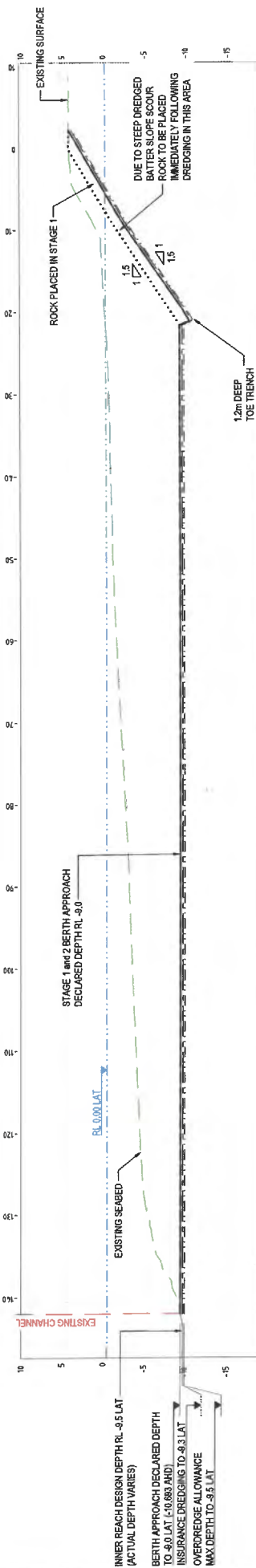
APPROVED

Name Trudi Smith

Date: 2:17pm 01/11/2022



SITE SECTION
SCALE 1:250



SITE SECTION
SCALE 1:250

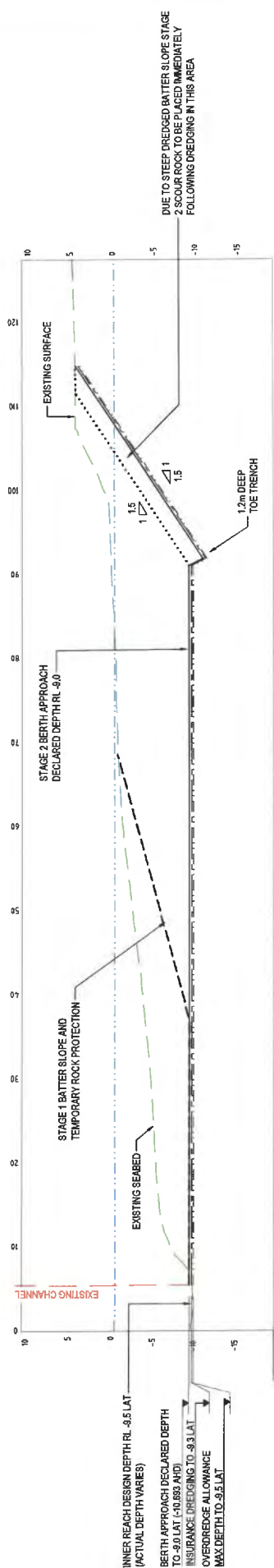
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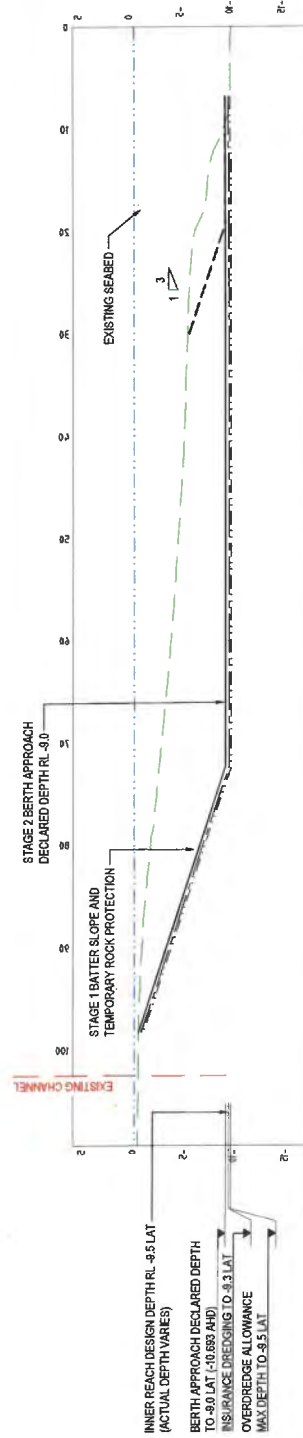
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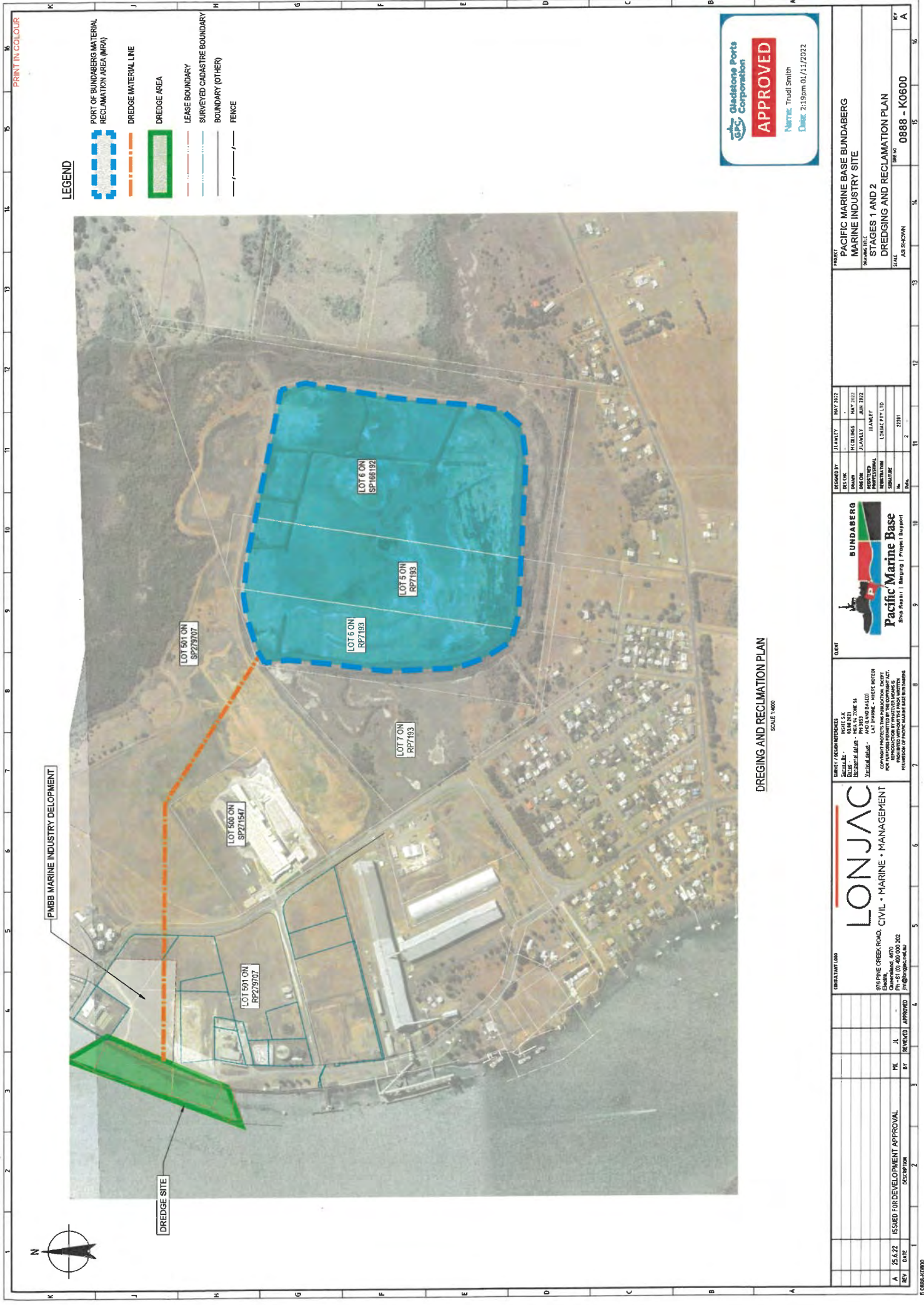


SITE SECTION
SCALE 1:250
J
0550



SITE SECTION
SCALE 1:250
K
0550

APPROVED FOR DEVELOPMENT APPROVAL		DATE	25.5.22	REV	A
DESCRIPTION		BY	REVIEWED	DATE	
MC		JL	APPROVED	DATE	
PROJECT		PACIFIC MARINE BASE BUNDABERG			
DRAWING TITLE		MARINE INDUSTRY SITE			
STAGES 1 AND 2		TYPICAL SECTIONS AND DETAILS SHEET 5			
SCALE		AS SHOWN			
DRAWING NO.		0888- K0574			
PROJECT		PACIFIC MARINE BASE BUNDABERG			
DRAWING TITLE		MARINE INDUSTRY SITE			
STAGES 1 AND 2		TYPICAL SECTIONS AND DETAILS SHEET 5			
SCALE		AS SHOWN			
DRAWING NO.		0888- K0574			
PROJECT		PACIFIC MARINE BASE BUNDABERG			
DRAWING TITLE		MARINE INDUSTRY SITE			
STAGES 1 AND 2		TYPICAL SECTIONS AND DETAILS SHEET 5			
SCALE		AS SHOWN			
DRAWING NO.		0888- K0574			



LEGEND

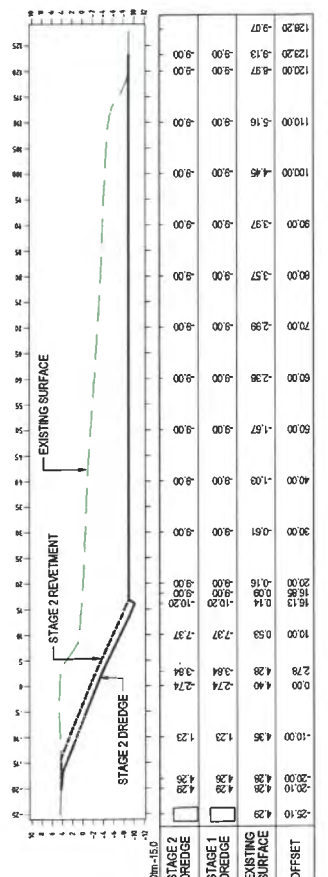
- PORT OF BUNDABERG RECLAMATION AREA (PRA)
- DREDGE MATERIAL LINE
- DREDGE AREA
- LEASE BOUNDARY
- SURVEYED CADASTRE BOUNDARY
- BOUNDARY (OTHER)
- FENCE



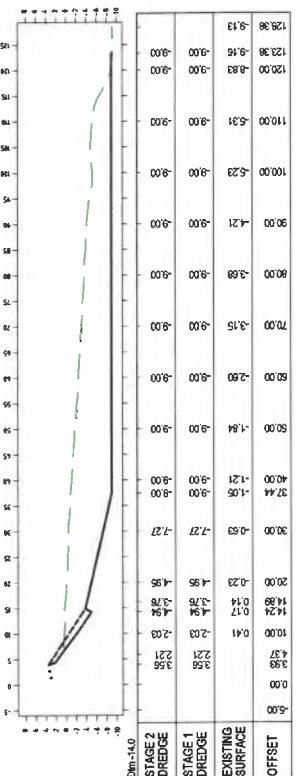
DREDGING AND RECLAMATION PLAN

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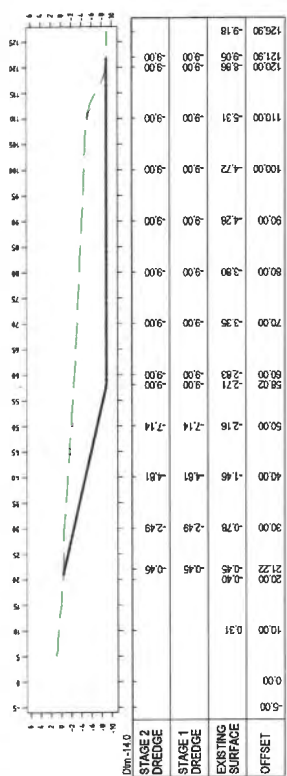
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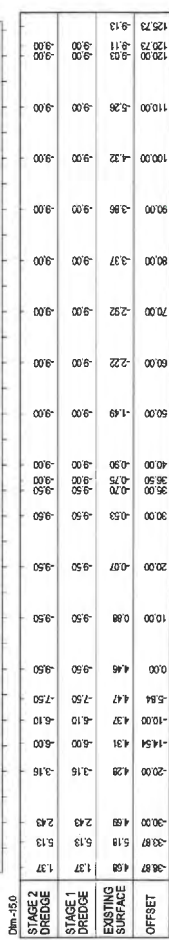
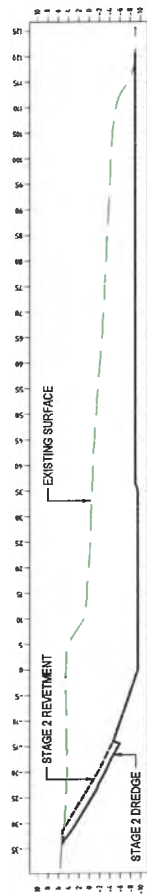
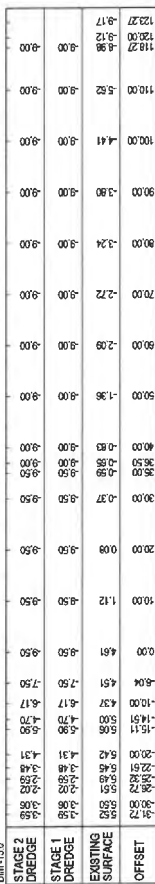
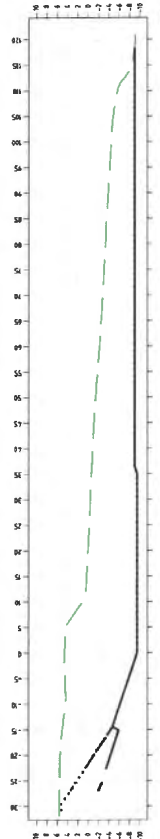
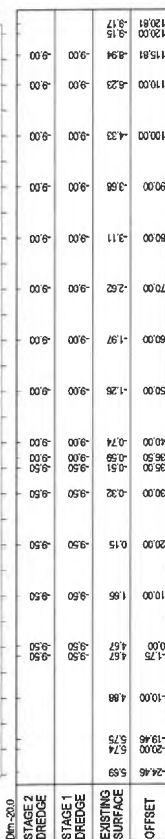
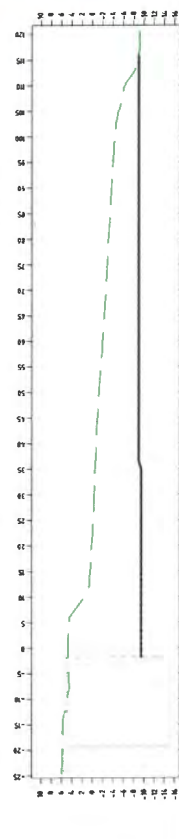
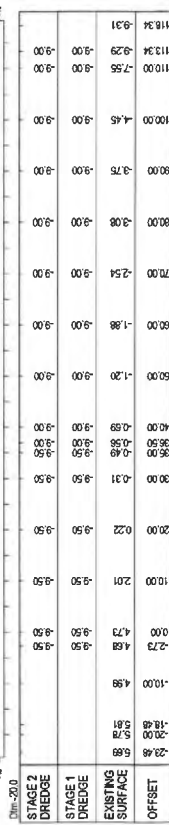
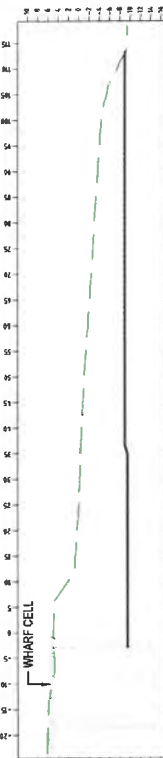
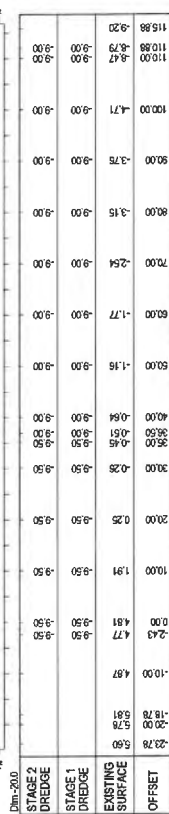
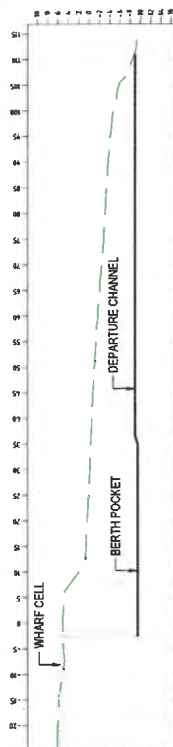
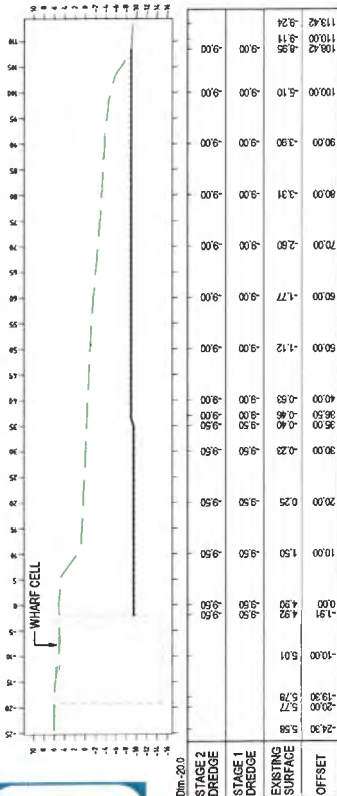


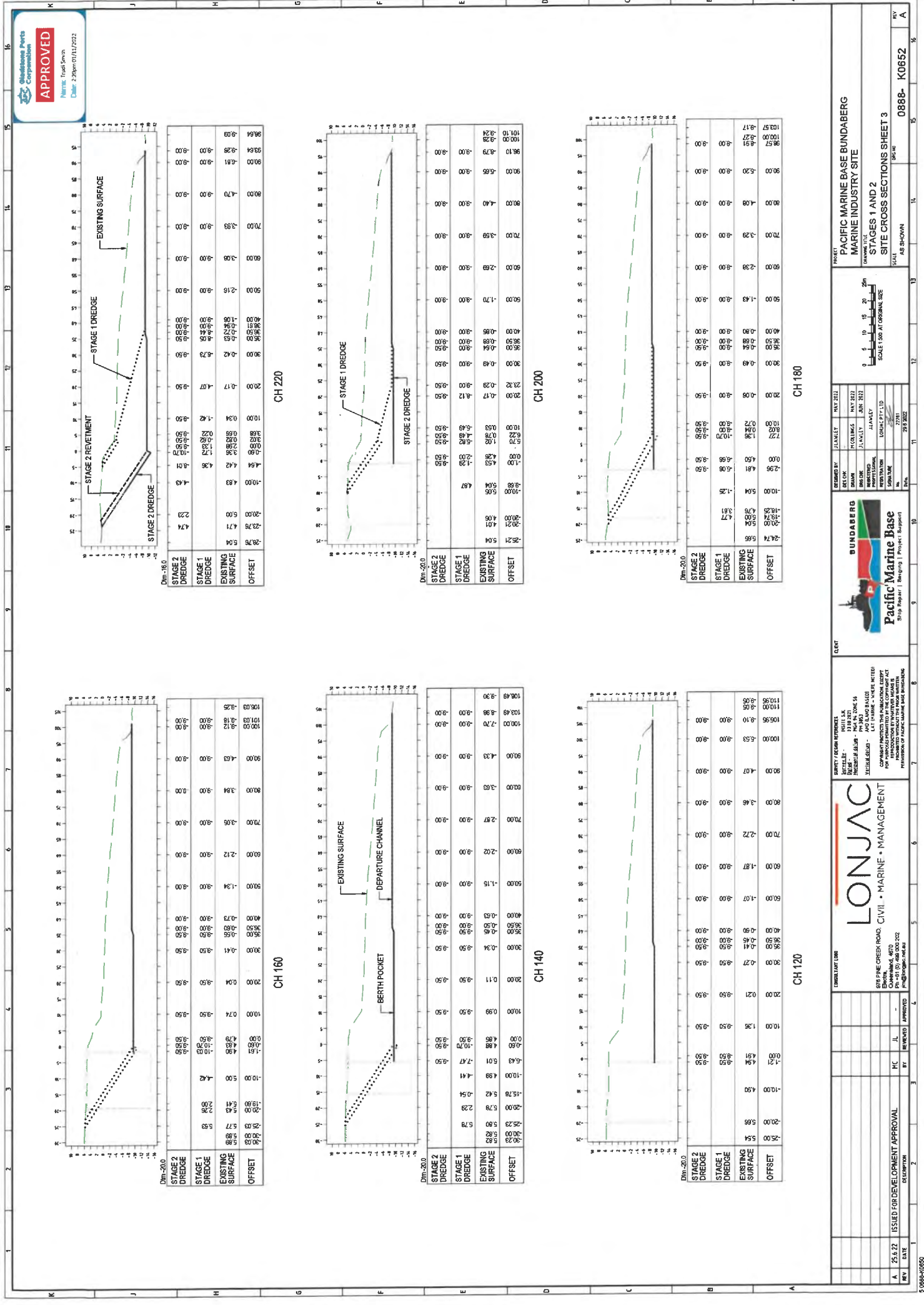
CH 40



CH-60

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PROJECT

PACIFIC MARINE BASE BUNDABERG

DRAWING TITLE

MARINE INDUSTRY SITE

STAGES 1 AND 2

SITE CROSS SECTIONS SHEET 3

SCALE

AS SHOWN

DATE

28/09/2022

BY

0888- K0652

REV

A

DESIGNED BY

JANUARY

CHECKED BY

JANUARY

DRAWN BY

JANUARY

REVIEWED BY

JANUARY

APPROVED BY

JANUARY

DATE

28/09/2022

CLIENT

Pacific Marine Base
Ship Repair / Berthing / Project Support

CONSULTANT

LONJAC
CIVIL • MARINE • MANAGEMENT

PROJECT LOCATION

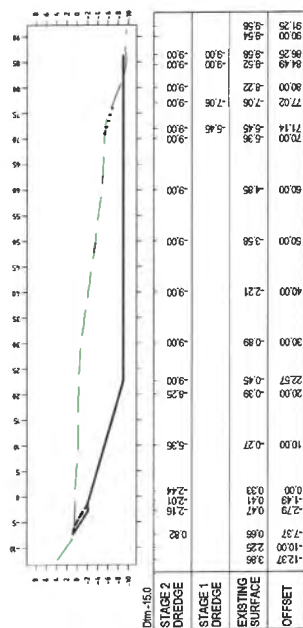
500 PINE CREEK ROAD, BUNDABERG, QLD 4670, AUSTRALIA
PROJECT NO: 2022-00000001
PROJECT NAME: PACIFIC MARINE BASE BUNDABERG

ISSUED FOR DEVELOPMENT APPROVAL

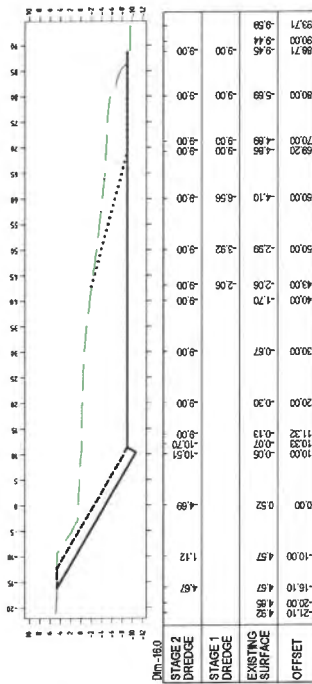
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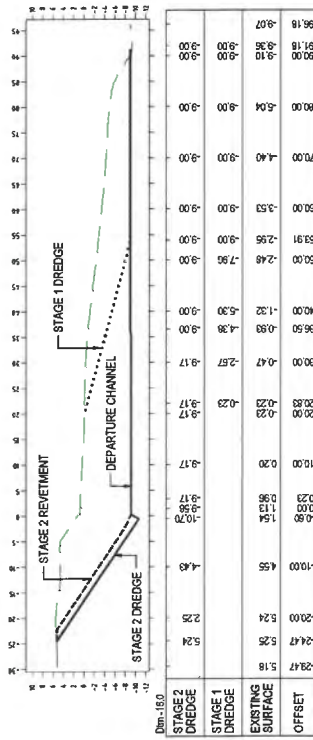
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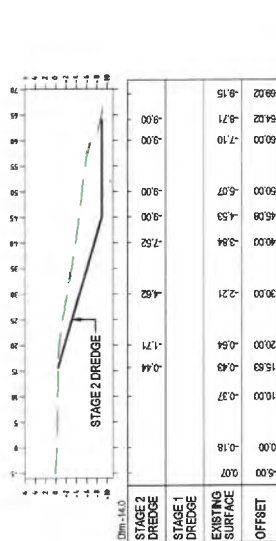
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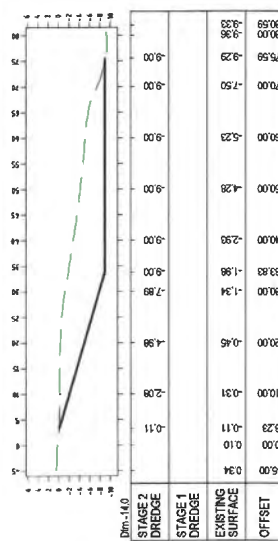
CH 260



CH 240

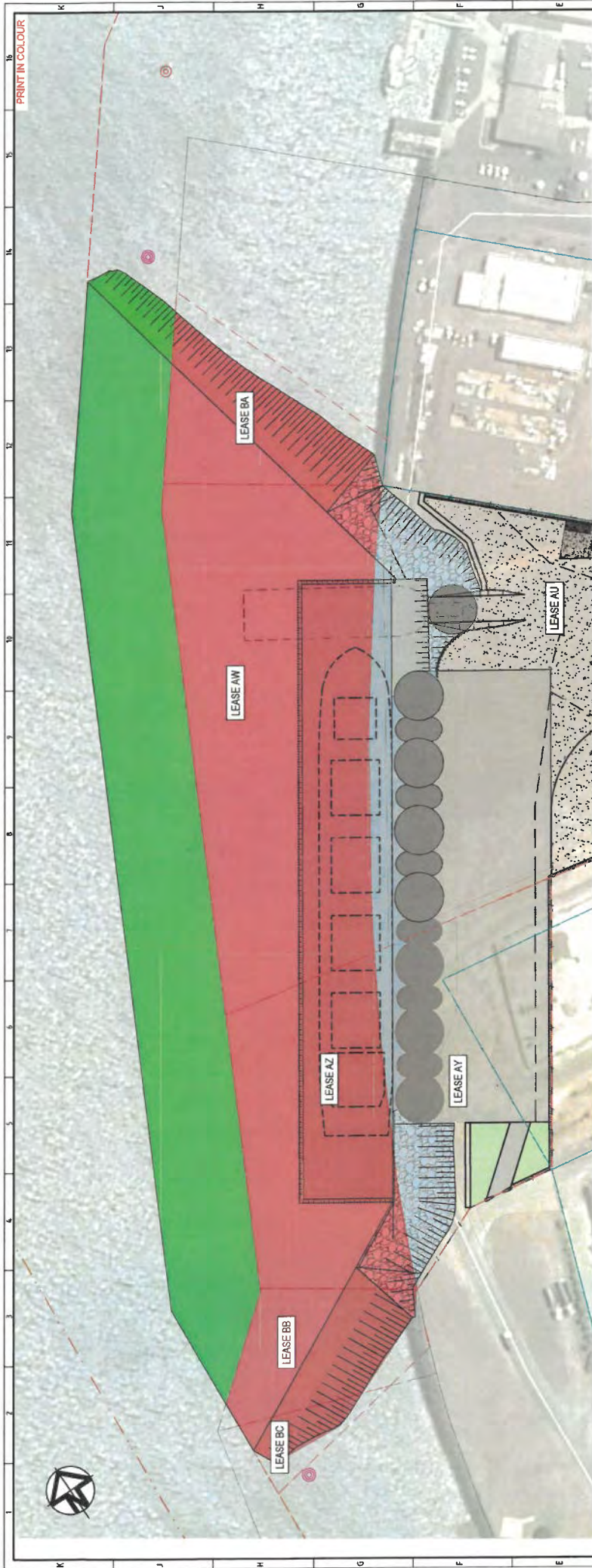


CH 320



CH 300

ISSUED FOR DEVELOPMENT APPROVAL		25.6.22	DATE		APPROVED BY		RECEIVED BY		PROJECT NO.		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PRINT IN COLOUR

PLAN
SCALE 1:750



- AREA 1
DREDGE AND OPERATION AREA FOR SUB-LEASE AW ON SP305578, SUB LEASE AZ ON SP305589, SUB LEASE BA AND BB ON SP305570 ALL IN LOT 287 ON SP189196 AND SUB LEASE BC ON SP305570 IN LOT 276 ON SP305570 (WET AREA OWNED BY THE STATE AND LEASED BY GPC)
- AREA 2
DREDGE AREA ON UNALLOCATED STATE LAND (US) ASSOCIATED WITH SITE DEVELOPMENT
- AREA 3
DREDGE AREA FOR LEASE AU ON SP305570 AND LEASE AY ON SP305589 ALL IN LOT 301 ON SP223707 (DRY AREA OWNED BY GPC)

- LEGEND - CIVIL
- LEASE BOUNDARY
 - CADASTRE BOUNDARY
 - FENCE
 - HINGED GATE ON POST
- LEGEND - MARITIME
- DEPARTURE CHANNEL
 - BERTH
 - 1 in 3 DREDGE BATTER
 - ROCK PROTECTION

- NOTES
- FOR GENERAL NOTES REFER TO DRAWING 0888-C0001.
 - WHERE SHOWN SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE.

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GENERAL:

SATISFACTORY SURFACE FINISH IS ACHIEVED.

1. ALL STEELWORK PLATES SHALL BE GRADE 350 TO A542S 3078 U.N.O.
2. ALL SURFACES OF STEELWORK SHALL BE CLEANED AND PAINTED IN ACCORDANCE WITH THE PAINT MANUFACTURER'S SPECIFICATION U.N.O.
3. ALL RHS & SHS SECTIONS SHALL BE GR.350 TO AS 1163 U.N.O.
ALL CHS SECTIONS SHALL BE GR.350 TO AS 1163 U.N.O.
ALL STRUCTURAL SECTIONS SHALL BE GR.300 TO AS 3878 U.N.O.
ALL PINS SHALL BE GR. 4140 U.N.O.
4. UNIDENTIFIED STEEL SHALL NOT BE USED IN STRUCTURAL MEMBERS OR CONNECTIONS.
5. ALL STEEL SHALL BE FREE FROM EXCESSIVE RUST, FITTING AND OTHER DEFECTS LIKELY TO IMPAIR THE STRUCTURAL CAPACITY OF THE MEMBER OR QUALITY OF THE PROTECTIVE COATING SYSTEM.
6. ALL BOLTS, NUTS AND WASHERS SHALL BE HIGH STRENGTH STRUCTURAL BOLTS GRADE 8.8/10 TO AS 1252 U.N.O.
7. HIGH STRENGTH STRUCTURAL BOLTS REQUIRING TENSIONING SHALL BE NOTED 8.8/10 OR 8.8/10 ON THE DRAWINGS AND SHALL BE TENSIONED IN ACCORDANCE WITH AS 4100.
18. ALL CONNECTIONS OF ABUTTING PLATES, FLANGES, HOLLOW SECTIONS, ETC., SHALL HAVE THE THICKER COMPONENT TAPERED AT 1:4 LEADING INTO THE BUTT WELDED JOINT.
19. FABRICATION SHALL COMPLY WITH THE SPECIFICATION AND THE REQUIREMENTS OF AS 4100, AS 2159 AND AS 1554 WHERE APPLICABLE.
20. ALL PLATES, GUSSETS ETC. SHALL HAVE SHARP EDGES AND CORNERS ROUNDED AND GROUND SMOOTH TO A MINIMUM RADIUS OF 1.5mm.
21. ALL SHARP IRREGULARITIES, WHETHER APPARENT BEFORE OR AFTER BLAST CLEANING, SHALL BE REMOVED PRIOR TO COMMENCEMENT OF COATING APPLICATION.
22. ENDS OF HOLLOW SECTIONS SHALL BE SEALED WITH 6mm CAP PLATES AND 6mm CPW, U.N.O.
23. NO HOLES SHALL BE DRILLED INTO HOLLOW SECTIONS, WHERE CONNECTION TO HOLLOW SECTIONS IS REQUIRED. WELDED CLEATS SHALL BE PROVIDED.
24. DETAILS DIFFICULT TO BLAST CLEAN AND SURFACE PROTECT ARE TO BE SEALED WITH 6mm SEAL PLATES AND 6mm CPW, U.N.O.

CONCRETE:

1. ALL CONCRETE WORK SHALL COMPLY WITH AS3600 CONCRETE STRUCTURES AND AS4687 GUIDELINES FOR THE DESIGN OF MARITIME STRUCTURES.
 2. UNLESS OTHERWISE INDICATED, CONCRETE SHALL BE:
 - CLASS S50
 - MIN. CEMENTITIOUS CONTENT 425kg/m³
 - MAX. 58 DAY DRYING SHRINKAGE OF 000x10⁴ mm/m
 - DETERMINED IN ACCORDANCE WITH AS 1012.13
 - MAX WATER TO BINDER MATERIAL RATIO OF 0.40
 3. UNLESS OTHERWISE INDICATED GROUT SHALL BE 50MPa NON-SHRINK.
 4. CONCRETE SHALL BE CURED IN ACCORDANCE WITH AS 3600.
 5. CONSTRUCTION JOINTS IN POSITIONS OTHER THAN THOSE INDICATED ON THE DRAWINGS SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACING CONCRETE.
 6. A WATERPROOF (0.2mm POLYETHENE FILM) MEMBRANE SHALL BE PLACED UNDER ALL FOUNDATIONS AND SLABS POURED ON GROUND.
- TO AS 1214 U.N.O.
9. BOLT HOLE CLEARANCE FOR STRUCTURAL CONNECTIONS (EXCLUDING BASE PLATES) SHALL BE 2mm U.N.O.
 10. ALL BOLT SPACING AND EDGE DISTANCES SHALL BE THOSE SPECIFIED IN AS 4100 U.N.O.
 11. STAINLESS STEEL BOLTS SHALL BE LUBRICATED WITH A SUITABLE MOLYBDENUM DISULPHIDE LUBRICANT TO PREVENT BINDING.
 12. THERE SHALL BE NO DIRECT CONTACT BETWEEN DISSIMILAR METALS WITHOUT WRITTEN APPROVAL FROM ENGINEER. SEPARATION SHALL BE PROVIDED BY AN APPROVED SYNTHETIC INSULATION MATERIAL.
 13. ALL WELDS SHALL BE CATEGORY SP (STRUCTURAL PURPOSE) TO AS 1554 USING E49XX OR W60XX CONSUMABLES U.N.O.
 14. ALL WELDS SHALL BE 10mm CONTINUOUS FILLET WELDS ALL AROUND (BOTH SIDES) U.N.O.

REINFORCEMENT:

18. WELDING SYMBOLS USED ON DRAWINGS ARE IN ACCORDANCE WITH AS 1101.3, ALTERNATIVELY THE FOLLOWING MAY APPLY:
 - CPW: CONTINUOUS FILLET WELD
 - CPBW: COMPLETE PENETRATION BUTT WELD
17. THE FINISHED SURFACE AND PROFILE OF ALL WELDING SHALL BE SMOOTH AND FREE FROM SHARP EDGES OR CREVICES, ALL SLAG, WELD SPATTER, POROSITY AND IRREGULAR WELD CONTOURS SHALL BE TOTALLY REMOVED, THE WELD SURFACE SHALL BE REPLACED AND GROUND AS DIRECTED BY THE ENGINEER UNTIL A
1. REINFORCEMENT SHALL BE STORED CLEAR OF THE GROUND AND PROTECTED AGAINST SALT WATER SPRAY AND OTHER CONTAMINANTS.
2. ALL REINFORCEMENT SHALL BE POSITIVELY SUPPORTED BY PLASTIC BAR CHAIRS OR SIMILAR, USE METAL PANS UNDER THESE WHERE SEATING ON GROUND.
3. ALL LOOSE BARS ARE TO BE TIED WITH SOFT IRON TIE WIRE OR PATENT BINDERS.
4. MINIMUM COVER FOR ALL REINFORCING SHALL BE 75mm.

5. MINIMUM LAP LENGTHS SHALL BE AS FOLLOWS U.N.O.

CONCRETE GRADE	MIN LAP LENGTH (mm)	850
BAR DIAMETER		
N12	350	
N16	500	
N20	600	
N24	750	
N28	850	
N32	1150	
N36	1350	

6. REINFORCEMENT IS SHOWN DIAGRAMMATICALLY; IT IS NOT NECESSARILY SHOWN IN TRUE PROJECTION.
7. REINFORCEMENT SHALL CONFORM WITH A529.2S 467.1. R-DENOTES STRUCTURAL GRADE (GRADE 250 R) PLAIN ROUND BARS.
N-DENOTES HOT ROLLED DEFORMED BARS (GRADE 500).
8. IN SLABS AND BEAMS WITH LONG CONTINUOUS BARS, SPICES SHALL BE STAGGERED IN ADJACENT BARS BY AT LEAST MINIMUM OF 1.3 TIMES THE MINIMUM LAP LENGTH FROM END OF BAR TO END OF ADJACENT BAR.
9. AT POSITIONS WHERE MORE THAN 50% OF REINFORCEMENT IS SPLICED, LAP LENGTHS SHALL BE MULTIPLIED BY 1.25.

FORMWORK:

1. ALL FORMWORK SHALL COMPLY WITH AS30810 AND ALL GAPS SHALL BE SEALED.
2. ALL EXTERNAL NINETY DEGREE CORNERS TO HAVE 20 x 20 CHAMFER U.N.O.
3. FORMS SHALL BE AIR SWEEP AND LOOSE DEBRIS REMOVED PRIOR TO POURING CONCRETE.
4. ALL FORMWORK FOR CONCRETE SHALL BE CLASS 2 FINISH.

CAISSON PILING:

1. SUPPLY AND INSTALLATION OF PILES SHALL COMPLY WITH AS 2159 "PILE DESIGN AND INSTALLATION".
2. ALL STEEL PILES SHALL HAVE A MINIMUM YIELD STRENGTH OF 350 Mpa.
3. SPLICES IN PILES SHALL BE C.P.B.W. CATEGORY SP (STRUCTURAL PURPOSE) J.N.O.
4. ALL MAIN WHARF PILES ARE 22m LONG. PILES TO BE INSTALLED TO FULL LENGTH FROM SPECIFIED TOP RL OR TO REFUSAL IN HARD LAYER AT -14.5m LAT OR DEEPER.
5. THE BARGE RAMP CELL PILES TO BE INSTALLED TO FULL NOMINATED SHEET LENGTH OR HALF SHEET LENGTH FROM NOMINATED TOP RL OR TO RL -13.5m LAT FOR FULL SHEETS IN HARD LAYER.
6. ALL PILES TO NOTE FINAL INSTALLED DEPTH AND EXPERIENCED INSTALLATION CONDITIONS.

PROTECTIVE COATINGS:

1. PROTECTIVE COATINGS TO ALL PILES SHALL BE IN ACCORDANCE WITH THE SPECIFICATION U.N.O..

2. FULLY PAINT ALL WELDED Y PILES AND FENDER CARRIERS.
3. PROTECTIVE COATINGS CAN BE APPLIED TO THE OF THE SEAWARD OUTER FACE OF ALL PILES.

GENERAL:

1. STAGE 1 FENDERING FOR THE WHARF IS PROVIDED BY THE WHARF OPERATOR THROUGH THE USE OF SELF FENDERING BARGES AND PNEUMATIC FENDERS AS REQUIRED.

MOORING BOLLARDS:

1. 100K TEE HEAD MOORING BOLLARDS ARE DE-RATED TO 30T FOR STAGE 1.
2. FOR STAGE 2 THE DE-RATED BOLLARDS WILL BE RE-INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS TO ACHIEVE FULL LOAD RATING
3. THE 50K MOORING BOLLARDS USED ON THE BARGE RAMP MAY HAVE ADDITIONAL STEEL REINFORCEMENT ADDED AFTER FINAL BOLLARD SUPPLIER HAS BEEN CONFIRMED. CHECK PRIOR TO BARGE RAMP POUR.

FILL AND COMPACTION:

1. FINAL COMPACTION DETAIL SUBJECT TO ASSESSMENT POST CELL DRAWING AND PRIOR TO PLACING GEOTEXTILE LAYER.
2. EARTHWORKS SHALL BE CARRIED OUT BY FILL OPERATIONS TO ACHIEVE LEVELS IN ACCORDANCE WITH THE FINISHED SURFACE LEVELS AND MINIMUM DEPTHS SHOWN ON THE DRAWINGS.
3. CELL AREA SELECTED FILL MATERIAL SHALL BE ROAD BASE MRST105, CBR 70 AT 5.0mm PENETRATION, PLACED IN MAXIMUM 200mm LAYERS APART FROM THE UPPER TWO LAYERS WHICH SHALL BE AT 100mm.

4. SELECTED FILL MATERIAL SHALL BE SUPPLIED AND COMPACTED WHERE NECESSARY, TO OBTAIN GEOTECHILE LEVEL. FILL MATERIAL SHALL BE APPROVED MATERIAL.
5. EXCAVATION SHALL BE CARRIED OUT WHERE NECESSARY, TO OBTAIN SUBGRADE LEVEL. SELECTED FILL MATERIAL SHALL BE SUPPLIED AND COMPACTED WHERE NECESSARY TO OBTAIN SUBGRADE LEVEL.
8. ALL EARTHWORKS FILL AND EXCAVATED AREAS SHALL BE COMPACTED TO 98% STANDARD MAXIMUM DRY DENSITY (AS 1289 S.1.1) WITH TOP 150mm RUNNING COURSE 100% MODIFIED.
7. COMPACTION TEST RESULTS AND TEST LOCATIONS FOR SUBGRADE AND EARTHWORKS FILL TESTING SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER PRIOR TO PLACING PAVEMENT MATERIALS.
8. COMPACTION TESTS ARE REQUIRED FOR ALL CELLS AND SHALL BE CARRIED OUT AT THE RATE OF ONE TEST SET PRIOR TO PLACING THE GEOTECHILE AND MID AND FINAL FILL LEVEL. A TEST SET IS TWO TESTS PER SMALL CELL AND FOUR TEST PER LARGE CELL.

- 9. FINAL AND INTERIM PAVEMENT DESIGN AND DETAIL OVER THE CELL STRUCTURES TO CONSIDER FUTURE**

DESIGN INTEGRATION WITH LANDSIDE PAVEMENT WORKS.

10. ALLOWANCE SHALL BE MADE FOR QUALITY TESTING (INCLUDING SOAKED CBR) FOR EACH TYPE OF IMPORTED STRUCTURAL FILL MATERIAL, TO SHOW COMPLIANCE WITH SPECIFIED REQUIREMENTS.

11. ALL FILL AND COMPACTION REQUIREMENTS WILL BE SPECIFIED WITH INPUT FROM THE DRIVING CONDITIONS OF THE CELLS AND TESTING PRIOR TO BACKFILLING IN THE CELL AREA.

WELDING OF JUNCTION PILES:

1. JUNCTION PILES ARE SPECIAL PURPOSE WELDS.
2. FULL STRENGTH BUTT WELDS ARE REQUIRED 480MPa GRADE (FP BW480SP)
3. WELDING METHOD, EQUIPMENT, MATERIALS AND TESTING METHODS WILL NEED TO BE APPROVED BY THE ENGINEER SUPPLIED BY THE WELDING CONTRACTOR.



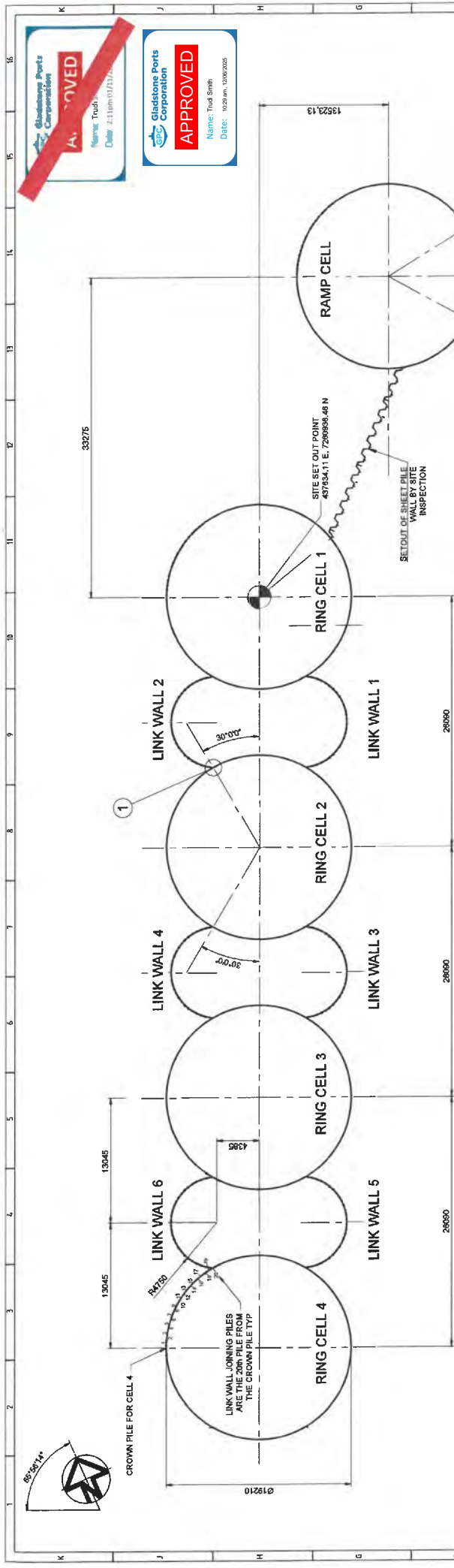
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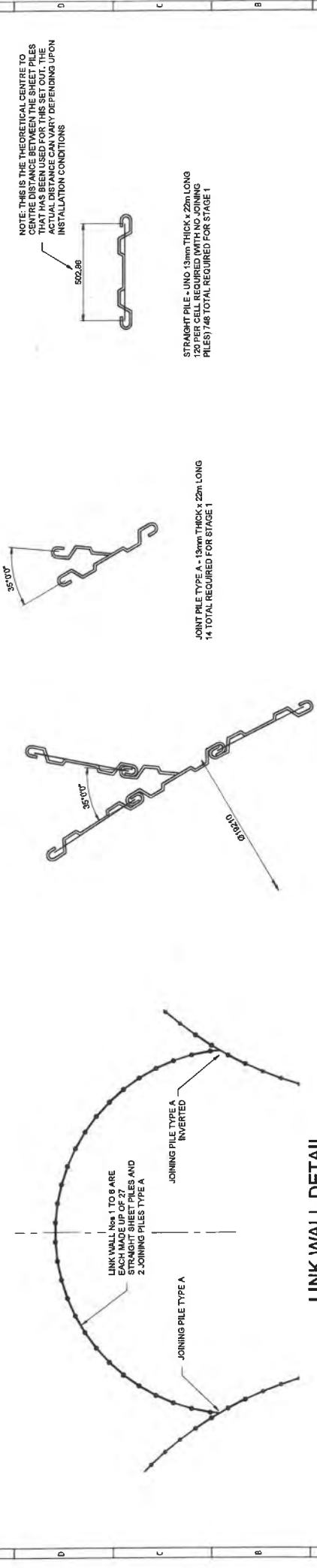
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- 9. FINAL AND INTERIM PAVEMENT DESIGN AND DETAIL OVER THE CELL STRUCTURES TO CONSIDER FUTURE**

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RING CELL SET OUT PLAN
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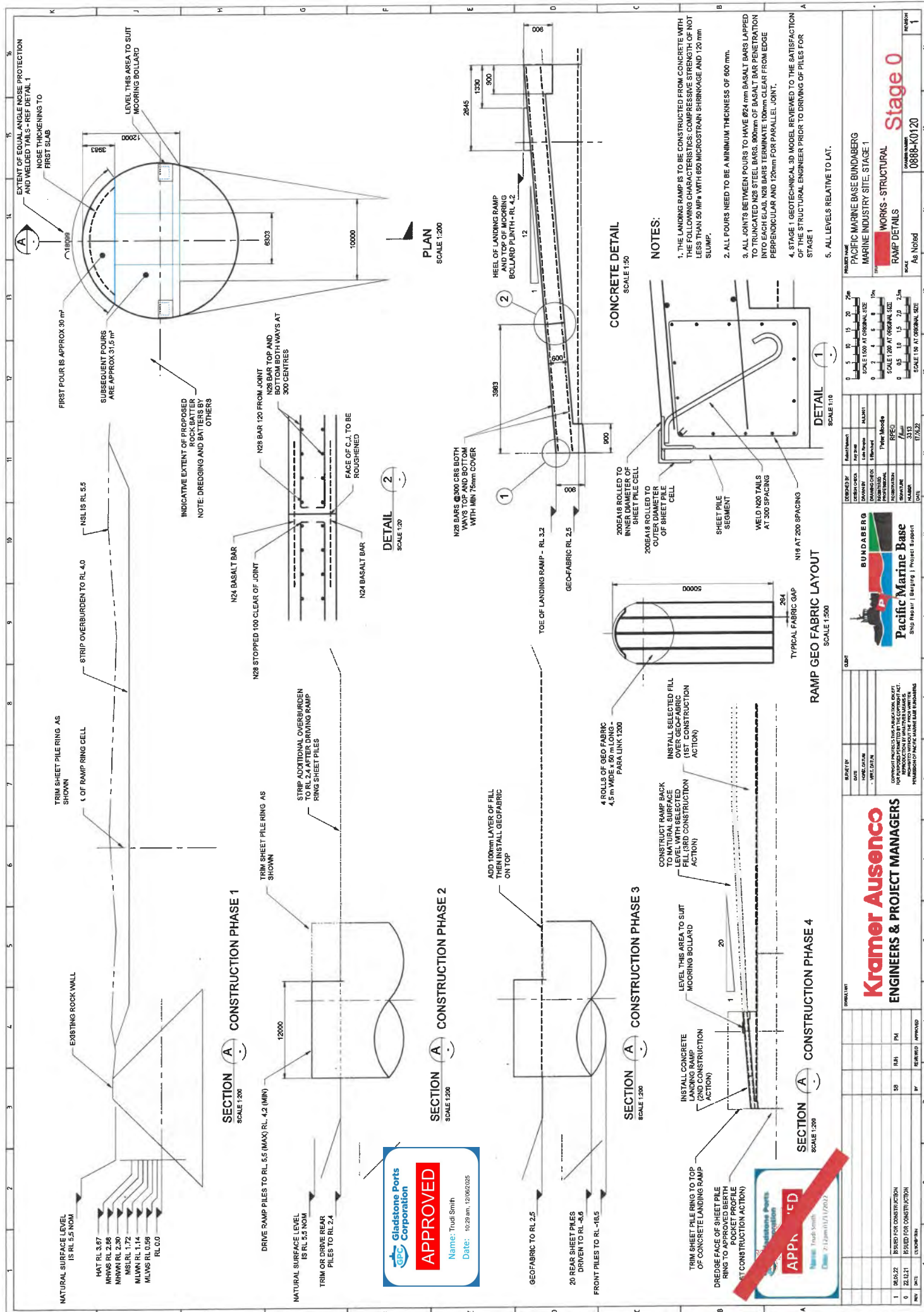


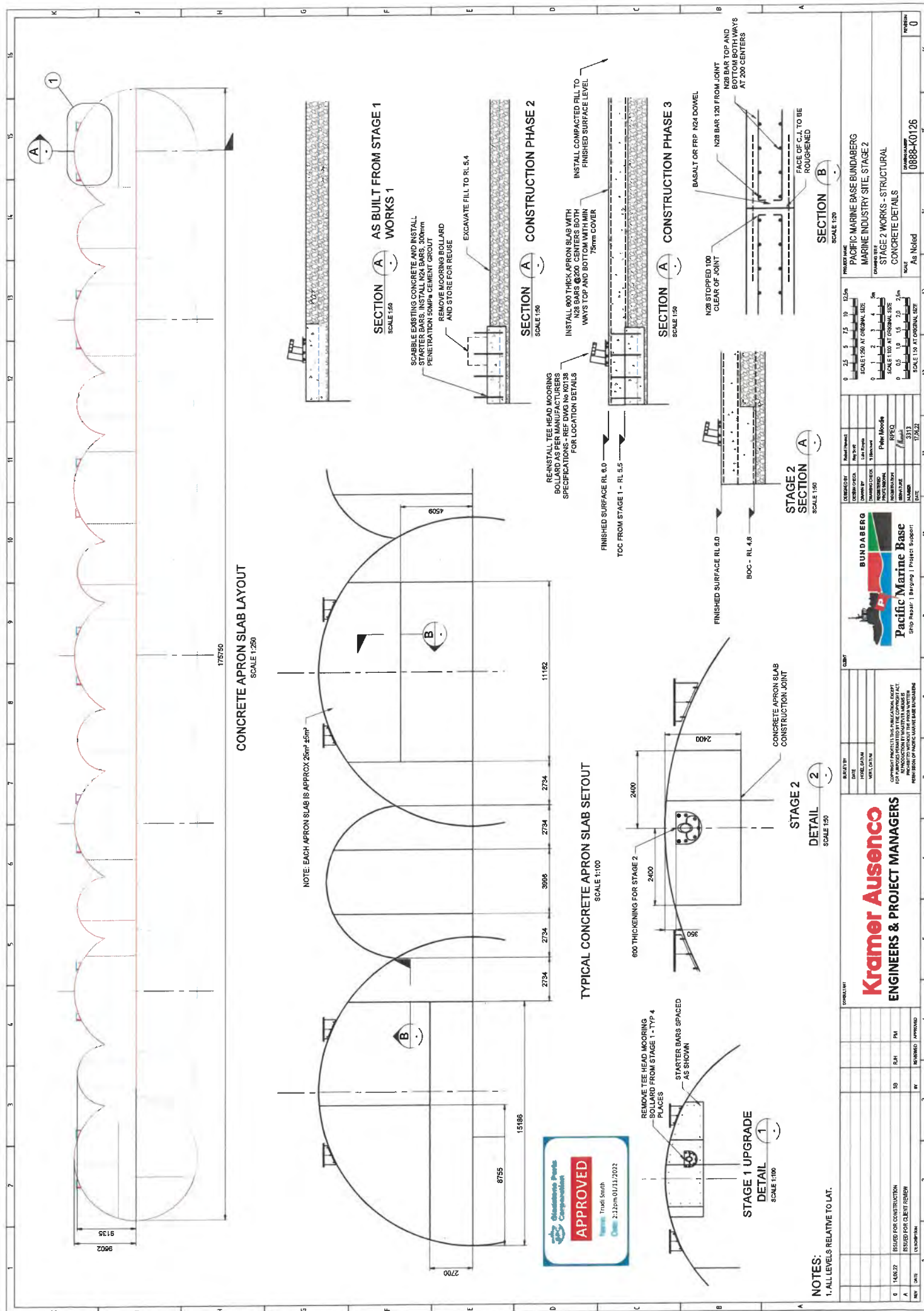
LINK WALL DETAIL
SCALE 1:50

- NOTES:**
1. ALL LEVELS RELATIVE TO LAT.
 2. STAGE 1 GEOTECHNICAL 3D MODEL REVIEWED TO THE SATISFACTION OF THE STRUCTURAL ENGINEER PRIOR TO DRIVING OF PILES FOR STAGE 1

DETAIL
SCALE 1:10

Kramer Ausenco ENGINEERS & PROJECT MANAGERS		BUNDABERG Pacific Marine Base Ship Repair Dredging Project Support		PACIFIC MARINE BASE BUNDABERG MARINE INDUSTRY SITE, STAGE 1 WORKS - STRUCTURAL CELL SET OUT		PROJECT NAME 0888-K0115
1 06.08.22 0 22.12.21 REV DATE DESCRIPTION	30 R-1 FM	BY REVIEWED APPROVED	1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16	1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16	1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16	1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16





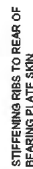
NOTES:



CONE FENDER CARRIER.
 REF DWG No K0137 FOR
 DETAILS



CONE FENDER CARRIER.
 REF DWG No K0137 FOR
 DETAILS



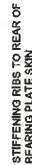
**DOUBLE FENDER
PANEL**



**DOUBLE CONE FENDER
ASSEMBLY SIDE VIEW**
SCALE 1:20



**SINGLE CONE FENDER
ASSEMBLY PICTORIAL**
SCALE 1:50



**SINGLE FENDER
PANEL**

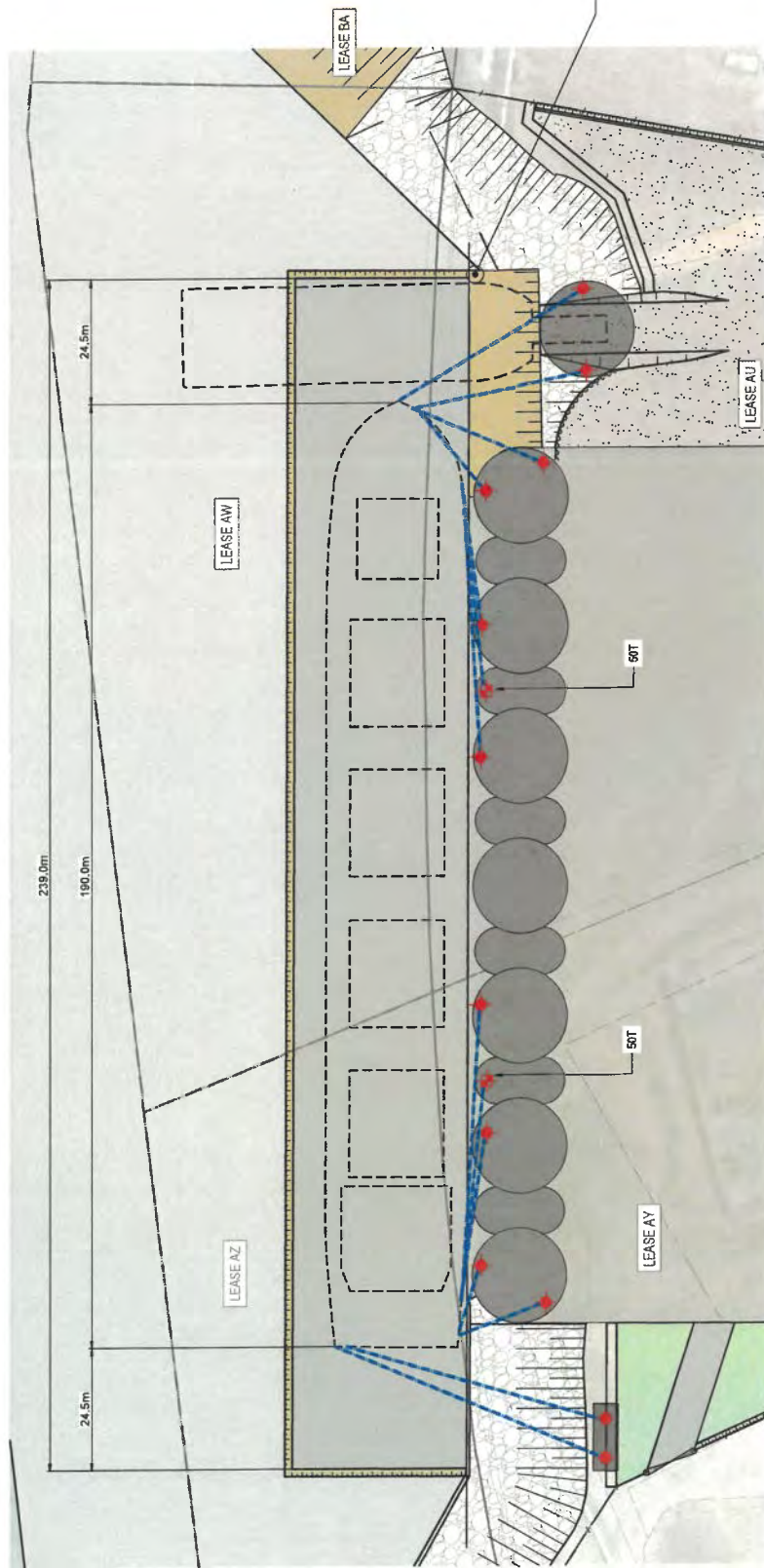


NOTES

1. ALL LEVELS RELATIVE TO LAT.
2. THE FENDER PANEL ASSEMBLY IS TO BE PROVIDED BY THE CONE FENDER SUPPLIER
3. THE FENDER PANEL MATERIALS, MATERIAL THICKNESS AND SPACING TO BE DETERMINED BY THE CONE FENDER SUPPLIER

NOTES:
1. ALL LEVELS RELATIVE TO LAT.

[illegible]



MOORING PLAN
SCALE 1:500

LEGEND - CIVIL

- LEASE BOUNDARY
CADASTRE BOUNDARY
FENCE
HINGED GATE ON POST

LEGEND - MARITIME

- | | |
|---|----------------------|
|  | DEPARTURE CHANNEL |
|  | BERTH |
|  | 1 in 3 DREDGE BATTER |
|  | ROCK PROTECTION |

NOTES

- NOTES**
1. FOR GENERAL NOTES REFER TO DRAWING 0000-00001.
 2. WHERE SHOWN, SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE.
 3. MOORING LAYOUT FOR STAGE 2 DESIGN VESSEL



SURVEY OF SOVIET REFERENCES
 INSTITUTE S-8
 P O BOX 29271
 WASHINGTON DC 20056
 PH 3853
 AT ILLANO BAS-10
 -AT (PHONE - WHERE NOTED)
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LONJAC
CIVIL • MARINE • MANAGEMENT

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Electra,
Queensland, 4670
Ph +61 (0) 296 002
Email: info@mosaic.net.au

[illegible]

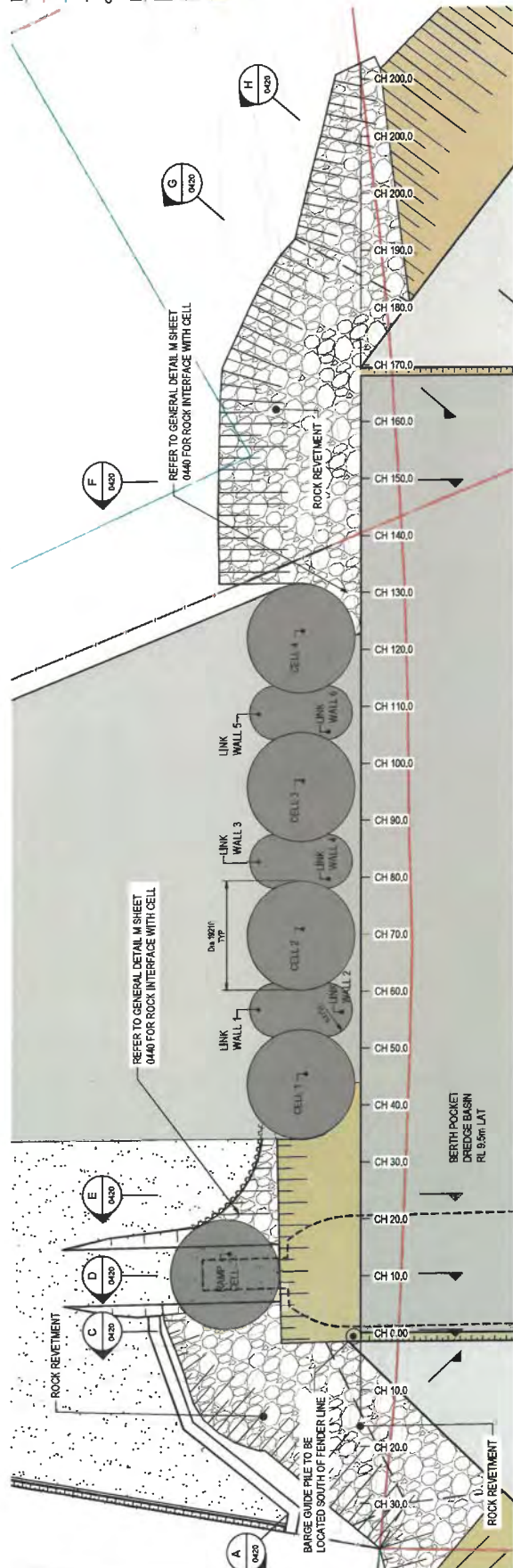
**PACIFIC MARINE BASE BUNDABERG
MARINE INDUSTRY SITE**

DRAWING TITLE
STAGE 2
MOORING PLAN

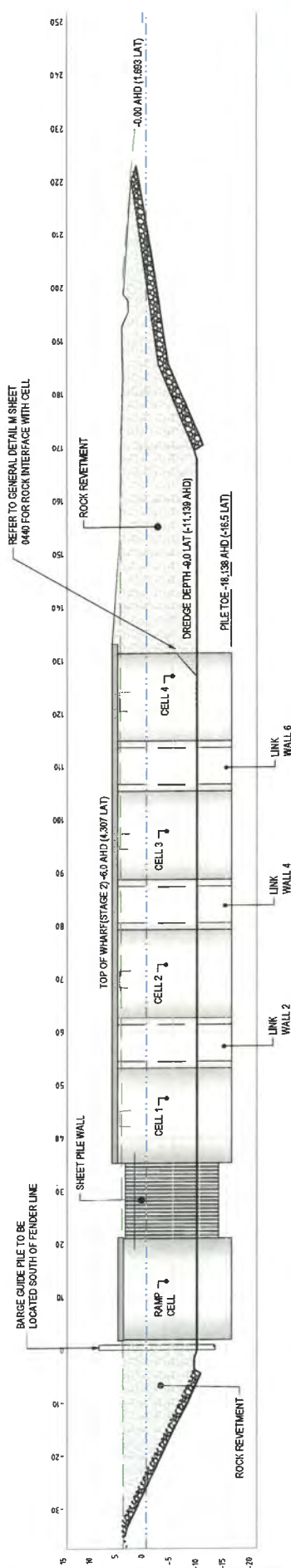
ALL
AS SHOWN

0888 - K0320

411



QUAY WALL PLAN
SCALE 1/400



QUAY WALL ELEVATION
SCALE 1:400

[illegible]

Attachment 3 Original Decision Notice

30 November 2022

Pacific Marine Base Bundaberg
C/- Saunders Havill Group, Julian Wooderson
9 Thompson Street
BOWEN HILLS QLD 4006

Dear Mr Wooderson,

NEGOTIATED DECISION NOTICE – DA2018/10/04

(GIVEN UNDER SECTION 76(3) PLANNING ACT 2016 AND THE PROVISIONS OF THE PORT OF BUNDABERG LAND USE PLAN 2020)

Gladstone Ports Corporation Limited received your change representations under section 75 of the *Planning Act 2016* on 18 November 2022. ***This negotiated decision notice replaces the decision notice dated 1 November 2022 and 29 November 2022 (due to typographical error).***

The changes agreed to are:

1. Amend condition 41; and
2. Amend typographical error on site section plans.

1. Application Details

Application Number:	DA2018/10/04
Applicant Name:	Pacific Marine Base Bundaberg
Applicant Details:	C/-Saunders Havill Group, Julian Wooderson 9 Thompson Street BOWEN HILLS QLD 4006 Email: julianwooderson@saundershavill.com
Decision Details:	Change application (Change Other) to a Development approval DA2018/10 for combined Material Change of Use and Operational Works to include: <ol style="list-style-type: none">1. Commercial vessel wharf (Stage 1), including Material Change of use for Port Infrastructure, Port Services – Dredging and Dredge Material Placement and Reclamation;2. Oversize Overmass Cargo Facility (Stage 2), including Material Change of Use for Loading and Unloading infrastructure and activities;3. Environmentally Relevant Activities (ERA 16 Dredging)

	<p>4. Operational Works – tidal works that is dredging, reclamation and construction of sheet pile wharf, dock, additional piles, storm water outfall and navigational aids and</p> <p>5. Request to extend the Currency Period for the Operational Works component (04/1/2022) to align with the MCU currency period (04/11/2025).</p>
Location Street Address	Buss Street and 45 Wharf Drive, Burnett Heads
Location Real property description:	<p><u>Dry Area</u></p> <ul style="list-style-type: none"> • Lease AU on SP305678 and Easement AX in Lot 501 on SP279707 • Lease AY on SP335869 in Lot 501 on SP279707 • Lots 5 and 6 on RP7193 • Lot 6 on SP166192 <p><u>Wet Lease Area</u></p> <ul style="list-style-type: none"> • Sub-Lease AW on SP305678 in Lot 287 on SP166199 • Sub-Lease AZ on SP335869 in Lot 287 on SP166199 • Sub-Lease BA on SP335870 in Lot 287 on SP166199 • Sub-Lease BB on SP335870 in Lot 287 on SP166199 • Sub-Lease BC on SP335870 in Lot 276 on SP128643 <p>Unallocated State Land (USL) adjacent to Lot 287 on SP166199</p>
Decision Notice Issued:	1 November 2022
Date Appeal Period Suspended:	9 November 2022
Date Representations Received:	18 November 2022
Land Owner:	Gladstone Ports Corporation Limited Department of Resources

2. Details of Proposed Development

Request to Change approval for the Pacific Marine Base Bundaberg to remove ship maintenance and repair facility and include reference to Pacific Marine Base Bundaberg Oversize Overmass (OSOM) Cargo Facility (including extension of commercial wharf).

3. Details of Decision

This development application was **decided** on **4 November 2019** and the **change other decided on 27 October 2022**.

This development application is **approved in full with conditions**. These conditions are set out in Attachment 1 and are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

4. Details of the approval

Development permit -

1. Commercial vessel wharf (Stage 1), including Material Change of use for Port Infrastructure, Port Services – Dredging and Dredge Material Placement and Reclamation;
2. Oversize Overmass Cargo Facility (Stage 2), including Material Change of Use for Loading and Unloading infrastructure and activities;

Gladstone Ports Corporation Limited

T: +61 7 4976 1333 • Fax: +61 7 4972 3045 • 40 Goondoon St/PO Box 259, Gladstone QLD, 4680, AUSTRALIA • www.gpcl.com.au

ACN 131 965 896 ABN 96 263 788 242

3. Environmentally Relevant Activities (ERA 16 Dredging)
4. Operational Works – tidal works that is dredging, reclamation and construction of sheet pile wharf, dock, additional piles, storm water outfall and navigational aids

5. Conditions

This approval is subject to the conditions in Attachment 1.

6. Further development permits

Please be advised that the following development permits are required to be obtained before the development can be carried out –

1. Any Building Work approvals required;
2. Any Plumbing and Drainage Work approvals required; and
3. Any Operational Works approvals that do not meet the relevant 'accepted subject to requirements' assessment.

7. Properly made submissions

Not applicable – No part of the application required public notification.

8. Approved plans and specifications

Copies of the following plans, specifications and/or drawings are attached.

Drawing/report title	Prepared by	Date	Reference no.	Version
Aspect of development: Material Change of Use and Operational Work for marine industry base – assessable development on Strategic Port Land and Strategic Port Land tidal area				
<i>Marine Industry Site – Construction Environmental Management Plan</i>	<i>Pacific Marine Base Bundaberg</i>	<i>01/12/2021</i>	<i>211108 R04 PMB CEMP</i>	<i>-</i>
<i>Marine Industry Site – Operational Environmental Management Plan</i>	<i>BMT</i>	<i>27/06/2022</i>	<i>A11245</i>	<i>Ver 1</i>
<i>Marine IndustRy Site – Dredge Management Plan</i>	<i>BMT</i>	<i>27/06/2022</i>	<i>A11245</i>	<i>Ver 1</i>
<i>Bundaberg Marine Industry Site – Sediment Characterisation Report</i>	<i>BMT</i>	<i>27/06/2022</i>	<i>A11245</i>	<i>Ver 2</i>
<i>General layout plan</i>	<i>LONJAC</i>	<i>25/06/2022</i>	<i>0888-C0100</i>	<i>Rev A</i>
<i>Master Services – Site Plan</i>	<i>LONJAC</i>	<i>25/06/2022</i>	<i>0888-C0950</i>	<i>Rev A</i>
<i>Master Services – Site Facilities Plan</i>	<i>LONJAC</i>	<i>25/06/2022</i>	<i>0888-C0960</i>	<i>Rev A</i>
<i>Site Facilities Detail</i>	<i>LONJAC</i>	<i>25/0/2022</i>	<i>0888-C0101</i>	<i>Rev A</i>
<i>Staging plans</i>	<i>LONJAC</i>	<i>25/06/2022</i>	<i>0888-C0200</i>	<i>Rev A</i>
<i>Site access plan and turning paths</i>	<i>LONJAC</i>	<i>25/06/2022</i>	<i>0888-C0390</i>	<i>Rev A</i>
<i>Pavement Plan</i>	<i>LONJAC</i>	<i>25/06/2022</i>	<i>0888-C0600</i>	<i>Rev A</i>
<i>Earthworks Plan</i>	<i>LONJAC</i>	<i>25/06/2022</i>	<i>0888-C0400</i>	<i>Rev A</i>
<i>Grading Plan</i>	<i>LONJAC</i>	<i>25/06/2022</i>	<i>0888-C0500</i>	<i>Rev A</i>
<i>Grading Plan</i>	<i>LONJAC</i>	<i>25/06/2022</i>	<i>0888-C0510</i>	<i>Rev A</i>
<i>Site sections – Sheet 1 of 4</i>	<i>LONJAC</i>	<i>25/06/2022</i>	<i>0888-C0620</i>	<i>Rev A</i>
<i>Site sections – Sheet 2 of 4</i>	<i>LONJAC</i>	<i>25/06/2022</i>	<i>0888-C0620</i>	<i>Rev A</i>

Drawing/report title	Prepared by	Date	Reference no.	Version
Site sections – Sheet 3 of 4	LONJAC	25/06/2022	0888-C0620	Rev A
Site sections – Sheet 4 of 4	LONJAC	25/06/2022	0888-C0620	Rev A
<i>Services – Electrical Site Reticulation Plan</i>	LONJAC	25/06/2022	0888-E0100	Rev A
<i>Service – Communications Site Reticulation Layout Plan</i>	LONJAC	25/06/2022	0888-E0300	Rev A
<i>Services – Site CCTV Layout Plan</i>	LONJAC	25/06/2022	0888-E0500	Rev A
<i>Services – Site Potable Water Reticulation Plan</i>	LONJAC	25/06/2022	0888-H0100	Rev A
<i>Services – Site Fire Water Reticulation Plan</i>	LONJAC	25/06/2022	0888-H0200	Rev A
<i>Services – Site Sewer Water Reticulation Plan</i>	LONJAC	25/06/2022	0888-H0300	Rev A
<i>Services – Stormwater Layout and Catchment Plan</i>	LONJAC	25/06/2022	0888-H0400	Rev A
<i>Services – Stormwater Layout – Site Facilities</i>	LONJAC	25/06/2022	0888-H0410	Rev A
<i>Maritime Notes and Typical Section</i>	LONJAC	25/06/2022	0888-K0000	Rev A
<i>Maritime Layout</i>	LONJAC	29/06/2022	0888-K0020	Rev B
<i>Stage 1 Works – Structural General Notes</i>	Kramer Ausenco	08/06/2022	0888-K0101	Rev 1
<i>Stage 1 Works – Structural Cell Set Out</i>	Kramer Ausenco	08/06/2022	0888-K0115	Rev 1
<i>Stage 2 Works – Structural Cell Set Out</i>	Kramer Ausenco	08/06/2022	0888-K0116	Rev 0
<i>Stage 1 Works – Structural Ramp details</i>	Kramer Ausenco	08/06/2022	0888-K0120	Rev 1
<i>Stage 2 Works – Structural Concrete Details</i>	Kramer Ausenco	14/06/2022	0888-K0126	Rev 0
<i>Stage 2 Works – Structural Wharf Typical Sections and Details</i>	Kramer Ausenco	16/06/2022	0888-K0127	Rev 0
<i>Stage 2 Works – Structural Fender and Bollard Layout</i>	Kramer Ausenco	16/06/2022	0888-K0138	Rev 0
<i>Stage 2 Works – Structural Cone Fender Panel Details</i>	Kramer Ausenco	14/06/2022	0888-K0139	Rev 0
<i>Stage 2 Mooring Plan</i>	LONJAC	25/06/2022	0888-K0320	Rev A
<i>Stage 1 Rock Wall Plan and Elevation</i>	LONJAC	25/06/2022	0888-K0410	Rev A
<i>Stage 1 Rockwall Typical Sections</i>	LONJAC	25/06/2022	0888-K0420	Rev A
<i>Stage 2 Rock Wall Plan and Elevation</i>	LONJAC	25/06/2022	0888-K0430	Rev A
<i>Stage 2 Rockwall Typical Sections</i>	LONJAC	25/06/2022	0888-K0444	Rev A
<i>Stage 1 Dredging Plan</i>	LONJAC	25/06/2022	0888-K0510	Rev A
<i>Stage 1 Volumes Plan</i>	LONJAC	25/06/2022	0888-K0520	Rev A
<i>Stage 2 Dredging Plan</i>	LONJAC	25/06/2022	0888-K0550	Rev A
<i>Stage 2 Volumes Plan</i>	LONJAC	25/06/2022	0888-K0560	Rev A
<i>Stages 1 and 2 Typical Sections and Details Sheet 1</i>	LONJAC	25/06/2022	0888-K0570	Rev A

Drawing/report title	Prepared by	Date	Reference no.	Version
Stages 1 and 2 Typical Sections and Details Sheet 2	LONJAC	25/06/2022	0888-K0571	Rev A
Stages 1 and 2 Typical Sections and Details Sheet 3	LONJAC	25/06/2022	0888-K0573	Rev A
Stages 1 and 2 Typical Sections and Details Sheet 4	LONJAC	25/06/2022	0888-K0573	Rev A
Stages 1 and 2 Typical Sections and Details Sheet 5	LONJAC	25/06/2022	0888-K0574	Rev A
Stages 1 and 2 Dredging and Reclamation Plan	LONJAC	25/06/2022	0888-K0600	Rev A
Stages 1 and 2 Sit Cross Sections Sheet 1	LONJAC	25/06/2022	0888-K0650	Rev A
Stages 1 and 2 Site Cross Sections Sheet 2	LONJAC	25/06/2022	0888-K0651	Rev A
Stages 1 and 2 Site Cross Sections Sheet 3	LONJAC	25/06/2022	0888-K0652	Rev A
Stages 1 and 2 Site Cross Sections Sheet 4	LONJAC	25/06/2022	0888-K0653	Rev A
Stage 1 Beacon Relocation Plan	LONJAC	25/06/2022	0888-K0710	Rev A
Stage 2 Beacon Relocation Plan	LONJAC	25/06/2022	0888-K0720	Rev A
Administration Building Plan and Elevations	LONJAC	25/06/2022	0888-A0210	Rev A
Security / Gatehouse Plan and Elevations	LONJAC	25/06/2022	0888-A0211	Rev A
Baseline Environmental Site Assessment – Bundaberg Marine Industry Site	Butler Partners	28/06/2022	R18-140C	-
Bundaberg Marine Industry Site – Sediment characterisation Report	BMT	27/06/2022	A11245	Ver 02

9. Currency period for the approval

This development approval will lapse at the end of the period set out in section 85 of the *Planning Act 2016* OR

- For a Material Change of Use – this approval lapses if the first change associated with this approval does not happen within 6 years after this decision date – referenced in section 85 of the *Planning Act 2016*.
- For Operational Works this approval lapses if the works associated with this approval does not substantially start within 6 years after this decision date – referenced in section 85 of the *Planning Act 2016*.

10. Rights of Appeal

The rights of applicants to appeal to a tribunal of the Planning and Environment court against decisions about a development application are set out in chapter 6, part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).

A copy of the relevant appeal provisions are attached.

For further information please contact Trudi Smith, Planning Specialist, on 07 4976 1314 or the undersigned on 07 4976 1287 or via email planning@gpcl.com.au .

Yours sincerely,

Erin Clark
Principal Planner

Cc: Wide Bay Burnett SARA
Bundaberg Regional Council

Enc. Attachment 1: Conditions of Approval
Part 1 – Conditions imposed by the assessment manager
Part 2 – Entity response
(SARA response dated 20 September 2022)

Attachment 2: Approved plans and specifications

Attachment 3: Extract of appeal provisions

Attachment 1 Conditions of Approval

PART 1: ASSESSMENT MANAGER CONDITIONS

In general the development proposal is in compliance with the requirements of Gladstone Ports Corporation Limited (GPC). This development approval is subject to each the following conditions which are stated by GPC, the Assessment Manager.

Part 1a: Approval sought under Port of Bundaberg Land Use Plan 2020

GENERAL

1. The proposed development must be carried out generally in accordance with the plans as lodged with the application except where modified by conditions of this permit. The Applicant must obtain a development or change approval for any proposed development, temporary or permanent that is inconsistent with the approved plans, prior to such works commencing.
2. Unless otherwise stated, all conditions must be completed prior to the commencement of the use.
3. Where additional "approval" is required under these conditions by the **Assessment Manager** for drawings or documentation the Applicant must submit for review, amend to the satisfaction of and obtain written acceptance from the **Assessment Manager**. Only in this manner can compliance with the condition be achieved.

Furthermore, the **Assessment Manager** will require no less than 20 business days, unless otherwise conditioned by the **Assessment Manager**, to assess the drawings or documentation. Should further information be required, the **Assessment Manager** will require a further 5 business **days**.

4. **Deleted.**
5. The Applicant must inform the **Assessment Manager** of completion of works within 14 days of practical completion of each stage of the development (excluding tidal works) and undertake a site inspection with the Assessment Manager. The Applicant must also certify that the development is constructed as per design and that the development has been constructed generally in accordance with the approved plans i.e. RPEQ certification for all civil works and tidal works and the appropriate certification for all building and plumbing works.
6. The **Applicant** must at its cost and expense, keep and maintain the development footprint, including existing services, in a state that is satisfactory to the Assessment Manager.

ENGINEERING & PLANNING

7. Prior to commencing works for each stage of development (**excluding tidal works**), the Applicant must submit to the Assessment Manager for approval the final 100% design 'for construction' drawings prepared by a suitably qualified person, including but not limited to:
 - (a) **General layout plan and staging plan drawn to an appropriate scale**
 - (b) **Landscape plan and any proposed entry treatments or signage**
 - (c) Earthworks (excavation and filling) including batters and final levels on site and surrounds;
 - (d) Stormwater infrastructure (for management of onsite and offsite / around site stormwater) and stormwater outfall;
 - (e) Pavement plan details plan;
 - (f) Utilities e.g. electricity and telecommunications;
 - (g) Outdoor lighting including security lighting
 - (h) Potable water and sewerage infrastructure;
 - (i) Fencing;
 - (j) Buildings and other structures and
 - (k) Waste storage areas and chemical and fuel storage areas; and

8. Prior to commencing works for each stage of development **for tidal works**, the Applicant must submit to the Assessment Manager for approval the final 100% design RPEQ certified 'for construction' drawings prepared by a suitable qualified person for tidal works, including but not limited to:
- (a) Berth pocket and access channel;
 - (b) Reclamation;
 - (c) Wharf;
 - (d) Sheet piling;
 - (e) Piles;
 - (f) **Barge unloading ramp;**
 - (g) Stormwater outfall; and
 - (h) any other tidal infrastructure within the project.
9. **Deleted.**
10. **Deleted.**
11. Any material which is deposited or any debris which falls or is deposited on tidal lands or into tidal waters during the construction of the approved development shall be by the Applicant at their cost and expense. The Applicant is to notify the Assessment Manager if any material or debris is deposited. Upon completion of the development, the Applicant is to provide a clearance survey of the development area to the **Assessment Manager** as certification that the seabed is clear of any material or debris.
12. If, as a result of the works, or other cause attributable to the Applicant any revetment wall or structure outside the approved work area is displaced, the Applicant at its cost and expense shall restore the revetment or structure to its former condition and take such other action as is necessary to ensure the stability of the bank or structure to the satisfaction of the Regional Harbour Master or the **Assessment Manager (as applicable to the location)**.
13. Upon completion of the relevant part or stage of works the Applicant must supply the Assessment Manager with RPEQ certified 'As Constructed' plans prepared by a suitable qualified person in hard copy (2 of) and electronic (CAD format) which illustrate all infrastructure and services installed on, under or over port land associated with the activity unless otherwise approved in writing by the Assessment Manager.
14. The **Applicant** is to supply the Assessment Manager with a copy of certification of all building and plumbing and drainage works upon completion of relevant works.
15. The **Applicant** is to notify the Assessment Manager of damage caused to any port infrastructure or services included but not limited to security related devices, buildings, fences, lighting, roads walkways and underground services or infrastructure as a result of this activity. The Applicant is to undertake the repairs directly in consultation with the Assessment Manager and Bundaberg Regional Council, however, depending upon the nature and location of the damage, Gladstone Ports Corporation Limited retains the right to undertake the repairs at the expense of the Applicant.
16. **Deleted.**
17. **Prior to the commencement of Stage 2 of the development, transparent site fencing must be provided to a minimum of 1.8m in height. Unless otherwise approved by the Assessment Manager, the fencing is to be black PVC plastic coated, chain wire mesh fence and black posts on the site boundary around the perimeter of the development site.**

STORMWATER AND DRAINAGE

18. During all stages and phases of construction, all stormwater within the lease area or stormwater that traverses the lease area is to be captured or diverted and discharged via an approved lawful point of discharge.

19. ***The approved development must not impede any existing stormwater flow paths from adjoining or undeveloped land outside the development footprint. The Applicant is to provide a corridor 10m in width to provide for construction and installation of a stormwater drain in an agreed location on the southern boundary of the proposed lease area with Gladstone Ports Corporation Limited.***
20. ***An Erosion and Sediment Control plan is to be provided to the Assessment Manager prior to each stage of works occurring. The plan must be prepared by an appropriately qualified person, in accordance with Best Practice Erosion and Sediment control (BPESC).***

ROADS, PARKING AND ACCESS

21. ***The temporary pavement site access (roadway) identified on Staging Plan 0888-C0200 is to be in place no longer than 12 months from the commencing of the use under Stage 1 (and prior to commencement of use of Stage 2). After this time, the access must be designed to a standard appropriate for its intended use and durability.***
22. Provide to the satisfaction of Bundaberg Regional Council, road widening and infill works at the Buss Street roundabout to accommodate the B-Double or other heavy vehicle truck movements. The works may be inclusive of, but not limited to, the provision of:
 - (a) reinforced concrete and pavement within the central island; and
 - (b) widening of the south eastern kerb and channel (right-turn out of the premises – southbound to ensure that the B-Doubles or other heavy vehicles can turn into Buss Street without crossing the centreline of the street.
23. ***The Applicant must consult with Bundaberg Regional Council regarding any proposed works within Council road reserves and obtain any Council approvals necessary prior to any works commencing.***
24. All vehicle parking must be accommodated within the lease area at all times. No trucks or other heavy vehicles are to queue offsite within the road reserve or elsewhere on vacant land during construction. Heavy vehicles must be able to be **accommodated** and turned/ **manoeuvred** on site.
25. ***Deleted.***
26. ***For each stage of development, a final Operational Traffic Management Plan (OTMP) suitable for proposed vehicles utilising the approved use, must be provided to the Assessment Manager for approval a minimum of 10 business days prior to the commencement of any use. All activities associated with construction must be carried out in accordance with the approved OTMP.***

UTILITIES

27. Sanitary Drainage and water supply must be provided to the satisfaction of the Bundaberg Regional Council and generally in **accordance with LONIJAC plan number HO400 Rev A and HO100 Rev A**. Works must include, **unless otherwise directed by Bundaberg Regional Council**, the following:
 - (a) the low pressure system (LPS), contained within the lease area, must be maintained and operated by the Lessee at all times;
 - (b) the LPS must connect to the pressure main via a Boundary connection Assembly – which is inclusive of two isolation valves pup out tee and non-return valve;
 - (c) the two manholes immediately downstream of the LPS pressure main must be lined;
 - (d) the first sewerage manhole upstream of the connection to Council's sewerage network must be provided with a property connection point (type A);
 - (e) connections to the existing water and sewage mains must be undertaken by Council and provided at no cost to Council.

28. Connection to Bundaberg Regional Council's water and sewer infrastructure is to be installed by Bundaberg Regional Council with the cost borne by Pacific Marine Base Bundaberg (PMBB).
29. ***Any connection required to Gladstone Ports Corporation Limited or Third Party Service Provider (i.e. Bundaberg Regional Council, Ergon) infrastructure must be established prior to the commencement of the use for relevant stage.***
30. ***Prior to the commencement of the use, provision of a new connection to reticulated water infrastructure located at the frontage of the site is to be installed with the cost being borne by the Applicant.***

OUTDOOR LIGHTING

31. Any site lighting used during construction should not impact on the visibility of Navigational Aids utilised for the primary shipping channels nor illuminate a landward glare beyond the site boundary. Lighting will be continually reviewed during construction and operations with respect to navigation and will be revised as required in response to negative impacts as they arise.
32. ***Prior to works commencing, the proponent must ensure all details of proposed mitigation measure/s to reduce skyglow from all external lighting associated with the development have been documented and are available for review by the Assessment Manager upon request.***
Note: the National Light Pollution Guidelines for Wildlife including marine turtles, seabirds and migratory shorebirds provides relevant guidance material.
33. ***Lighting must be designed to facilitate a safe and secure parking and/ or access area, lit to a standard appropriate for safe night time operations.***
34. ***Prior to the commencement of the use, design and install all external lighting in accordance with AS 4282 – Control of the obtrusive effects of outdoor lighting so as not to cause nuisance to resident, the airport, navigational aids or obstruct or distract pedestrian or vehicular traffic. Where an issue is identified or a validated complaint received, the Applicant must immediately rectify the matter to the satisfaction of the Assessment Manager.***

STREET IDENTIFICATION AND SIGNAGE

35. The street address of the development must be clearly visible and discernible from the primary frontage of the site by the provision of a street name and, where appropriate, the building/business name.
36. The Applicant must provide details of all proposed signage associated with the development, including signs on buildings, fences and posts and any proposed entry statements, to the Assessment Manager for approval (***where not 'Accepted, subject to requirements' under the relevant Land use plan***).

Note: It is the responsibility of the Applicant to determine whether building approval is required for any proposed signs and obtain necessary approval.

LANDSCAPING

37. The proponent must maintain the property frontage in a clean and tidy manner, and mow any grassed areas regularly.
38. ***Landscaping is to be provided along the Buss Street road frontage of the site excluding access/egress to a width of 2 metres.***

Note: Per relevant condition, landscaping can be placed behind the fence if transparent fencing is located on the front boundary.

39. Prepare and submit for approval to the Assessment Manager a Landscape plan in accordance with the applicable codes and guidelines of the Port of Bundaberg Land Use Plan 2020, and the conditions of this approval. The plan is to include, but not be limited to the following:

- (a) Details of any vegetated/landscaped drainage path areas/s;**
- (b) Minimum 2m wide landscaping to the front and side boundaries (where frontage to a road);**
- (c) Provision of mature trees and/or species to a minimum 3m height to Buss Street frontage of the site; and**
- (d) Details of any proposed irrigation systems;**

All landscaping must be carried out in accordance with an approved Landscaping plan.

DREDGING AND DREDGE MATERIAL DISPOSAL

Dredge Management Plan

40. Prior to the commencement of the dredging activity, a Dredge Management Plan (DMP)¹ for the activity must be developed and implemented, and the DMP must contain the following:

- (a) Clearly stated aims and objectives**
- (b) Description of dredging operation including:**
 - a. type of equipment to be used in dredging;**
 - b. volume of dredged material to be removed, and duration and timing of the dredging campaign;**
 - c. methods to be utilised for transporting dredged material; and**
 - d. dredged material disposal methods.**
- (c) Maps or plans showing:**
 - a. legend, north arrow and scale;**
 - b. boundaries of dredging operation;**
 - c. estimated zone of influence of sediment plumes;**
 - d. location of designated disposal sites;**
 - e. location of sensitive receptors; and**
 - f. all monitoring locations.**
- (d) A sediment characterisation report prepared in accordance with the requirements of the National Assessment Guidelines for Dredging (Commonwealth of Australia 2009) and National Environment Protection (Assessment of Site Contamination) Measure (NEPC 1999), which includes all areas of proposed dredging and includes at least one sample in the proposed berth pocket area (taken from behind the existing seawall).**
- (e) A detailed description of sediment plume-associated monitoring program including:**
 - a. sampling regime and methods; and**
 - b. monitoring sites.**
- (f) A detailed description of the assessment methodology to provide data in relation to trigger values that will define alert levels.**
- (g) Clearly set out data handling and evaluation procedures that demonstrate how exceedance of alert levels will be determined.**
- (h) Management actions to be initiated if alert levels are exceeded.**

Note: The Dredge Management Plan is subject to review and amendment as required by changing regulation, monitoring results or administering authority recommendations.

41. ***Placement of dredge material from Lot 501 must be undertaken within Lot 501 for this development, unless otherwise approved in writing by the Assessment Manager.***

Dredge Material Placement – MRA

42. ***At least 3 months prior to commencing a dredging campaign, the Applicant must obtain Gladstone Ports Corporation Limited's approval to use the Materials Relocation Area (MRA) from the Port of Bundaberg Manager.***

The Applicant must provide the following information in their application:

- (a) ***Volume of dredged material to be disposed within the MRA;***
 - (b) ***Quality of dredged material;***
 - (c) ***Schedule and timeframe of the proposed works***
43. ***The Applicant must submit to the Assessment Manager for approval a MRA Management Plan (MRAMP) at least 30 business days prior to the commencement of each capital and maintenance dredging campaign. When the dredge material is being placed within Gladstone Ports Corporation Limited's MRA, the MRAMP must be consistent with Gladstone Ports Corporation Limited's MRA Strategy and Layout Plan and must include but is not limited to:***
- (a) ***a dredge campaign program and schedule based upon the requirement of one user of the MRA at a time;***
 - (b) ***for capital and maintenance dredging, a sediment sampling and analysis report¹ is prepared for all areas of dredging in accordance with relevant guidelines for quality which demonstrates that the material is not contaminated and is suitable for disposal in the MRA.***
 - (c) ***a plan, including layout plans and engineering drawings prepared by a suitably qualified person for dredge material disposal transfer, pump-out methodology, placement, containment and management including:***
 - 1. ***infrastructure required inside the MRA such as bund walls, weir boxes etc.;***
 - 2. ***transfer methodology e.g. pipeline or truck, route/road crossings; and***
 - 3. ***maintenance of vehicle and pedestrian access e.g. along Buss Street;***
 - (d) ***a capacity analysis for the proposed disposal area within the MRA based upon the requirements of a minimum freeboard to top of bund of 1m to be maintained at all times;***
 - (e) ***an acid sulphate soil treatment and management plan that:***
 - 1. ***is prepared by a suitably qualified person;***
 - 2. ***provides methodology to be implemented for identifying acid sulphate soils placed by the Applicant that requires treatment separately from any existing acid sulphate soils in the MRA;***
 - 3. ***includes details of methodology of acid sulphate soil treatment, monitoring and verification of successful treatment; and***
 - 4. ***certification that the acid sulphate soil placed in the MRA by the Applicant has been treated to relevant criteria such that there is no risk of non-compliant pH or contaminant levels in future water discharges.***
 - (f) ***a discharge monitoring and sampling plan for the MRA to demonstrate compliance with relevant discharge water quality criteria;***
 - (g) ***proposed reporting requirements in the event of any non-compliance with approvals; and***
 - (h) ***a Traffic Management Plan prepared by a suitably qualified person for excavated or dredged material that is to be transferred to the MRA via truck or pipe***

Note - Sediment Analysis Plans used in the preparation of the Dredge Management Plan can be provided to satisfy this requirement.

44. **Deleted.**

45. The dredging and dredge placement activities must be undertaken in accordance with the **approved** DMP.

46. **Deleted.**

47. Upon completion of the dredging campaign and within one month of the final lawful release of discharge waters (unless otherwise agreed in writing) **by the Assessment Manager**, the Applicant must provide to the Assessment Manager for approval a report that documents the activities that have been carried out during the dredging campaign including:

- (a) Volume and type of material placed inside the disposal area within the MRA;
- (b) Final levels of disposal area within the MRA;
- (c) Acid sulphate soil treatment monitoring data and verification of completed successful treatment; and
- (d) Water quality discharge monitoring data and verification of completion of discharges.

CONSTRUCTION MANAGEMENT

48. The Applicant or their contractor is required to apply for and obtain from Gladstone Ports Corporation Limited a Permit to Dig/Excavate for each stage of development prior to commencing excavation or digging for each stage by contacting the Port Infrastructure Asset Manager on 4976 1332 or bartono@gpcl.com.au.

49. In the event a construction compound is required on Port land outside the project lease area for offices, laydown areas, employee car parking or stockpiling areas etc., the Applicant or their contractor must obtain a Consent to Enter from Gladstone Ports Corporation Limited's Property Advisor via 07 4976 1334 or property@gpcl.com.au or to works commencing.

50. Prior to each stage or new phase of construction works commencing on site, a Construction Traffic Management Plan (CTMP) prepared by a suitably qualified person specific to the construction works being undertaken must be submitted to the Assessment Manager for approval. The CTMP must include peak traffic movement data for each stage or new phase of works. The CTMP must be amended as necessary for any proposed construction works and any amendments to the CTMP are to be submitted to the Assessment Manager for approval.

51. The hours for the construction of the facility (i.e. operation of any machinery and/or other equipment other than a dredge) shall be restricted to between 7:00am and 6:00pm Monday to Saturday. No works shall be undertaken Sundays or on public holidays. Any variations to these times will be subject to the written approval of the Assessment Manager. Dredging activities shall be unrestricted i.e. can take place 7 days a week 24 hours per day.

52. No mud, dirt or other debris is to be tracked onto public roads during construction activities.

53. **Construction fill material must be uncontaminated and reused from onsite or sourced from a licensed quarry.**

54. **Where any excavation, including dredging, is to occur on Lot 501 any proposed waste disposal from the site is to be located on the site OR in accordance with relevant requirements for parcels on the Environmental Management Register.**

Note: Respective approvals must be obtained by the applicant where placement of material outside of this lot is proposed.

ENVIRONMENT

Acid Sulphate Soils

55. *In the event acid sulphate soils are disturbed/excavated during construction or operations, and require treatment on site or any land owned by GPC, a site specific acid sulphate management plan, including treatment locality and volumes and disposal locality, must be submitted to the Assessment Manager for approval prior to such works commencing. Upon approval of the management plan, the works must be carried out in accordance with this plan and the plan will form part of the Approved plans.*

Construction Environmental Management Plan

56. Prior to construction works commencing on site, a Construction Environmental Management Plan (CEMP) prepared by a suitably qualified person specific to the construction works must be submitted to the Assessment Manager for approval. The CEMP must be regularly reviewed and amended as staged works progress.

The construction works must be undertaken in accordance with the approved CEMP that ensures:

- (a) environmental risks are identified, managed and continually assessed and reviewed; and
- (b) that staff are trained and aware of their obligations under the CEMP; and
- (c) that reviews of environmental performance are undertaken at least annually; and
- (d) any amendments to the CEMP are to be submitted to the Assessment Manager for review and approval.

Operational Environmental Management Plan

57. Prior to operational works commencing on site, an Operational Environmental Management Plan (OEMP) prepared by a suitably qualified person specific to all operational works must be submitted to the Assessment Manager for approval. The OEMP must be regularly reviewed and amended as staged operations progress.

The operational works must be undertaken in accordance with the approved OEMP that ensures:

- (a) environmental risks including the potential to cause environmental nuisance are identified, managed and continually assessed; and
- (b) that staff are trained and aware of their obligations under the OEMP; and
- (c) that reviews of environmental performance are undertaken at least annually; and
- (d) any amendments to the OEMP are to be submitted to the Assessment Manager for review and approval.

Marine Fuel and Oil Spill Management Plan

58. Prior to operational works *(including tidal works)* for each relevant activity or stage commencing on site, a Marine Fuel and Oil Spill Management Plan (MFOSMP) specific to spills in the marine environment must be submitted to the Assessment Manager for approval. The MFOSMP must be regularly reviewed and amended as staged operations progress. The MFOSMP can be developed either as a standalone document or as a section of the OEMP.

Spill prevention and response must be undertaken in accordance with the approved MFOSMP that ensures:

- (a) environmental spill risks are identified, managed and continually assessed; and
- (b) adequate spill response equipment is maintained on site; and
- (c) that staff are trained and aware of their obligations under the MFOSMP; and
- (d) that reviews of environmental performance are undertaken at least annually; and

- (e) any amendments to the MFOSMP are to be submitted to the Assessment Manager for review and approval.

Incident notification

59. Gladstone Ports Corporation Limited's Environment Hotline (07) 4976 1617 must be notified of the occurrence of:

- (a) release / spill of contaminants (e.g. fuels / chemicals / sewerage) greater than **20L** to land; or
- (b) release / spill of contaminants (e.g. fuels / chemicals / sewerage) to water; or
- (c) any environmental complaints received by the holder of this approval; or
- (d) non-compliance with conditions of this approval or any other environmental approval obtained in relation to the approved activity.

60. When required by the Assessment Manager, noise monitoring must be undertaken upon receipt of a **valid** complaint, to ensure that relevant acoustic quality objectives defined in the Environmental Protection (Noise) Policy 2019 are being achieved. The method of measurement of noise should be consistent with the latest edition of the Department of Environment and Science Noise Measurement Manual. The monitoring results must be provided to the Assessment Manager.

1. ***Deleted.***
2. ***Prior to carrying out any works that affect Council's roads, an application to carry out work on roads is required to be submitted to the Bundaberg Regional Council.***
3. The operations of the facility are to be in accordance with the Maritime Transport and Offshore Facilities Security Act 2003 (Cth). Any operations involving security regulated shipping will require obtaining an approved Maritime Security Plan.
4. Any construction activities that involve the excavation and removal from site of 5,000t or more of material per annum will trigger an approval for Environmentally Relevant Activity 16 (2b) e.g. in relation to site development earthworks, removal of existing revetment or dock excavation earthworks.
5. ***All other relevant approvals must be obtained before commencement of the development or operation of the development, including any Building works or Plumbing and drainage works.***
6. ***Where a permit to Dig/Excavate prior to commencing excavation or digging for the development, the proponent or their contractors are required to apply for and obtain the permit by contacting the GPC on 4976 1314 or planning@gpcl.com.au.***
7. ***Where a construction compound or laydown area is required, the proponent or their contractor is required to apply for and obtain a Consent to Enter from the GPC's Property Specialist via 07 4976 1334 or property@gpcl.com.au prior to works commencing.***
8. ***Where works are to be undertaken outside tenured areas, the proponent or their contractor is required to apply for and obtain Consent to Enter from GPC's Property specialist via 07 4976 1334 or property@gpcl.com.au prior to works commencing.***
9. ***The Environmental Protection Act 1994 states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks, construction, and operational phases of this development, are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm.***
10. ***This decision notice does not represent an approval to commence Building work.***
11. ***Connections to water and sewerage infrastructure will require Plumbing and Drainage works approvals from a suitably qualified person.***
12. ***Landscaping on site it to comply with requirements to register the facility in accordance with the 'First point of entry biosecurity standards (ports)'.***
13. ***All navigational changes are to be approved by MSQ and/ or the Regional Harbour master. Operational work for navigational signs and aids is 'accepted, subject to requirements' of the Port of Bundaberg Land use plan 2020 (at date of decision).***
14. ***Where the applicant is required to submit further documentation to the Assessment Manager, this is to be directed to the Planning section at planning@gpcl.com.au, including reference to the allocated development application number.***
15. ***For the purpose of providing street addresses for deliveries and emergency vehicles, the street addresses for the premises can be advised upon request.***
16. ***The provision of a substation referred to within the approved plans at the site is nominally 'Accepted development subject to requirements' under the Port of Bundaberg Land Use***

Plan 2020 in force at the time of this approval. Assessment against the relevant outcomes of the Land Use Plan is to be undertaken prior to construction to ensure the proposal does not trigger assessable development.

- 17. Refuelling of vessels used in construction must be undertaken in accordance with DTMR's Guide for the prevention of ship-sourced pollution and for the safe transfer of bunkers in Queensland waters for the Safe transfer of bunker.***
- 18. The Wash-bay and Treatment Facility is not authorised to discharge to site and has not been considered within the assessment as part of reticulated infrastructure.***

PART 2: REFERRAL AGENCY CONDITIONS

Referral Agency Name: Department of State Development, Infrastructure, Local Government and Planning



SARA reference: 2207-30170 SRA
Council reference: DA2018/10/04
Applicant reference:

20 September 2022

Chief Executive Officer
Port of Gladstone Ports Corporation Limited
PO Box 259
Gladstone Qld 4680
planning@gpcl.com.au

Attention: Sir/Madam

Dear Sir/Madam

SARA response—Buss Street, 45 Wharf Drive, Creevey Road & 15 Creevey Road, Burnett Heads

(Referral agency response given under section 56 of the *Planning Act 2016*)

The development application described below was confirmed as received by the State Assessment and Referral Agency (SARA) on 1 August 2022.

Response

Outcome:	Referral agency response – with conditions.
Date of response:	20 September 2022
Conditions:	The conditions in Attachment 1 must be attached to any development approval.
Advice:	Advice to the applicant is in Attachment 2 .
Reasons:	The reasons for the referral agency response are in Attachment 3 .

Development details

Description:	Development permit	'Other' change to DA2018/10/02 for: <ul style="list-style-type: none">Material Change of Use for Marine Industry Base on Strategic Port Land and Environmentally Relevant Activity (ERA) 16 (c) - Extraction and Screening
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1: Dredging, in a year, more than 100,000t but not more than 1,000,000t.

- Operational Work for Tidal Works (dredging, reclamation and construction of sheet pile wharf, dock, additional piles, stormwater outfall and navigational aids).

SARA role:	Referral Agency
SARA trigger:	Schedule 10, Part 5, Division 4, Table 2, Item 1 (Planning Regulation 2017) – Development application involving environmentally relevant activities
	Schedule 10, Part 17, Division 3, Table 1, Item 1 (Planning Regulation 2017) – Development application involving tidal works in a coastal management district
	Schedule 10, Part 17, Division 3, Table 2, Item 1 (Planning Regulation 2017) – Development application involving tidal works in tidal waters
SARA reference:	2207-30170 SRA
Assessment Manager:	Port of Gladstone Ports Corporation Limited
Street address:	Buss Street, 45 Wharf Drive, Creevey Road & 15 Creevey Road, Burnett Heads
Real property description:	Lot 276 on SP128643, Lot 287 on SP166199, Lot 501 on SP279707, Lot 5 on RP7193, Lot 6 on RP7193 and Lot 6 on SP166192
Applicant name:	Pacific Marine Base Bundaberg Pty Ltd
Applicant contact details:	9 Thompson Street Bowen Hills QLD 4006 alexpreston@saundershavill.com

Representations

An applicant may make representations to a concurrence agency, at any time before the application is decided, about changing a matter in the referral agency response (s.30 Development Assessment Rules) Copies of the relevant provisions are in **Attachment 4**.

A copy of this response has been sent to the applicant for their information.

For further information please contact John Irving, Principal Planner, on 47583421 or via email DAAT@dsdilgp.qld.gov.au who will be pleased to assist.

Yours sincerely

A handwritten signature in black ink, appearing to read 'C. Aston', written over a light grey rectangular background.

Christopher Aston
State Planner

cc Pacific Marine Base Bundaberg Pty Ltd, alexpreston@saundershavill.com

enc Attachment 1 - Referral agency conditions
Attachment 2 - Advice to the applicant
Attachment 3 - Reasons for referral agency response
Attachment 4 - Representations provisions
Attachment 5 - Approved plans and specifications

Attachment 1—Referral agency conditions

(Under section 56(1)(b)(i) of the *Planning Act 2016* the following conditions must be attached to any development approval relating to this application) (Copies of the plans and specifications referenced below are found at Attachment 5)

No.	Conditions	Condition timing
Operational work		
The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of Transport and Main Roads to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):		
1.	<p>(a) Provide written notice to Regional Harbour Master Gladstone (Gladstone.RHM@msq.qld.gov.au), when the development authorised under this approval is scheduled to commence.</p> <p>Each notice must state this application number, the location and name of registered place and the condition number under which the notice is being given.</p> <p>(b) Provide written notice to Regional Harbour Master Gladstone (Gladstone.RHM@msq.qld.gov.au) when the development authorised under this approval has been completed.</p> <p>Each notice must state this application number, the location and name of registered place and the condition number under which the notice is being given.</p>	<p>(a) At least 20 business days prior to the commencement of works</p> <p>(b) Within 20 business days of the completion of works</p>
2.	<p>(a) All vessels, structures, plant and equipment associated with the construction of the approved works must be lit/marked in accordance with the following specifications and requirements such that undertaking the construction works does not cause a risk to the safe navigation of ships.</p> <p>(b) Lighting provided must not obscure, disguise or otherwise interfere with the effectiveness of navigational lighting.</p>	For the duration of works
3.	<p>(a) The structure must be lit/marked in accordance with the following specifications, such that it does not cause a risk to the safe navigation of other ships.</p> <p>(b) Lighting provided must not obscure, disguise or otherwise interfere with the effectiveness of navigational lighting.</p>	At all times
4.	The construction, operation or maintenance of the structure, and any ship moored at this structure, must not restrict safe access to or from neighbouring structures.	At all times
The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of Environment and Science to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):		
5.	The dredging and construction of the associated tidal works must be	For the duration of

	<p>undertaken generally in accordance with the following plans:</p> <ul style="list-style-type: none"> - General Layout Plan drawing number 0888-C0100, revision A, as amended in red by SARA - Site Sections Sheet 1 of 4, drawing number 0888-C0620, revision A, as amended in red by SARA - Site Sections Sheet 2 of 4, drawing number 0888-C0620, revision A, as amended in red by SARA - Maritime Notes and Typical Section, drawing number 0888-K0000, revision A, as amended in red by SARA - Stage 2 Maritime Layout, drawing number 0888-K0020, revision B, as amended in red by SARA - Stage 1 Works – Structural Cell Set Out, drawing number 0888-K0115, revision 1 - Stage 2 Works – Structural Cell Set Out, drawing number 0888-K0116, revision 0 - Stage 1 Works – Structural Ramp Details, drawing number 0888-K0120, revision 1, as amended in red by SARA - Stage 2 Works – Structural Wharf Typical Sections and Details, drawing number 0888-K0127, revision 0 - Stage 2 Works – Structural Fender and Bollard Layout, drawing number 0888-K0138, revision 0 - Stage 1 Rock Wall Plan and Elevation, drawing number 0888-K0410, revision A, as amended in red by SARA - Stage 1 Rock Wall Typical Sections, drawing number 0888-K0420, revision A - Stage 1 and 2 Typical Sections and Details Sheets 1-5, drawing number 0888-K0570 – 0888-K0574, revision A - Stage 1 and 2 Dredging and Reclamation Plan, drawing number 0888-K0600, revision A, as amended in red by SARA. 	the works
6.	For the proposed works, only use clean materials and ensure that the works do not cause contamination.	For the duration of the works
7.	Erosion and sediment control measures which are in accordance with Best Practice Erosion and Sediment Control (BPESC) guidelines for Australia (International Erosion Control Association), are to be installed and maintained to prevent the release of sediment to tidal waters.	For the duration of the works
8.	<p>Should any erosion control structures or berth pocket infrastructure collapse, fail or otherwise suffer structural consequences which impact their integrity or ability to function as intended, the works must be:</p> <ul style="list-style-type: none"> i. reinstated in accordance with this development approval; or ii. removed and disposed of at an appropriately licensed facility. 	As soon as reasonably practicable subsequent to the damage
9.	<p>(a) Obtain RPEQ certification confirming that the tidal works, have been constructed in accordance with the current version of the Department's guideline 'Building and engineering standards for tidal works.</p> <p>(b) Provide a copy of the certification must be provided to the Department of Environment and Science at palm@des.qld.gov.au</p>	Within 20 business days of the completion of the works

	<p>or mail to: Permit and Licence Management Implementation and Support Unit GPO Box 2454 Brisbane Qld 4001</p>	
10.	<p>Provide "As Constructed drawings" to the Department of Environment and Science at palm@des.qld.gov.au or mail to: Permit and Licence Management Implementation and Support Unit GPO Box 2454 Brisbane Qld 4001</p>	<p>Within 20 business days of the completion of the works</p>
11.	<p>(a) In the event that the works cause disturbance or oxidisation of acid sulfate soil, the affected soil must be treated and thereafter managed (until the affected soil has been neutralised or contained) in accordance with the current Queensland Acid Sulfate Soil Technical Manual: Soil management guidelines, prepared by the Department of Science, Information Technology, Innovation and the Arts, 2014.</p> <p>(b) Provide certification by a an appropriately qualified person, confirming that the affected soil has been neutralised or contained, in accordance with (a) above to the Department of Environment and Science at palm@des.qld.gov.au or mail to: Permit and Licence Management Implementation and Support Unit GPO Box 2454 Brisbane Qld 4001</p> <p><i>Note: Appropriately qualified person means a person or persons who has professional qualifications, training, skills and experience relevant to soil chemistry or acid sulfate soil management and can give authoritative assessment, advice and analysis in relation to acid sulfate soil management using the relevant protocols, standards, methods or literature.</i></p>	<p>(a) Upon disturbance or oxidisation until the affected soil has been neutralised or contained</p> <p>(b) At the time the soils have been neutralised or contained</p>
Material change of use		
<p>The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of Environment and Science to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):</p>		
12.	<p>The dredging must be undertaken generally in accordance with the following plans:</p> <ul style="list-style-type: none"> - Maritime Notes and Typical Section, drawing number 0888-K0000, revision A - Stage 2 Maritime Layout, drawing number 0888-K0020, revision B, as amended in red by SARA - Stage 1 and 2 Typical Sections and Details Sheets 1-5, drawing number 0888-K0570 – 0888-K0574, revision A, as amended in red by SARA - Stage 1 and 2 Dredging and Reclamation Plan, drawing 	<p>Prior to the commencement of use and to be maintained at all times</p>

	number 0888-K0600, revision A, as amended in red by SARA.	
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Attachment 2—Advice to the applicant

General advice	
1.	<p>State Development Assessment Provisions</p> <p>Terms and phrases used in this document are defined in the <i>Planning Act 2016</i> its regulation or the State Development Assessment Provisions (SDAP) v3.0. If a word remains undefined it has its ordinary meaning.</p>
3.	<p>Allocation of Quarry Material</p> <p>Given part of the proposed dredging is located within Unallocated State Land and is to be placed above the high-water mark, the proposed works is likely to require an allocation of quarry material permit under section 73 of the <i>Coastal Protection and Management Act 1995</i>.</p> <p>Further information on allocations of quarry material is available at the following site https://www.business.qld.gov.au/running-business/environment/licences-permits/dredging-quarry.</p>

Attachment 3—Reasons for referral agency response

(Given under section 56(7) of the *Planning Act 2016*)

The reasons for SARA's decision are:

1. The development complies with State code 7: *Maritime safety* of the State Development Assessment Provisions (SDAP). All vessels, structures, plant and equipment associated with the project will be lit/marketed in accordance with the required standards such that they do not cause a risk to navigation safety.
2. The development complies with State code 8: *Coastal development and tidal works* of SDAP. Specifically, the development:
 - will not significantly impact coastal processes
 - does not cause a significant residual impact to any matters of state environmental significance.
3. The development complies with State code 22: *Environmentally relevant activities* of SDAP. Specifically, the development:
 - is located and designed to avoid or mitigate environmental harm on environmental values of the natural environment, adjacent sensitive land uses and sensitive receptors
 - avoids impacts on matters of state environmental significance, and where avoidance is not reasonably possible, minimises and mitigates impacts
 - adequately mitigates impacts associated with the environmentally relevant activity.

Material used in the assessment of the application:

- The development application material and submitted plans
- Planning Act 2016
- Planning Regulation 2017
- The State Development Assessment Provisions (version 3.0), as published by SARA
- The Development Assessment Rules
- SARA DA Mapping system

Attachment 4—Change representation provisions

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Development Assessment Rules—Representations about a referral agency response

The following provisions are those set out in sections 28 and 30 of the Development Assessment Rules¹ regarding **representations about a referral agency response**

Part 6: Changes to the application and referral agency responses

28 Concurrence agency changes its response or gives a late response

- 28.1. Despite part 2, a concurrence agency may, after its referral agency assessment period and any further period agreed ends, change its referral agency response or give a late referral agency response before the application is decided, subject to section 28.2 and 28.3.
- 28.2. A concurrence agency may change its referral agency response at any time before the application is decided if—
- (a) the change is in response to a change which the assessment manager is satisfied is a change under section 26.1; or
 - (b) the Minister has given the concurrence agency a direction under section 99 of the Act; or
 - (c) the applicant has given written agreement to the change to the referral agency response.²
- 28.3. A concurrence agency may give a late referral agency response before the application is decided, if the applicant has given written agreement to the late referral agency response.
- 28.4. If a concurrence agency proposes to change its referral agency response under section 28.2(a), the concurrence agency must—
- (a) give notice of its intention to change its referral agency response to the assessment manager and a copy to the applicant within 5 days of receiving notice of the change under section 25.1; and
 - (b) the concurrence agency has 10 days from the day of giving notice under paragraph (a), or a further period agreed between the applicant and the concurrence agency, to give an amended referral agency response to the assessment manager and a copy to the applicant.

¹ Pursuant to Section 68 of the *Planning Act 2016*

² In the instance an applicant has made representations to the concurrence agency under section 30, and the concurrence agency agrees to make the change included in the representations, section 28.2(c) is taken to have been satisfied.

Part 7: Miscellaneous

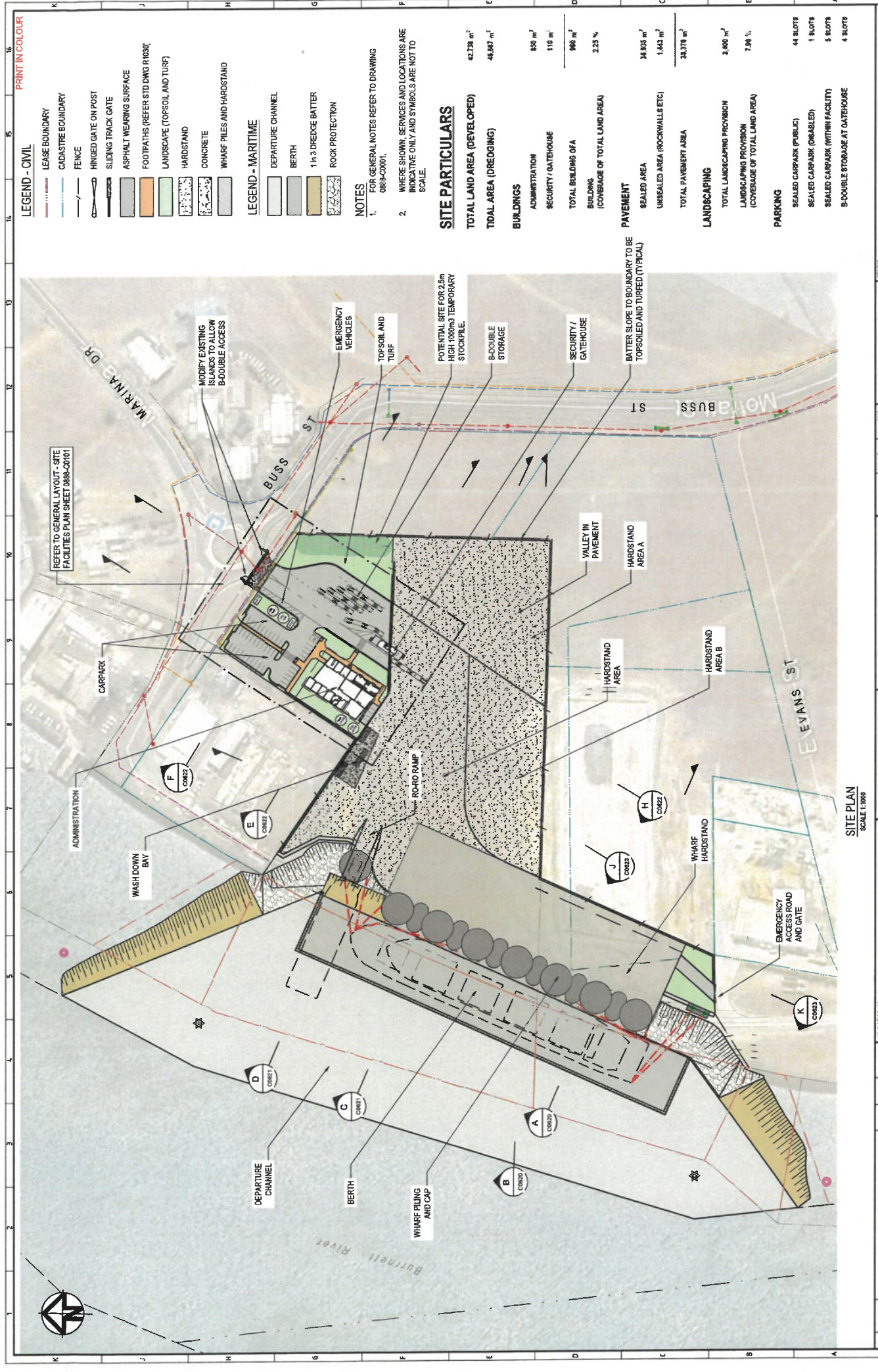
30 Representations about a referral agency response

30.1. An applicant may make representations to a concurrence agency at any time before the application is decided, about changing a matter in the referral agency response.³

³ An applicant may elect, under section 32, to stop the assessment manager's decision period in which to take this action. If a concurrence agency wishes to amend their response in relation to representations made under this section, they must do so in accordance with section 28.

Attachment 5—Approved plans and specifications

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LEGEND - CIVIL

- LEASE BOUNDARY
- CADASTRAL BOUNDARY
- FENCE
- HINGED GATE ON POST
- SLIDING TRACK GATE
- ASPHALT WEARING SURFACE
- FOOTPATHS (REFER STD DWG R1030)
- LANDSCAPE (TOPSOIL AND TURF)
- HARDSTAND
- CONCRETE
- WHARF PILES AND HARDSTAND

LEGEND - MARITIME

- DEPARTURE CHANNEL
- BERTH
- 1 in 3 DREDGE BATTER
- ROCK PROTECTION

NOTES

- FOR GENERAL NOTES REFER TO DRAWING 0888-C001.
- WHERE SHOWN, SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE.

SITE PARTICULARS

TOTAL LAND AREA (DEVELOPED)	42,728 m ²
TOTAL LAND AREA (DREDGING)	48,887 m ²
BUILDINGS	
ADMINISTRATION	650 m ²
SECURITY / GATEHOUSE	110 m ²
TOTAL BUILDING GFA	860 m ²
BUILDING (COVERAGE OF TOTAL LAND AREA)	2.23 %
PAVEMENT	
SEALED AREA	38,308 m ²
UNSEALED AREA (ROCKWALLS ETC)	1,443 m ²
TOTAL PAVEMENT AREA	39,751 m ²
LANDSCAPING	
TOTAL LANDSCAPING PROVISION	3,490 m ²
LANDSCAPING PROVISION (COVERAGE OF TOTAL LAND AREA)	7.98 %
PARKING	
SEALED CARPARK (PUBLIC)	44 SLOTS
SEALED CARPARK (DISABLED)	1 SLOTS
SEALED CARPARK (WITHIN FACILITY)	5 SLOTS
B-DIGIT STORAGE AT GATEHOUSE	4 SLOTS

SITE PLAN
SCALE 1:1000

PROJECT

PACIFIC MARINE BASE BUNDABERG

GENERAL LAYOUT PLAN

0888 - C0100

SCALE

AS SHOWN

DATE

20/12/2020

BY

AS

REV

A

ISSUED FOR DEVELOPMENT APPROVAL

25.6.22

DATE

20/12/2020

BY

MC

REVIEWED

BY

APPROVED

DATE

CONTRACT NO.

0888-C0100

CLIENT

LONJAC

PROJECT / WORK DESCRIPTION

PACIFIC MARINE BASE BUNDABERG

DESIGNED BY

KLINGSTUBBINS

DRAWN BY

KLINGSTUBBINS

CHECKED BY

KLINGSTUBBINS

APPROVED BY

KLINGSTUBBINS

DATE

20/12/2020

PROJECT / WORK DESCRIPTION

PACIFIC MARINE BASE BUNDABERG

DESIGNED BY

KLINGSTUBBINS

DRAWN BY

KLINGSTUBBINS

CHECKED BY

KLINGSTUBBINS

APPROVED BY

KLINGSTUBBINS

DATE

20/12/2020

PROJECT / WORK DESCRIPTION

PACIFIC MARINE BASE BUNDABERG

DESIGNED BY

KLINGSTUBBINS

DRAWN BY

KLINGSTUBBINS

CHECKED BY

KLINGSTUBBINS

APPROVED BY

KLINGSTUBBINS

DATE

20/12/2020

PROJECT / WORK DESCRIPTION

PACIFIC MARINE BASE BUNDABERG

DESIGNED BY

KLINGSTUBBINS

DRAWN BY

KLINGSTUBBINS

CHECKED BY

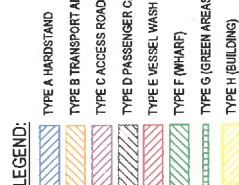
KLINGSTUBBINS

APPROVED BY

KLINGSTUBBINS

DATE

20/12/2020

[illegible]

PERIMETER FENCING

HARDSTAND

HARDSTAND

WHARF STRUCTURE / RO-RO RAMP

BERTH

RAILS

DATUM R.L. (AHD) -17

DESIGN

FSL

EXISTING

SURFACE

CHAINAGE

283.28	4.08	4.00	270.00	4.00	260.00	3.97	5.82	250.00	4.04	5.59	240.00	4.08	5.37	230.00	4.08	5.21	220.00	4.13	5.20	210.00	4.19	5.19	200.00	4.23	5.18	190.00	4.25	5.10	180.00	4.27	4.98	170.00	4.30	4.88	160.00	4.32	4.80	150.00	4.35	4.75	140.00	4.37	4.69	130.00	4.38	4.64	120.00	4.45	4.58	110.00	4.42	4.47	100.00	4.49	4.36	90.00	4.45	4.46	80.00	4.40	4.10	70.00	3.88	3.82	60.00	3.55	3.25	50.00	2.72	2.57	40.00	2.86	2.57	30.00	1.38	1.82	20.00	1.82	1.82	10.00	1.82	1.82	0.00	1.82	1.82
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SECTION

SCALE 1:500H:1:200V

D

0/100

PERIMETER FENCING

WHARF STRUCTURE

WHARF HARDSTAND

GRATED DRAIN

HARDSTAND

BERTH

RAILS

DATUM R.L. (AHD) -17

DESIGN

FSL

EXISTING

SURFACE

CHAINAGE

238.17	4.48	4.40	220.00	4.47	210.00	4.47	4.49	200.00	4.50	5.78	190.00	4.48	5.84	180.00	4.48	5.83	170.00	4.48	5.82	160.00	4.51	5.30	150.00	4.52	5.18	140.00	4.51	5.81	130.00	4.51	4.86	120.00	4.54	4.48	110.00	4.50	4.47	100.00	4.46	4.28	90.00	4.40	4.15	80.00	4.31	4.18	70.00	4.28	4.21	60.00	4.22	4.25	50.00	4.07	4.28	40.00	2.79	3.00	30.00	1.10	1.87	20.00	1.87	1.87	10.00	1.87	1.87	0.00	1.87	1.87
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SECTION

SCALE 1:500H:1:200V

C

0/100

LEGEND:

- TYPE A HARDSTAND
- TYPE B TRANSPORT AREA
- TYPE C ACCESS ROAD
- TYPE D PASSENGER CARPARKS
- TYPE E VESSEL WASH BAY (HIGH FREQUENCY)
- TYPE F (WHARF)
- TYPE G (GREEN AREAS)
- TYPE H (BUILDING)



NOTES:
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AUSTRALIAN STANDARD FOR MARINE BASES.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AUSTRALIAN STANDARD FOR MARINE BASES.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AUSTRALIAN STANDARD FOR MARINE BASES.

LONGJAC
CIVIL • MARINE • MANAGEMENT

831 BRIDGE CREEK ROAD,
BUNDABERG, QLD 4670
AUSTRALIA
TEL: 07 4670 1234
WWW.LONGJAC.COM.AU

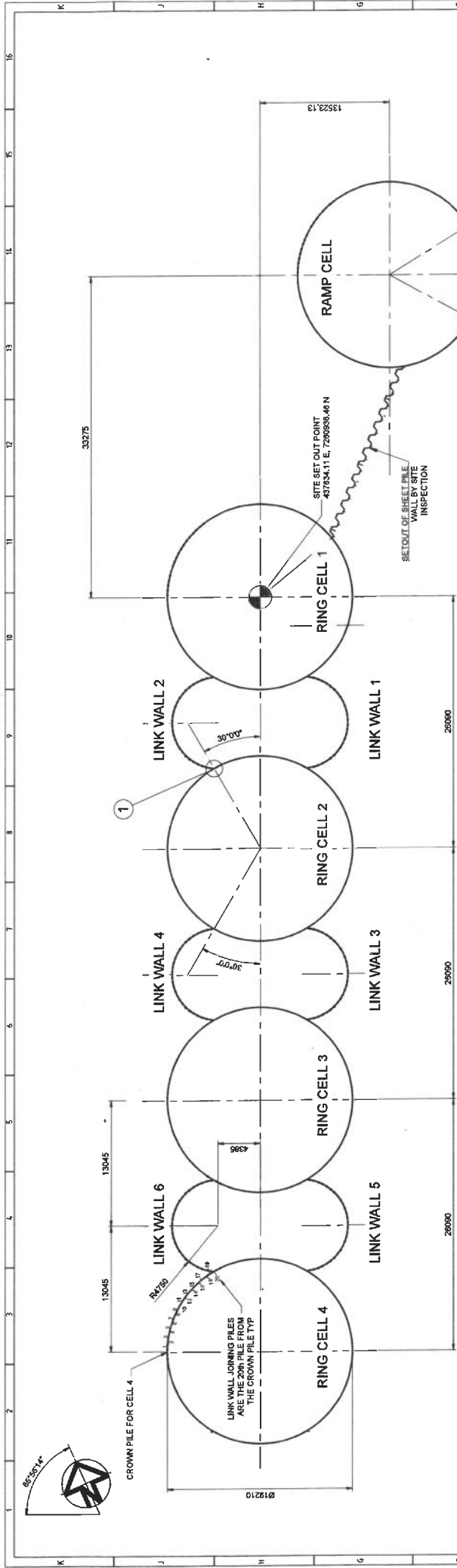
ISSUED FOR DEVELOPMENT APPROVAL

REV DATE DESCRIPTION

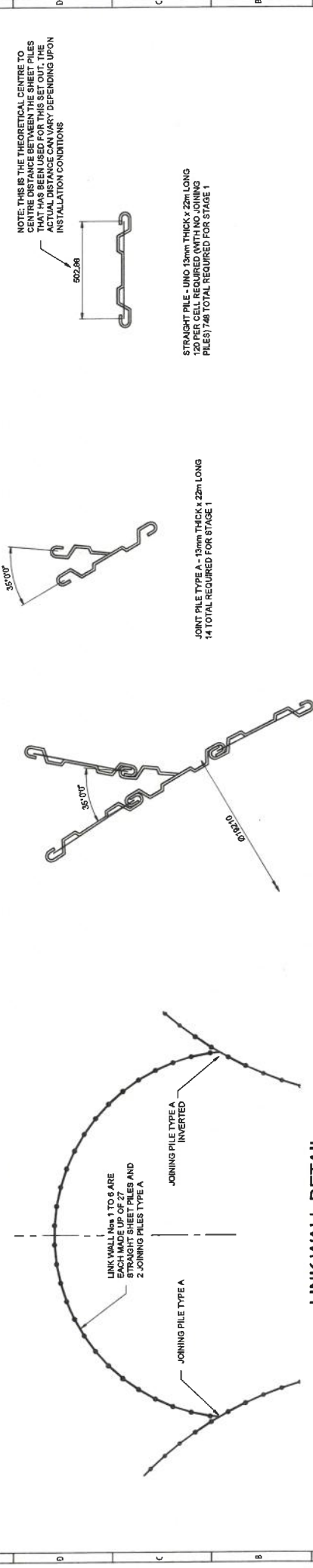
BY JL

APPROVED

PROJECT: PACIFIC MARINE BASE BUNDABERG
MARINE INDUSTRY SITE
DRAWING TYPE: SITE SECTIONS
SHEET 2 OF 4
SCALE: AS SHOWN
DWG NO: 0888 - C0620
REV: A



RING CELL SET OUT PLAN
SCALE 1:200

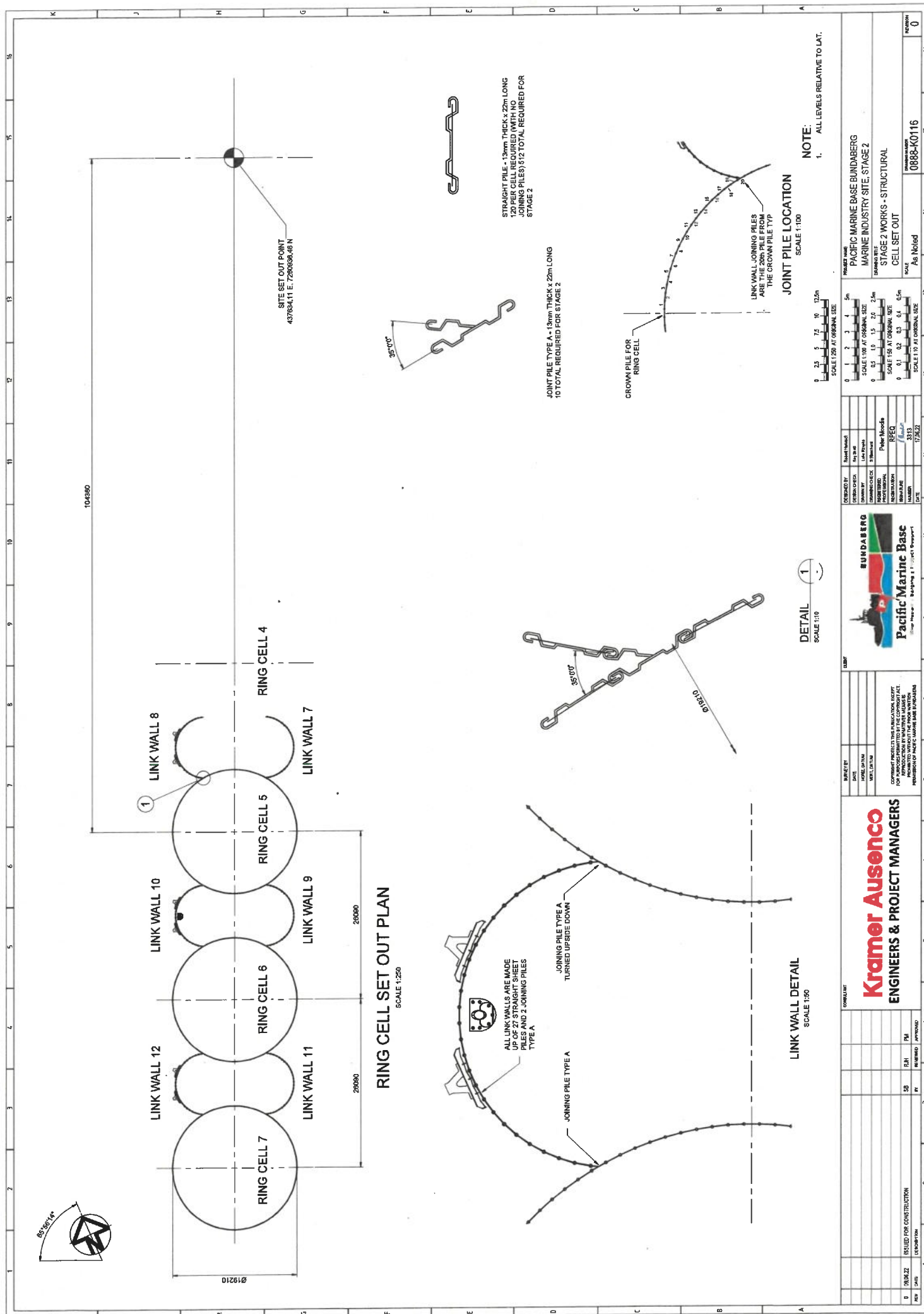


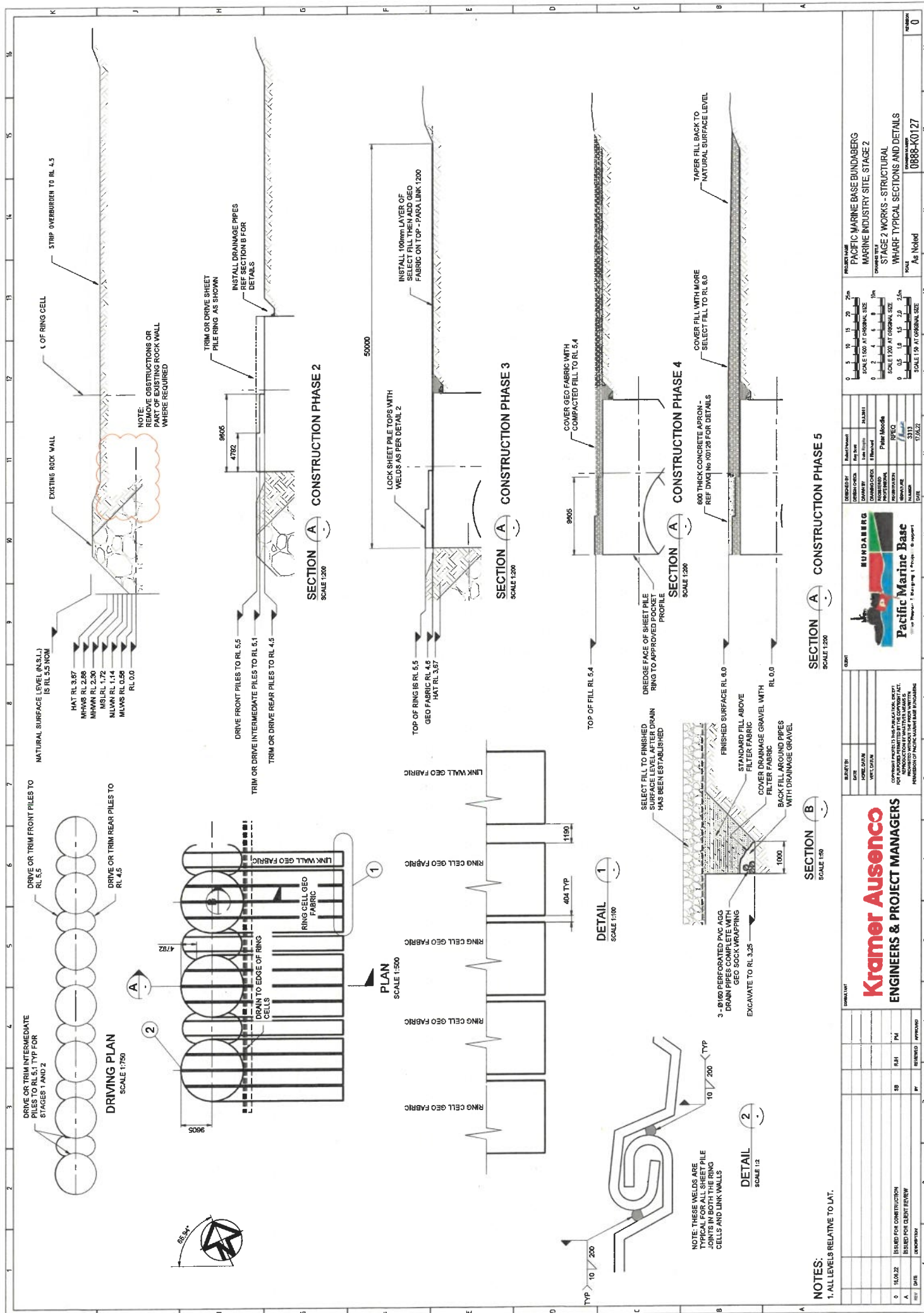
LINK WALL DETAIL
SCALE 1:50

NOTES:
1. ALL LEVELS RELATIVE TO LAT.
2. STAGE 1 GEOTECHNICAL 3D MODEL REVIEWED TO THE SATISFACTION OF THE STRUCTURAL ENGINEER PRIOR TO DRIVING OF PILES FOR STAGE 1

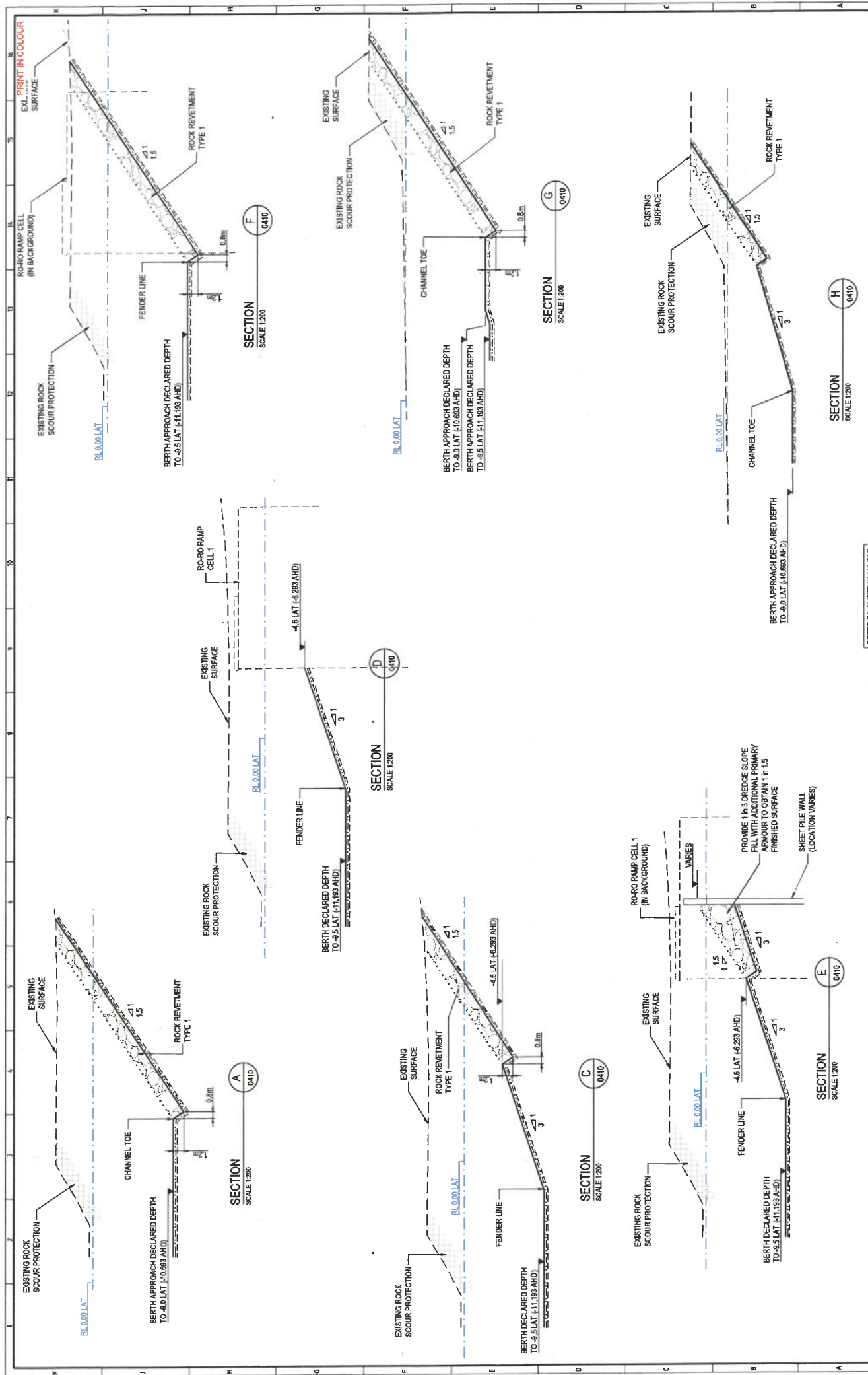
DETAIL
SCALE 1:10

Kramer Ausenco ENGINEERS & PROJECT MANAGERS		PACIFIC MARINE BASE Pacific Marine Base		STAGE 1 WORKS - STRUCTURAL CELL SET OUT		PROJECT NAME PACIFIC MARINE BASE BUNDABERG MARINE INDUSTRY SITE, STAGE 1		CLIENT PACIFIC MARINE BASE		DATE 17/02/23		SCALE As Noted		REVISION 1	
DESIGNED BY J. SMITH		CHECKED BY M. SMITH		APPROVED BY P. SMITH		PROJECT NO. PMB-001		PROJECT NAME PACIFIC MARINE BASE BUNDABERG MARINE INDUSTRY SITE, STAGE 1		CLIENT PACIFIC MARINE BASE		DATE 17/02/23		SCALE As Noted	
DATE 17/02/23		PROJECT NO. PMB-001		PROJECT NAME PACIFIC MARINE BASE BUNDABERG MARINE INDUSTRY SITE, STAGE 1		CLIENT PACIFIC MARINE BASE		DATE 17/02/23		SCALE As Noted		REVISION 1		REVISION 1	
REVISION 1		DATE 17/02/23		PROJECT NO. PMB-001		PROJECT NAME PACIFIC MARINE BASE BUNDABERG MARINE INDUSTRY SITE, STAGE 1		CLIENT PACIFIC MARINE BASE		DATE 17/02/23		SCALE As Noted		REVISION 1	
REVISION 1		DATE 17/02/23		PROJECT NO. PMB-001		PROJECT NAME PACIFIC MARINE BASE BUNDABERG MARINE INDUSTRY SITE, STAGE 1		CLIENT PACIFIC MARINE BASE		DATE 17/02/23		SCALE As Noted		REVISION 1	









REVISIONS

REV	DATE	DESCRIPTION	BY	CHKD	APPROVED
A	25.6.22	ISSUED FOR DEVELOPMENT APPROVAL	HC	JL	

PROJECT

PACIFIC MARINE BASE BUNDEBERG
MARINE INDUSTRY SITE

DRAWING TITLE

STAGE 1
ROCKWALL TYPICAL SECTIONS

SCALE

AS SHOWN

NO

0888- K0420

DESIGNED BY

PLANET

CHECKED BY

PLANET

DATE

25.6.22

PROJECT NO

0888- K0420

PROJECT NAME

PACIFIC MARINE BASE BUNDEBERG

CLIENT

LONJAC

PROJECT NO

0888- K0420

PROJECT NAME

PACIFIC MARINE BASE BUNDEBERG

DESIGNED BY

PLANET

CHECKED BY

PLANET

DATE

25.6.22

PROJECT NO

0888- K0420

PROJECT NAME

PACIFIC MARINE BASE BUNDEBERG

CLIENT

LONJAC

PROJECT NO

0888- K0420

PROJECT NAME

PACIFIC MARINE BASE BUNDEBERG

DESIGNED BY

PLANET

CHECKED BY

PLANET

DATE

25.6.22

PROJECT NO

0888- K0420

PROJECT NAME

PACIFIC MARINE BASE BUNDEBERG

CLIENT

LONJAC

PROJECT NO

0888- K0420

PROJECT NAME

PACIFIC MARINE BASE BUNDEBERG

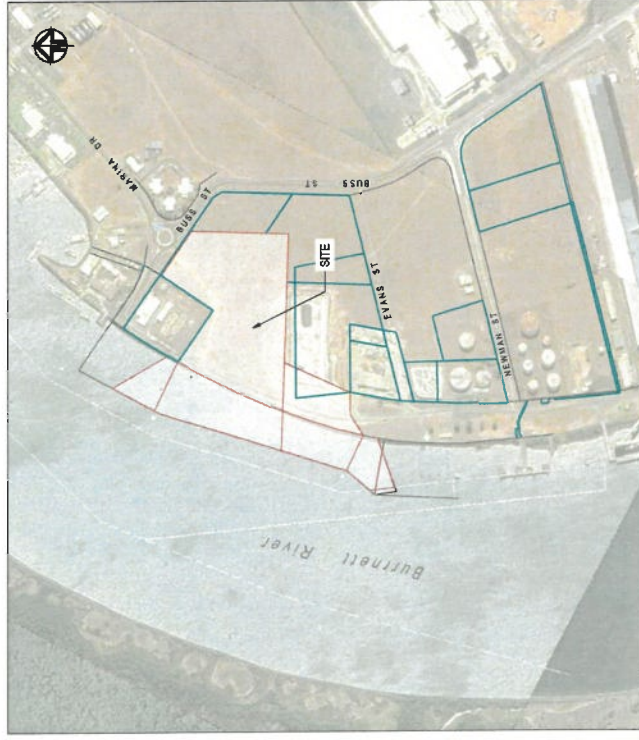
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Attachment 2 Approved Plans and Specifications

**Pacific Marine Base
Bundaberg, QLD**



MARINE INDUSTRY SITE DEVELOPMENT APPROVAL



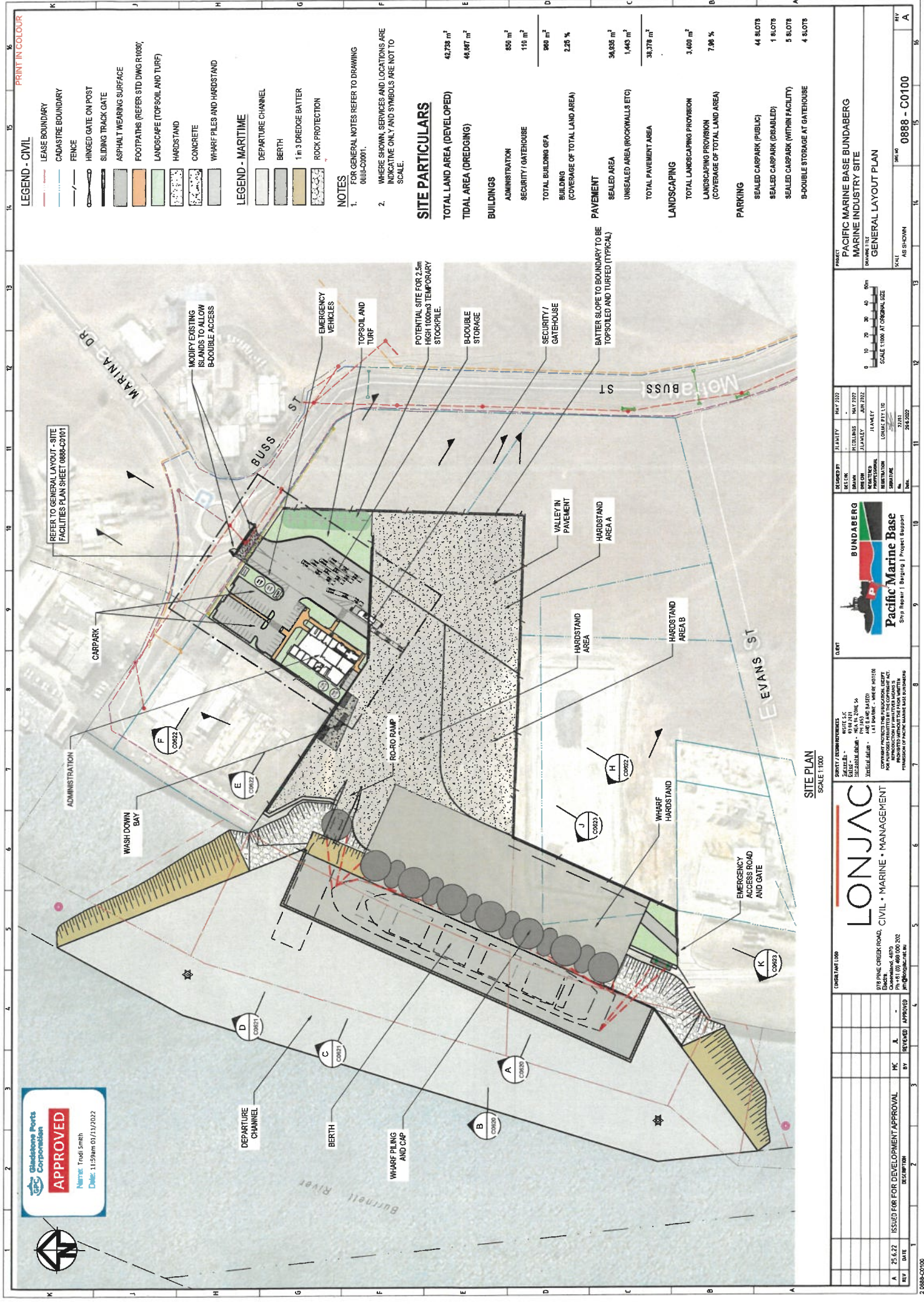
TYPE	PLAN No	DESCRIPTION	TYPE	PLAN No	DESCRIPTION
1 GENERAL					
	0888-C0001	DRAWING INDEX AND LOCALITY PLAN		0888-K0120	STAGE 1 - RAMP DETAIL
2 CIVIL				0888-K0126	STAGE 2 - CONCRETE
	0888-C0001	GENERAL NOTES		0888-K0127	STAGE 2 - WHARF TYPE
	0888-C0100	GENERAL LAYOUT PLAN		0888-K0138	STAGE 2 - FENDER ANCH
	0888-C0103	GENERAL LAYOUT PLAN - SITE FACILITIES		0888-K0139	STAGE 2 - CONE FENDER
	0888-C0200	STAGING PLANS		0888-K0320	STAGE 2 MOORING PL
	0888-C0390	SITE ACCESS PLAN AND TURNING PATHS		0888-K0410	STAGE 1 ROCKWALL PL
	0888-C0400	EARTHWORKS PLAN		0888-K0420	STAGE 1 ROCKWALL T
	0888-C0500	GRADING PLAN		0888-K0440	STAGE 2 ROCKWALL T
	0888-C0510	GRADING PLAN - SITE FACILITIES		0888-K0510	STAGE 1 DREDGING PL
	0888-C0600	PAVEMENT PLAN		0888-K0550	STAGE 1 VOLUMES PL
	0888-C0620	SITE SECTIONS - SHEET 1 OF 4		0888-K0560	STAGE 2 VOLUMES PL
	0888-C0621	SITE SECTIONS - SHEET 2 OF 4		0888-K0570	STAGES 1 AND 2 TYPE
	0888-C0622	SITE SECTIONS - SHEET 3 OF 4		0888-K0571	STAGES 1 AND 2 TYPE
	0888-C0623	SITE SECTIONS - SHEET 4 OF 4		0888-K0572	STAGES 1 AND 2 TYPE
	0888-C0950	MASTER SERVICES LAYOUT PLAN		0888-K0573	STAGES 1 AND 2 TYPE
3 ELECTRICAL	0888-C0960	MASTER SERVICES LAYOUT PLAN - SITE FACILITIES		0888-K0574	STAGES 1 AND 2 DRED
	0888-E0100	ELECTRICAL SITE RETICULATION LAYOUT PLAN		0888-K0600	STAGES 1 AND 2 SITE
	0888-E0300	COMMUNICATIONS SITE RETICULATION LAYOUT PLAN		0888-K0650	STAGE 1 AND 2 SITE C
	0888-E0500	SITE CCTV LAYOUT PLAN		0888-K0651	STAGE 1 AND 2 SITE C
4 HYDRAULICS	0888-E0100	SITE POTABLE WATER RETICULATION PLANS, DETAILS & SECTIONS		0888-K0652	STAGE 1 AND 2 SITE C
	0888-E0200	SITE FIRE WATER RETICULATION PLANS, DETAILS & SECTIONS		0888-K0653	STAGE 1 AND 2 SITE C
	0888-E0300	SITE SEWER RETICULATION PLANS, DETAILS & SECTIONS		0888-K0710	STAGE 1 BEACON REL
	0888-E0400	STORMWATER LAYOUT AND CATCHMENT PLAN		0888-K0720	STAGE 2 BEACON REL
	0888-E0410	STORMWATER LAYOUT - SITE FACILITIES			
5 MARITIME	0888-K0000	MARITIME TIME AND TYPICAL SECTION	6 ARCHITECTURAL	0888-K0210	ADMINISTRATION BUILD
	0888-K0020	STAGE 2 - MARITIME LAYOUT		0888-K0211	SECURITY / GATEHOUSE
	0888-K0115	STAGE 1 - SET OUT	7 LANDSCAPE	0888-L0001	LANDSCAPE CONCEPT
	0888-K0116	STAGE 2 - CFI SET OUT		0888-L0002	LANDSCAPE CONCEPT AND NOTES

IMAGE OBTAINED FROM GOOGLE

LOCALITY PLAN

SCALE 1:4000

[illegible]



PRINT IN COLOUR

LEGEND - CIVIL

- LEASE BOUNDARY
- CADASTRE BOUNDARY
- FENCE
- HINGED GATE ON POST
- SLIDING TRACK GATE
- ASPHALT WEARING SURFACE
- FOOTPATHS (REFER STD DWG R1007)
- LANDSCAPE (TOPSOIL AND TURF)
- HARDSTAND
- CONCRETE
- WHARF PILES AND HARDSTAND

LEGEND - MARITIME

- DEPARTURE CHANNEL
- BERTH
- 1 in 3 DREDGE BATTER
- ROCK PROTECTION

NOTES

- FOR GENERAL NOTES REFER TO DRAWING 0888-C0101.
- WHERE SHOWN, SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE.

SITE PARTICULARS

TOTAL LAND AREA (DEVELOPED)	42,738 m ²
TOTAL AREA (DREDGING)	44,897 m ²
BUILDINGS	
ADMINISTRATION	855 m ²
SECURITY / GATEHOUSE	110 m ²
TOTAL BUILDING GFA	965 m ²
BUILDING (COVERAGE OF TOTAL LAND AREA)	2.25 %
PAVEMENT	
SEALED AREA	34,835 m ²
UNSEALED AREA (ROCKWALLS ETC)	1,443 m ²
TOTAL PAVEMENT AREA	36,278 m ²
LANDSCAPING	
TOTAL LANDSCAPING PROVISION	3,400 m ²
LANDSCAPING PROVISION (COVERAGE OF TOTAL LAND AREA)	7.96 %
PARKING	
SEALED CARPARK (PUBLIC)	44 SLOTS
SEALED CARPARK (DISABLED)	1 SLOTS
SEALED CARPARK (WITHIN FACILITY)	5 SLOTS
B-DIGITAL STORAGE AT GATEHOUSE	4 SLOTS

SITE PLAN
SCALE 1:1000

PROJECT

PACIFIC MARINE BASE BUNDABERG

GENERAL LAYOUT PLAN

0888 - C0100

SCALE

AS SHOWN

DATE

24/11/2022

DESIGNED BY

DATE

11/11/2022

DRAWN

DATE

11/11/2022

CHECKED

DATE

11/11/2022

APPROVED

DATE

11/11/2022

CLIENT

BUNDABERG

PROJECT NAME

Pacific Marine Base

PROJECT LOCATION

Ship Repair / Berging / Project Support

CONTRACT NO.

0888-C0100

CONTRACT DATE

11/11/2022

CONTRACT VALUE

\$4,400,000

ISSUED FOR DEVELOPMENT APPROVAL

DATE

25/11/2022

REVISION

DATE

25/11/2022

REVISION

DATE

25/11/2022

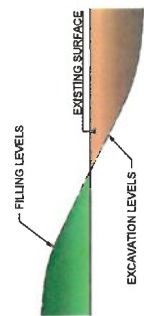
2 0888-C0100



APPROVED
Name: Trudi Smith
Date: 12/03/2022

PRINT IN COLOUR

EXCAVATION (CUT)		FILLING	
DEPTH (m) FROM EXISTING SURFACE		THICKNESS (m) FROM EXISTING SURFACE	
0.0 to -0.2		0.0 to 0.2	
-0.2 to -0.4		0.2 to 0.4	
-0.4 to -0.6		0.4 to 0.6	
-0.6 to -0.8		0.6 to 0.8	
-0.8 to -1.0		0.8 to 1.0	
-1.0 to -1.2		1.0 to 1.2	
-1.2 to -1.4		1.2 to 1.4	
-1.4 to -1.6		1.4 to 1.6	
-1.6 to -1.8		1.6 to 1.8	
-1.8 to -2.0		1.8 to 2.0	
-2.0 to -2.2		2 to 5	
-2.2 to -2.4			
-2.4 to -2.5			



EXCAVATION THICKNESS DETAIL
NTS

VOLUME MOVEMENT TABLES
(EXCAVATION)

DEPTH (m) FROM EXISTING		VOLUME (m³)	
FROM	TO	CUT	FILL
-0.200	0.000	-3695.352	0.000
-0.400	-0.200	-2854.334	0.000
-0.600	-0.400	-2102.409	0.000
-0.800	-0.600	-1693.169	0.000
-1.000	-0.800	-1538.629	0.000
-1.200	-1.000	-1382.674	0.000
-1.400	-1.200	-1033.094	0.000
-1.600	-1.400	-433.077	0.000
-1.800	-1.600	-35.412	0.000
-2.000	-1.800	0.000	0.000
-2.200	-2.000	0.000	0.000
-2.400	-2.200	0.000	0.000
-2.500	-2.400	0.000	0.000
0.000	0.200	0.000	3064.174
0.200	0.400	0.000	2153.892
0.400	0.600	0.000	1434.599
0.600	0.800	0.000	805.233
0.800	1.000	0.000	395.756
1.000	1.200	0.000	190.365
1.200	1.400	0.000	60.671
1.400	1.600	0.000	24.552
1.600	1.800	0.000	9.023
1.800	2.000	0.000	1.615
2.000	5.000	0.000	0.037
Total cut		-14788.148	
Total fill			8190.916
Total balance		-6597.233	
16 excess of cut over fill		6597.233	

- NOTES
- FOR GENERAL NOTES REFER TO DRAWING 0888-C0001.
 - WHERE SHOWN, SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE.
 - ALL VOLUMES IN SITU CUBIC METRES

PLAN
SCALE 1:1500

LONJAC
CIVIL • MARINE • MANAGEMENT

175 PINE CREEK ROAD, CIVIL • MARINE • MANAGEMENT
Queensland, 4810
Phone: 08 9416 1000
Email: info@lonjac.com.au

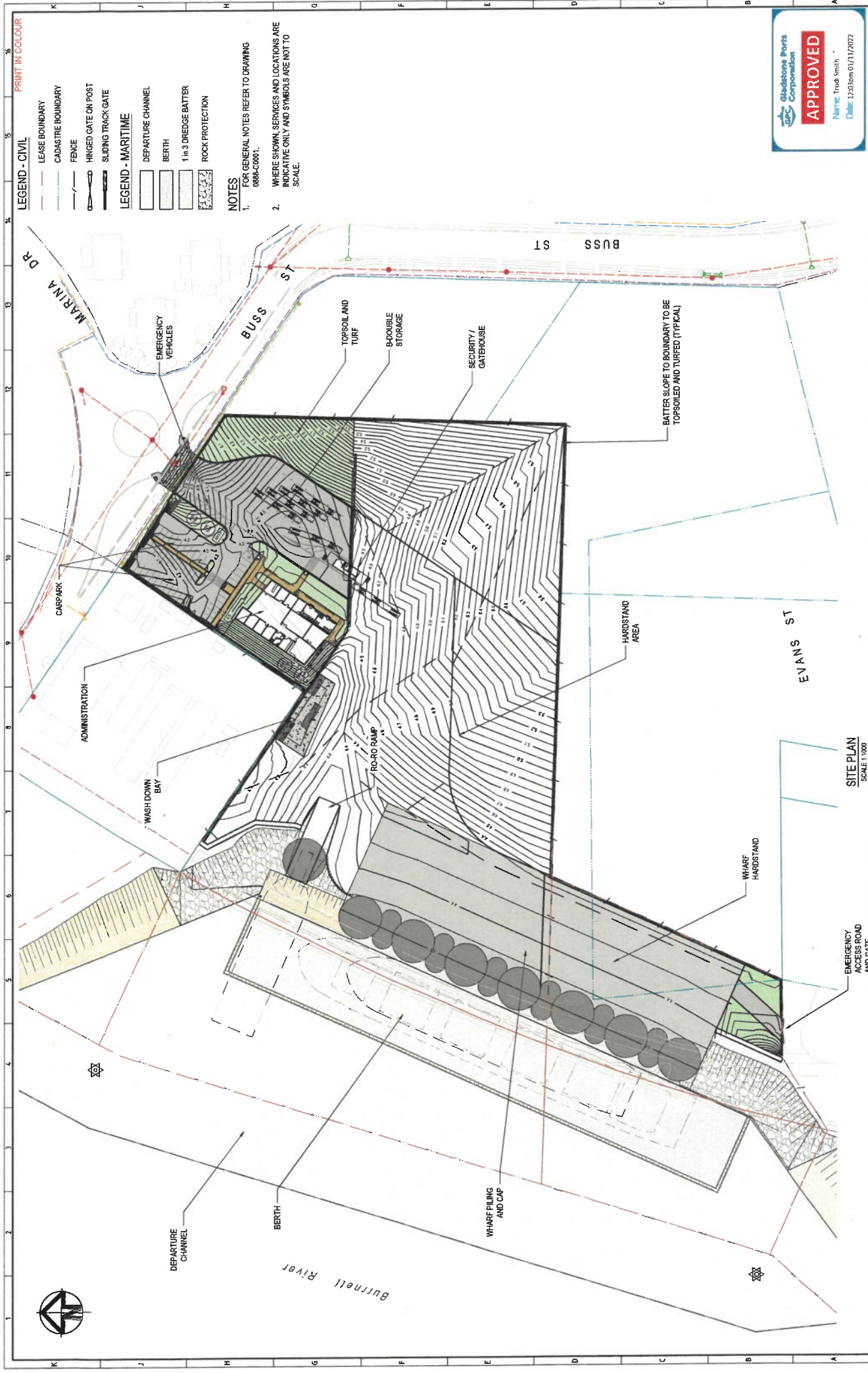
CONSULTANT 1200

NO	DATE	ISSUED FOR DEVELOPMENT APPROVAL	BY	REVIEWED	APPROVED
A	25/12/22				

CLIENT: GLADESTONE PORTS CORPORATION
PROJECT: PACIFIC MARINE BASE BUNDABERG
DRAWN: J. LONJAC
CHECKED: J. LONJAC
DATE: 12/03/2022

PROJECT: PACIFIC MARINE BASE BUNDABERG
MARINE INDUSTRY SITE
EARTHWORKS PLAN

SCALE: AS SHOWN
DRAWN: 0888 - C0400
BY: A



LONJAC		CIVIL - MARINE - MANAGEMENT		CONTRACT NO. 1006		DRAWING NO. 0888 - C0500		PROJECT		PACIFIC MARINE BASE BUNDABERG		MARINE INDUSTRY SITE		DRAWING NO. 0888 - C0500		SCALE 1:200		DATE 25.02.2022		BY JL		CHECKED HC		APPROVED		ISSUED FOR DEVELOPMENT APPROVAL		DRAWN		DATE 25.02.2022		BY JL		CHECKED HC		APPROVED		ISSUED FOR DEVELOPMENT APPROVAL		DRAWN		DATE 25.02.2022		BY JL		CHECKED HC		APPROVED		ISSUED FOR DEVELOPMENT APPROVAL		DRAWN		DATE 25.02.2022		BY JL		CHECKED HC		APPROVED		ISSUED FOR DEVELOPMENT APPROVAL		DRAWN		DATE 25.02.2022		BY JL		CHECKED HC		APPROVED		ISSUED FOR DEVELOPMENT APPROVAL		DRAWN		DATE 25.02.2022		BY JL		CHECKED HC		APPROVED		ISSUED FOR DEVELOPMENT APPROVAL		DRAWN		DATE 25.02.2022		BY JL		CHECKED HC		APPROVED		ISSUED FOR DEVELOPMENT APPROVAL		DRAWN		DATE 25.02.2022		BY JL		CHECKED HC		APPROVED		ISSUED FOR DEVELOPMENT APPROVAL		DRAWN		DATE 25.02.2022		BY JL		CHECKED HC		APPROVED		ISSUED FOR DEVELOPMENT APPROVAL		DRAWN		DATE 25.02.2022		BY JL		CHECKED 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LEGEND - CIVIL

- LEASE BOUNDARY
- CADASTRE BOUNDARY
- FENCE
- HINGED GATE ON PORT
- SLIDING TRACK GATE
- KERB AND CHANNEL TYPE B1 (BUNDABERG STD DRG R1020)
- BARRIER KERB TYPE B2 (BUNDABERG STD DRG R1020)
- INVERT TYPE (DISH CROSSING) (BUNDABERG STD DRG R1020, 300mm LIP)
- KERB (RAMP) PEDESTRIAN CROSSING (BUNDABERG STD DRG R430)

NOTES

- FOR GENERAL NOTES REFER TO DRAWING 0888-C001.
- WHERE SHOWN, SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE. REFER ALSO TO PLAN 0888-C050.

PACIFIC MARINE BASE BUNDABERG
 MARINE INDUSTRY SITE
 GRADING PLAN
 SITE FACILITIES

DATE: 25.6.22
 ISSUED FOR DEVELOPMENT APPROVAL
 BY: [Signature]
 CHECKED: [Signature]
 APPROVED: [Signature]

0888 - C0510

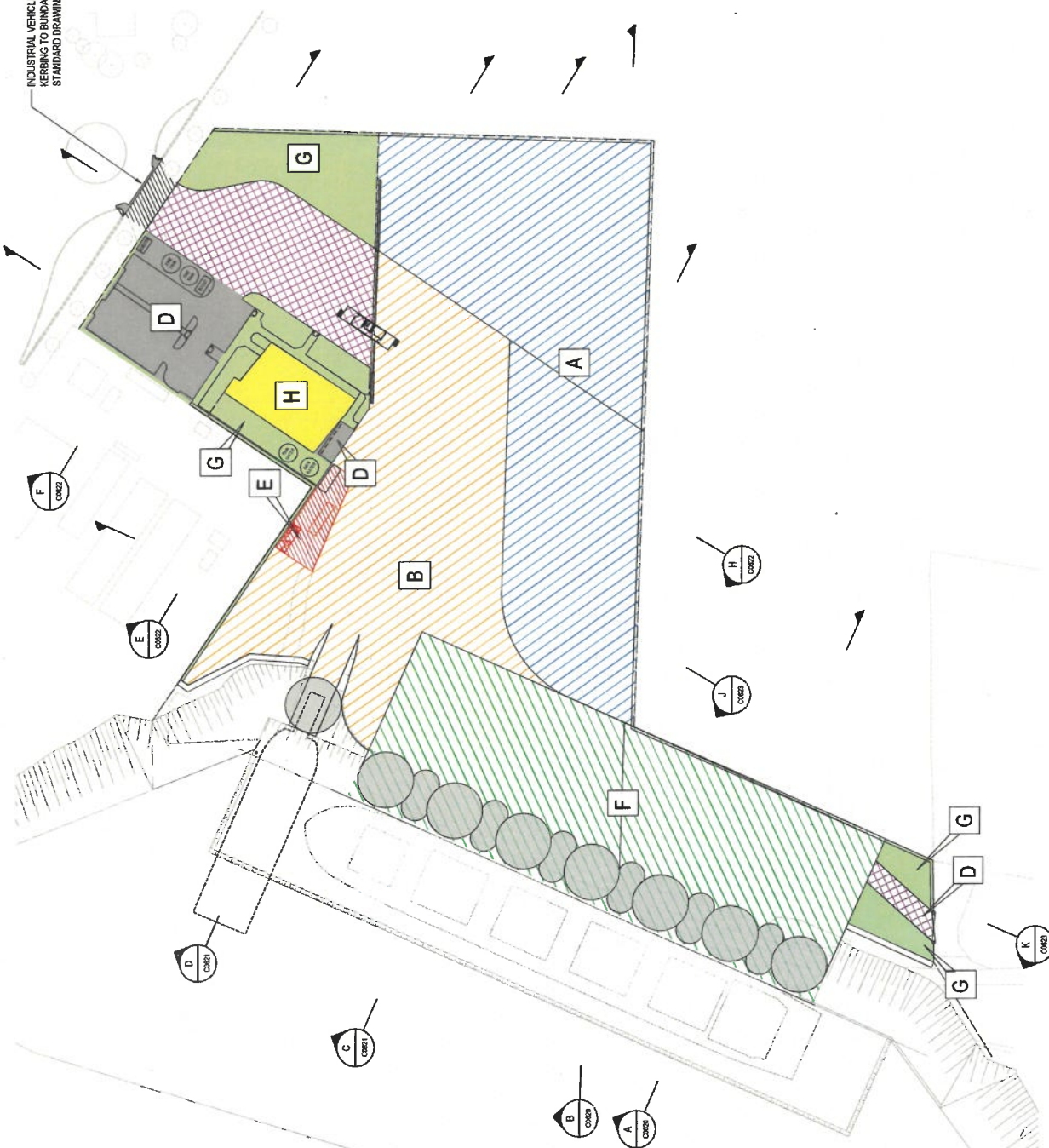
0888 - C0510



LEGEND:

TYPE	PAVEMENT MATERIAL	TRAFFIC DESIGN ESALs	ASSUMED CBR (%)
A HARDSTAND	50mm SURFACING LAYER - AC14H (AISE) 75mm BASE COURSE - AC20H (C800) 200mm UPPER SUB BASE TYPE 2.1	CRANE OPERATIONS	5
	300mm LOWER SUB BASE TO 70% CBR FILL SUBGRADE IMPROVEMENT WITH SYNTHETIC FABRIC REINFORCEMENT WITH SYNTHETIC FABRIC REINFORCEMENT		
B TRANSPORT AREA	50mm SURFACING LAYER - AC14H (AISE) 75mm BASE COURSE - AC20H (C800) 100mm UPPER SUB BASE TYPE 2.1	50,000 BODULLES AND CRANE OPERATIONS	5
	400mm LOWER SUB BASE TO 70% CBR FILL SUBGRADE IMPROVEMENT WITH SYNTHETIC FABRIC REINFORCEMENT WITH SYNTHETIC FABRIC REINFORCEMENT		
C ACCESS ROAD	50mm SURFACING LAYER - AC14H (AISE) 75mm BASE COURSE - AC20H (C800) 150mm UPPER SUBGRADE COURSE TYPE 2.1 UNBOUND GRANULAR	50,000 BODULLES ONLY	5
	SUBGRADE IMPROVEMENT WITH SYNTHETIC FABRIC REINFORCEMENT WITH SYNTHETIC FABRIC REINFORCEMENT		
D PASSENGER CARPARKS	35mm SURFACING LAYER - AC10W (AISE) 130mm BASE COURSE TYPE 2.1 UNBOUND GRANULAR 150mm UPPER SUBGRADE COURSE TYPE 2.1 UNBOUND GRANULAR	10,000	5
	SUBGRADE IMPROVEMENT 500mm RECOMPACT EXISTING UNCONTROLLED FILL		
E VESSEL WASH BAY (HIGH FREQUENCY)	400mm SLAB INTERIOR - PLAIN JOINED CONCRETE PAVEMENT (PS0) 600mm SLAB EDGE - PLAIN JOINED CONCRETE PAVEMENT (PS0)	400 CONTAINER 1000 DYEAR	5
	SUBGRADE IMPROVEMENT 500mm RECOMPACT EXISTING UNCONTROLLED FILL		
F WHARF)	WHARF DECK SUBGRADE R/L 4.5 FINISHED LEVEL R/L 0 NOMINAL 1500mm REFER ALSO TO DRAWING 0088-101/27	NA	NA
G (GREEN AREAS)	REFER LANDSCAPING PLAN (NOMINAL 1500mm ALLOWANCE HAS BEEN MADE FOR EARTHWORKS)	NA	NA
H (BUILDING)	BUILDING SLAB NOMINAL 200mm ALLOWANCE HAS BEEN MADE FOR EARTHWORKS)	NA	NA

NEW LEVEL ADOPTED FOR FINISHED CUT / FILL. EARTHWORKS ON SHEET C0400



PLAN
SCALE 1:500

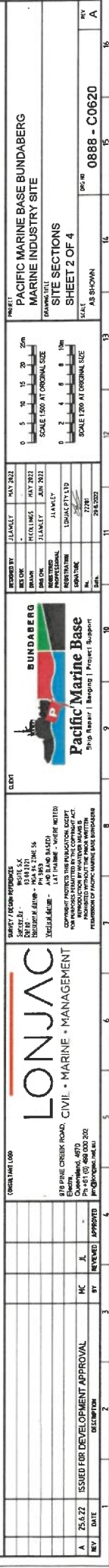
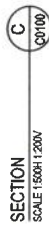
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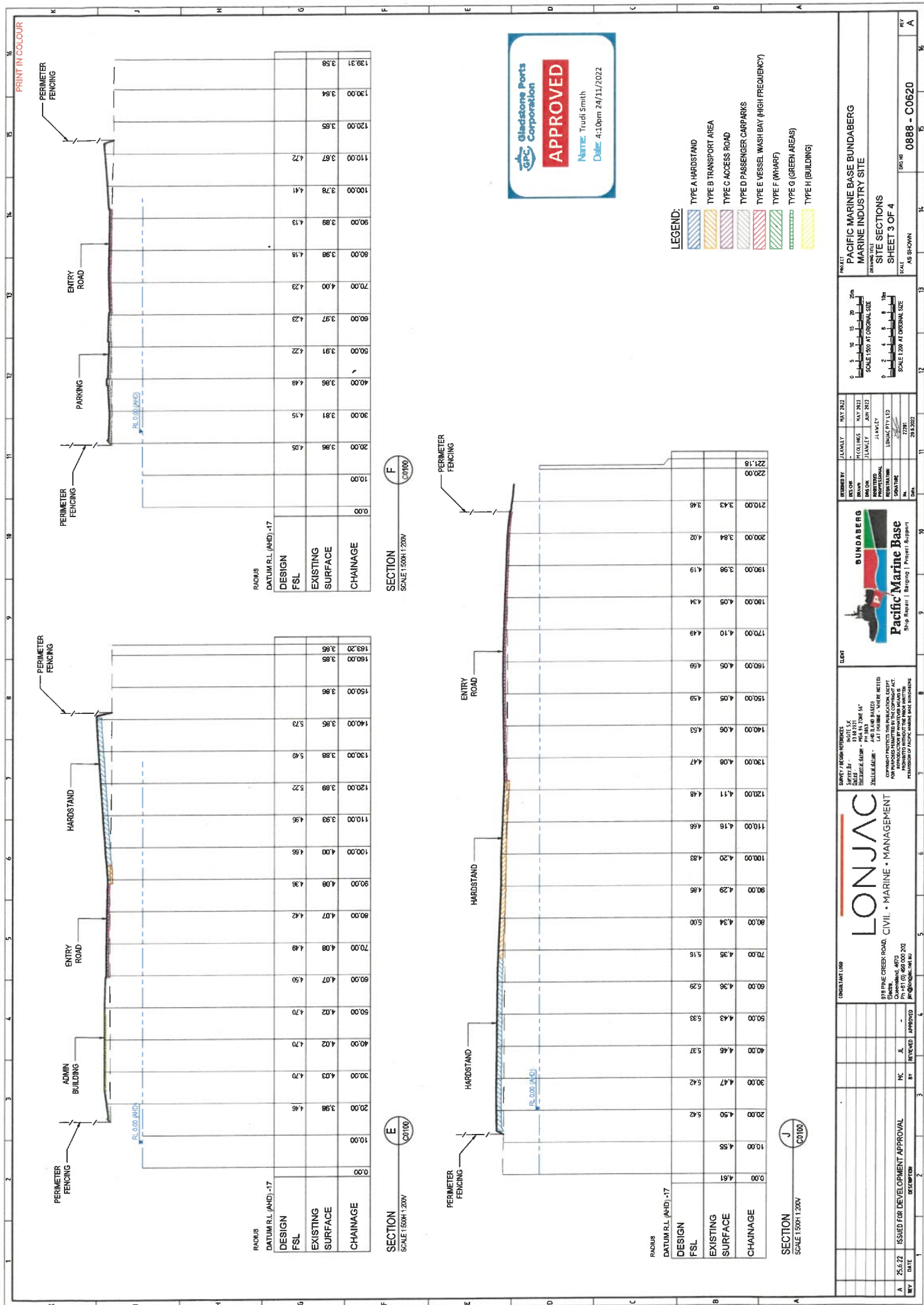


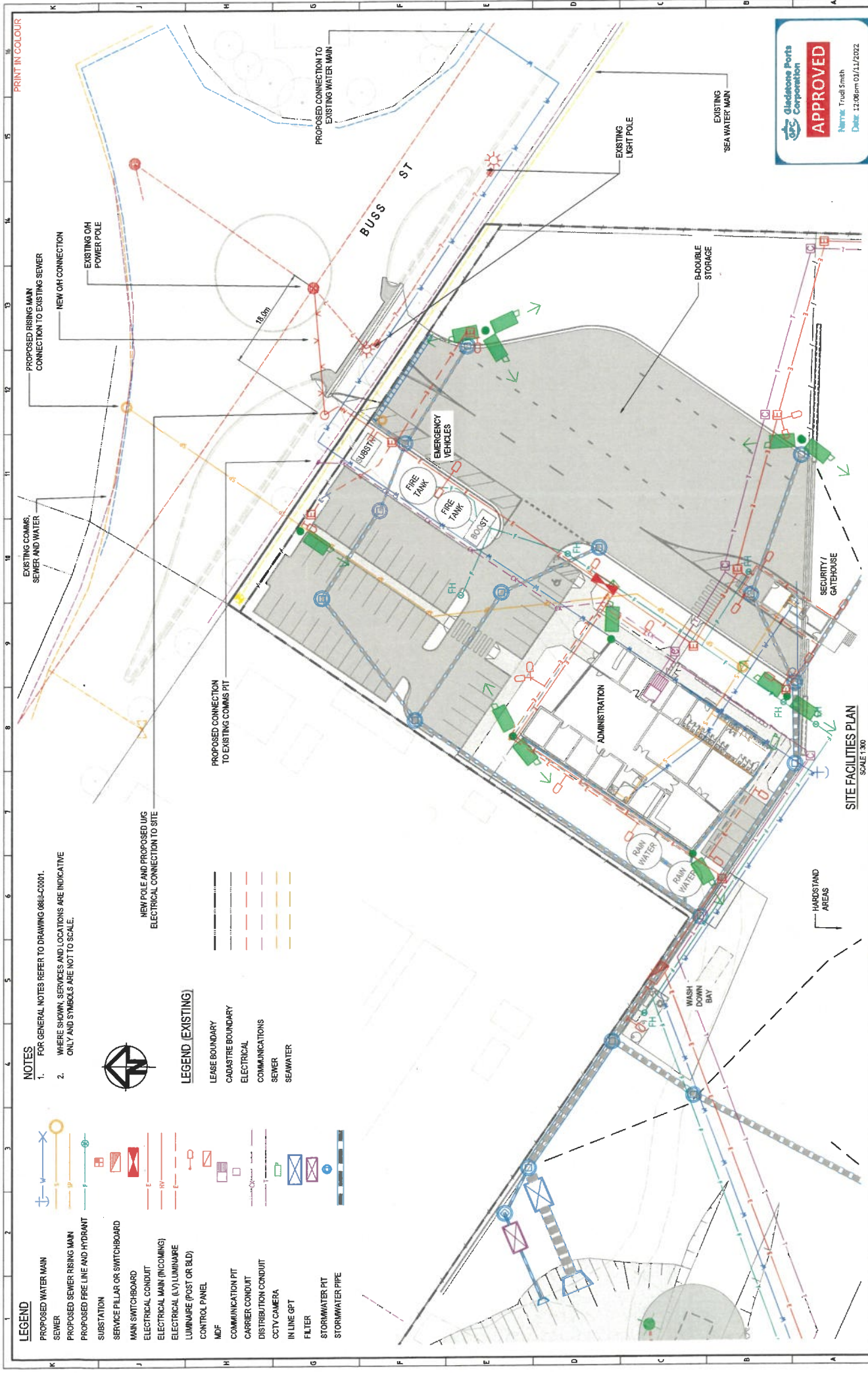
LEGEND:

	TYPE A HARDSTAND
	TYPE B TRANSPORT AREA
	TYPE C ACCESS ROAD
	TYPE D PASSENGER CARPARKS
	TYPE E VESSEL WASH BAY (HIGH FREQUENCY)
	TYPE F (WHARF)
	TYPE G (GREEN AREAS)
	TYPE H (BUILDING)

[illegible]







LEGEND

- PROPOSED WATER MAIN
- SEWER
- PROPOSED SEWER RISING MAIN
- PROPOSED FIRE LINE AND HYDRANT
- SUBSTATION
- SERVICE PILLAR OR SWITCHBOARD
- MAIN SWITCHBOARD
- ELECTRICAL CONDUIT
- ELECTRICAL MAIN (INCOMING)
- ELECTRICAL (LV) LUMINAIRE
- LUMINAIRE (POST OR BLD)
- CONTROL PANEL
- MDF
- COMMUNICATION PIT
- CARRIER CONDUIT
- DISTRIBUTION CONDUIT
- CCTV/CAMERA
- IN LINE GP
- FILTER
- STORMWATER PIT
- STORMWATER PIPE

- NOTES**
- FOR GENERAL NOTES REFER TO DRAWING 0888-C0001.
 - WHERE SHOWN, SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE.



LEGEND (EXISTING)

- LEASE BOUNDARY
- CADASTRAL BOUNDARY
- ELECTRICAL
- COMMUNICATIONS
- SEWER
- SEAWATER

SITE FACILITIES PLAN
SCALE 1:500

APPROVED
Name: Trudi Smith
Date: 12/08/2022

PROJECT		PACIFIC MARINE BASE BUNDABERG	
DRAWING TITLE		MARINE INDUSTRY SITE	
SCALE		MASTER SERVICES	
DATE		SITE FACILITIES PLAN	
BY		AS SHOWN	
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NOTES

1. FOR GENERAL NOTES REFER TO DRAWING 00288-C0001.
2. WHERE SHOWN, SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE.

[illegible]

CONTACT: TAMI LOPEZ
LONJAC
CIVIL • MARINE • MANAGEMENT
2075 PINE CREEK ROAD

COPY / DESIGN REFERENCES
 COPY BY - MS/STE SX
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 PH 3453
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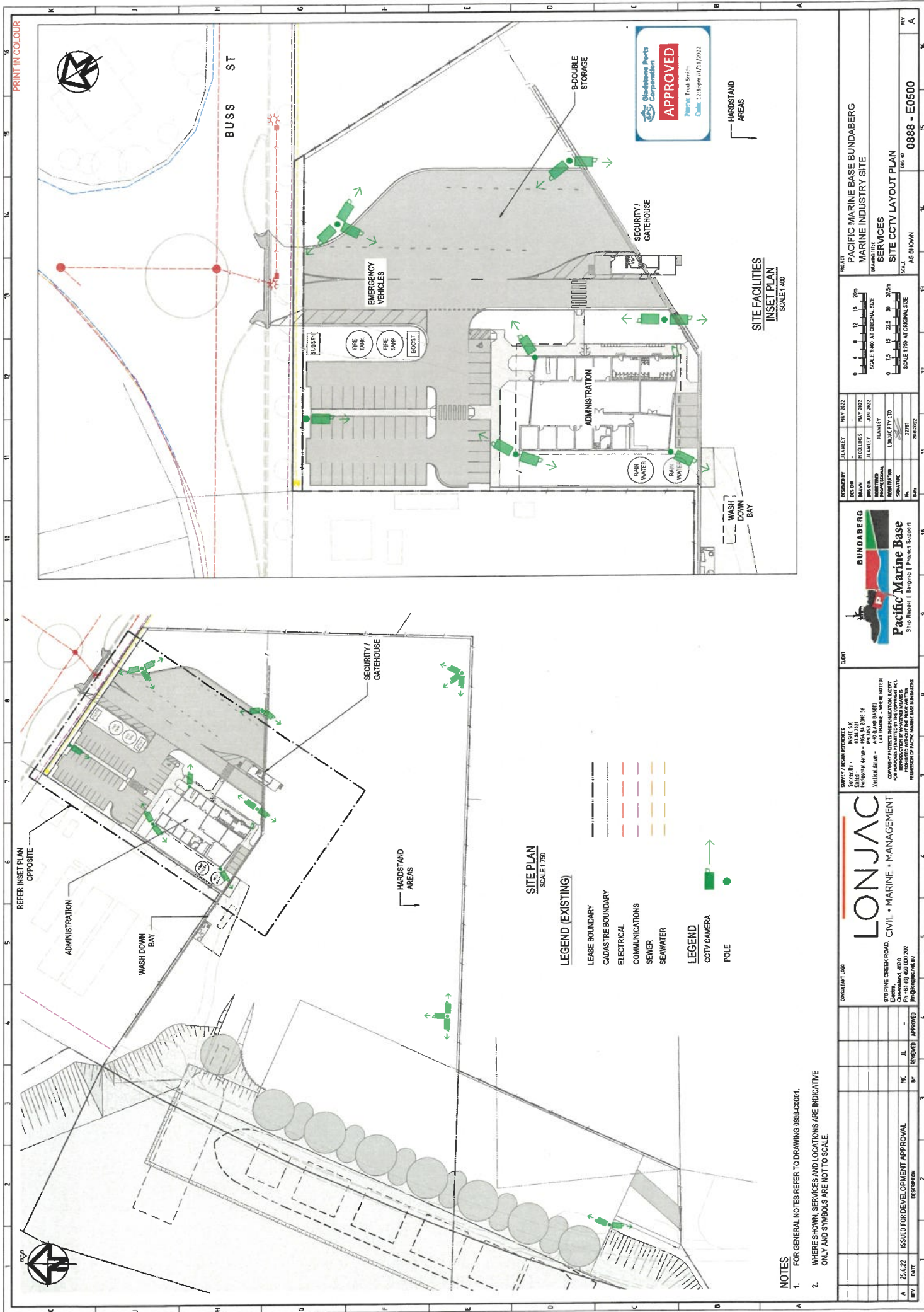
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DRAWN	MCOLINGS	MAY 2022
ENG OK	JLAWLEY	JUN 2022
QUANTITY PROFESSOR	JLAWLEY	
REVISED TRACTION	CONJAC PTY LTD	
SIGNATURE	<i>[Signature]</i>	
Nº	77781	

PROJECT	PACIFIC MARINE BASE BUILDING MARINE INDUSTRY SITE
DRAWING TITLE	SERVICES ELECTRICAL SITE RETENTION
SCALE	DATE
A.B. OLSON	

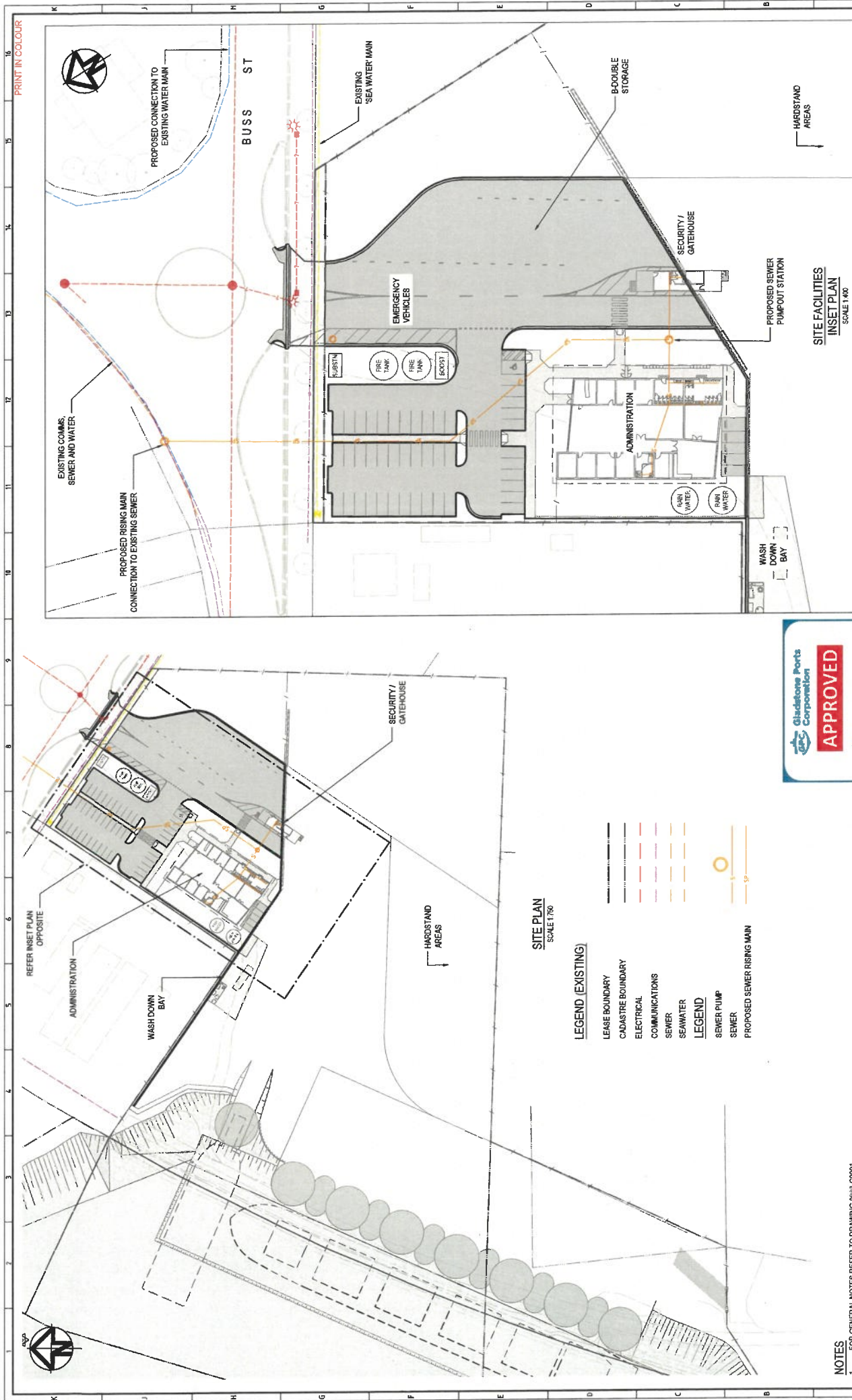
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NOTES

1. FOR GENERAL NOTES REFER TO DRAWING 0813-C0001.
2. WHERE SHOWN, SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE.

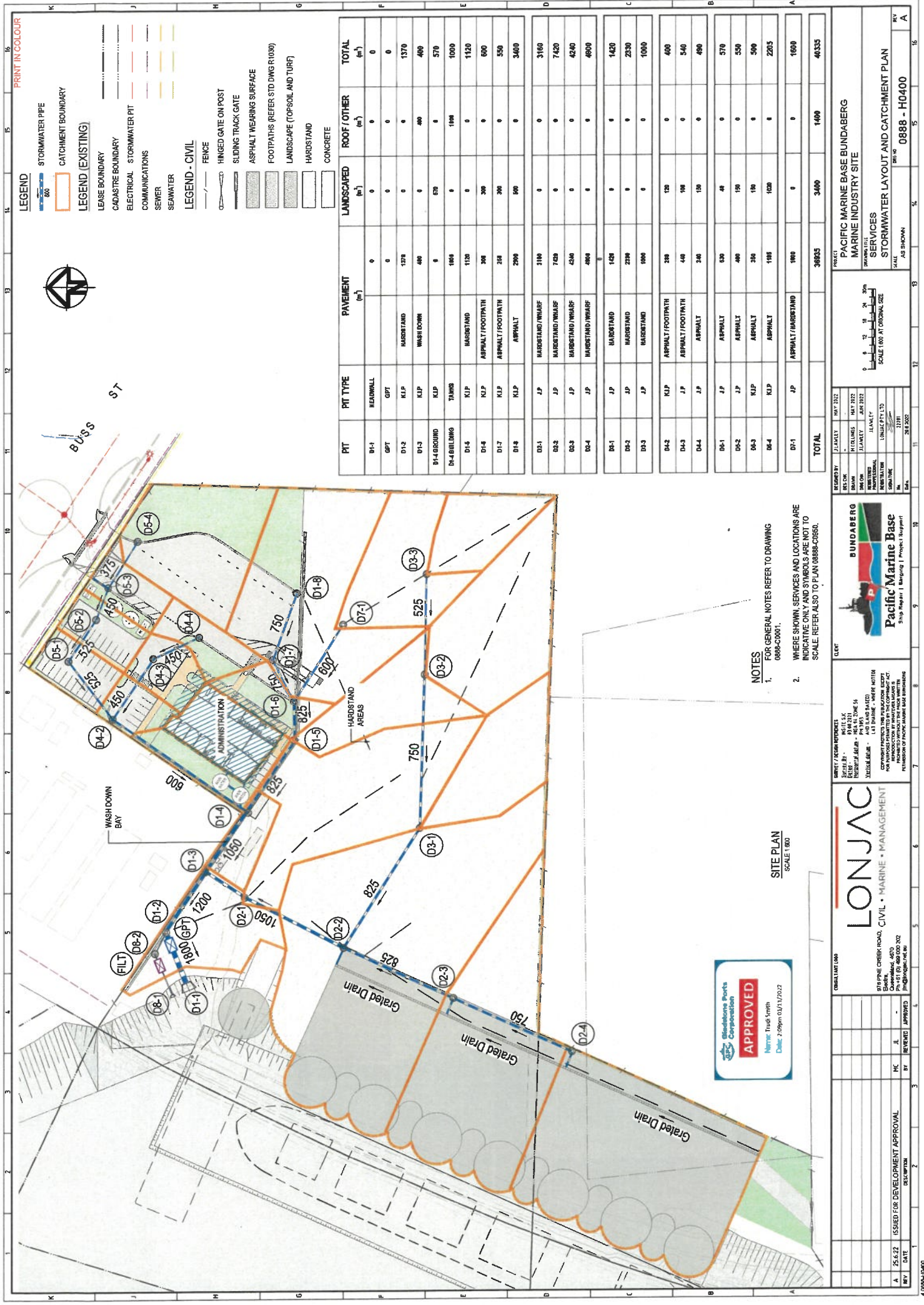
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25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22	
25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22	
25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22	
25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22	
25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22	
25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22	
25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22	
25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22	
25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22	
25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22	
25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22	
25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.22		25.6.2									



NOTES

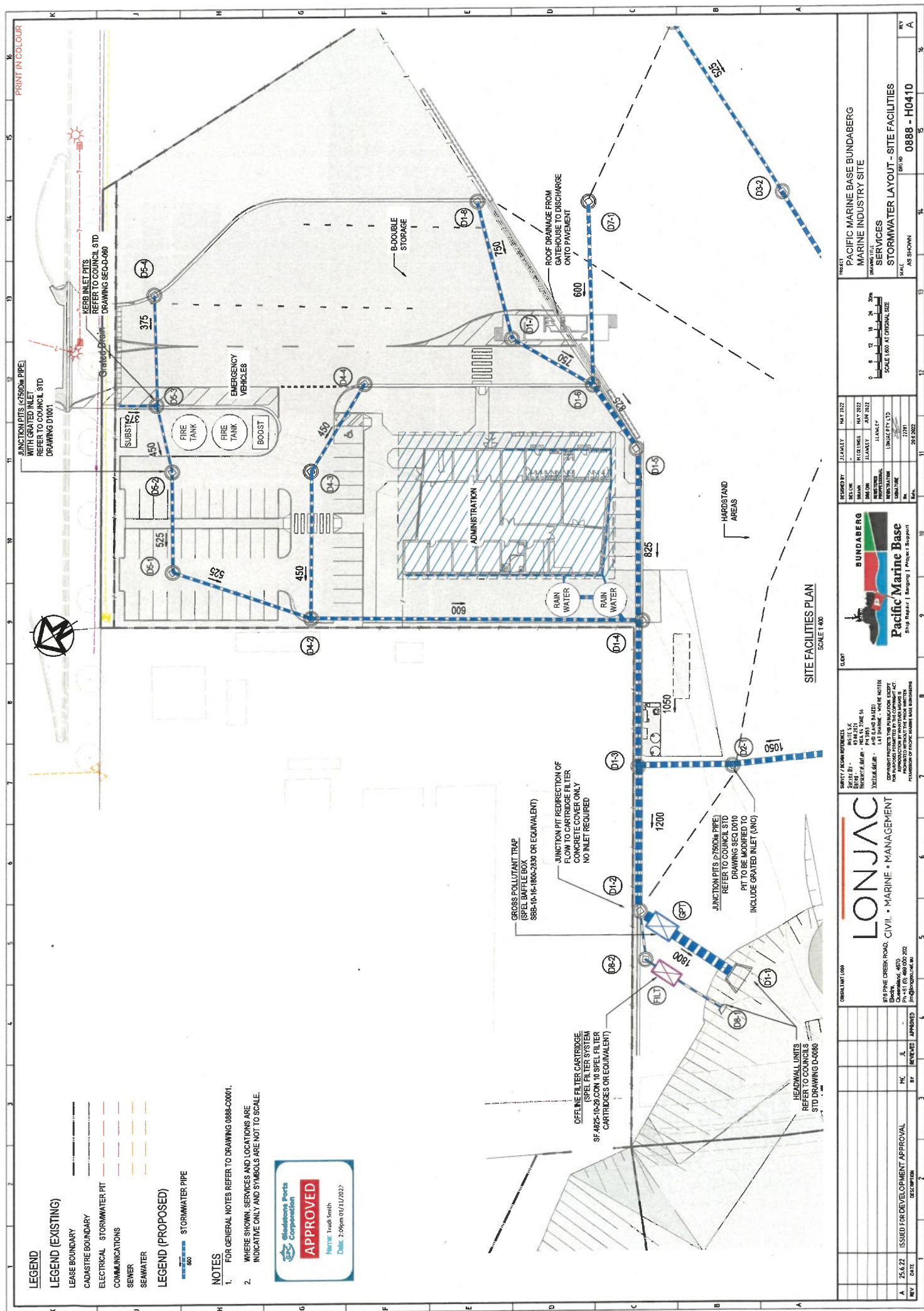
- NOTES**
1. FOR GENERAL NOTES REFER TO DRAWING 0000-C0001.
 2. WHERE SHOWN, SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE.

[illegible]



- LEGEND**
- STORMWATER PIPE
CATCHMENT BOUNDARY
- LEGEND (EXISTING)**
- LEASE BOUNDARY
CADASTRE BOUNDARY
ELECTRICAL STORMWATER PIT
COMMUNICATIONS
SEWER
SEAWATER
- LEGEND - CIVIL**
- FENCE
HINGED GATE ON POST
SLIDING TRACK GATE
ASPHALT WEARING SURFACE
FOOTPATHS (REFER STD DWG R1030)
LANDSCAPE (TOPSOIL AND TURF)
HARDSTAND
CONCRETE

PIT	PIT TYPE	PAVEMENT (m ²)	LANDSCAPED (m ²)	ROOF OTHER (m ²)	TOTAL (m ²)
D1-1	HEADWALL	0	0	0	0
D1-2	GPT	0	0	0	0
D1-3	KLP	1278	0	0	1370
D1-4	KLP	400	0	400	800
D1-5	KLP	0	0	0	0
D1-6	GROUND	0	0	0	0
D1-7	GRASS	1000	0	1000	2000
D1-8	KLP	1120	0	0	1120
D1-9	KLP	300	0	0	300
D1-10	KLP	250	0	0	250
D1-11	KLP	2000	0	0	2000
D1-12	KLP	3100	0	0	3100
D1-13	KLP	7000	0	0	7000
D1-14	KLP	4200	0	0	4200
D1-15	KLP	4000	0	0	4000
D1-16	KLP	1400	0	0	1400
D1-17	KLP	2300	0	0	2300
D1-18	KLP	1000	0	0	1000
D1-19	KLP	300	0	0	300
D1-20	KLP	400	0	0	400
D1-21	KLP	400	0	0	400
D1-22	KLP	400	0	0	400
D1-23	KLP	300	0	0	300
D1-24	KLP	1000	0	0	1000
D1-25	KLP	1000	0	0	1000
D1-26	KLP	1000	0	0	1000
D1-27	KLP	1000	0	0	1000
D1-28	KLP	1000	0	0	1000
D1-29	KLP	1000	0	0	1000
D1-30	KLP	1000	0	0	1000
D1-31	KLP	1000	0	0	1000
D1-32	KLP	1000	0	0	1000
D1-33	KLP	1000	0	0	1000
D1-34	KLP	1000	0	0	1000
D1-35	KLP	1000	0	0	1000
D1-36	KLP	1000	0	0	1000
D1-37	KLP	1000	0	0	1000
D1-38	KLP	1000	0	0	1000
D1-39	KLP	1000	0	0	1000
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D1-41	KLP	1000	0	0	1000
D1-42	KLP	1000	0	0	1000
D1-43	KLP	1000	0	0	1000
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D1-45	KLP	1000	0	0	1000
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D1-61	KLP	1000	0	0	1000
D1-62	KLP	1000	0	0	1000
D1-63	KLP	1000	0	0	1000
D1-64	KLP	1000	0	0	1000
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D1-211	KLP	1000	0	0	1000
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D1-225	KLP	1000	0	0	1000
D1-226	KLP	1000	0	0	1000
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D1-243	KLP	1000	0	0	1000



THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE CONTRACT AND RELEVANT PROJECT SPECIFICATIONS.

101. THE CONTRACTOR SHALL COMPLY WITH THE PROJECT REGULATIONS, ALL RELEVANT AUSTRALIAN STANDARDS, PERFORMANCE STANDARDS, AND STATUTORY REGULATIONS, INCLUDING AUSTRALIAN STANDARDS, INTERNATIONAL STANDARDS, AND STATUTORY REGULATIONS. THE WORK IS TO BE CARRIED OUT IN A SAFE MANNER IN ACCORDANCE WITH THE APPLICABLE LEGISLATION, STATUTORY REGULATIONS, BY-LAWS OR RULES.

102. THE CONTRACTOR SHALL COMPLY WITH ALL CURRENT HEALTH AND SAFETY OF SITE PERSONNEL AND REQUIREMENTS ASSOCIATED WITH RELEVANT AUSTRALIAN, INTERNATIONAL, AGREEMENTS AND GENERAL PRACTICE IN ACCORDANCE WITH ALL CURRENT HEALTH AND SAFETY ACTS, LEGISLATIVE REQUIREMENTS, ASSOCIATED REGULATIONS AND CODES OF PRACTICE, INDUSTRY AGREEMENTS AND STANDARDS.

103. THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM RELEVANT AUTHORITIES BEFORE COMMENCING WORK ON SITE AND NOTIFY RELEVANT SERVICE AUTHORITIES BEFORE COMMENCING DEMOLITION WORKS. WORK IS NOT TO BE CARRIED OUT WITHOUT SUCH PERMITS.

104. DEMOLITION WORKS ARE NOT TO BE CARRIED OUT BY SCAFFOLDING DRIVERS.

- [illegible]

G10. ALL LEVELS ARE IN METERS TO LAT (WORLD).
G11. SURVEY AND SETTING OUT ARE TO BE UNDERTAKEN BY A REGISTERED SURVEYOR.
G12. SITE SET OUT DIMENSIONS ARE TO BE VERIFIED BEFORE COMMENCING CONSTRUCTION. EXISTING STRUCTURES SHOWN ON DRAWINGS ARE IN APPROXIMATE LOCATIONS ONLY.
G13. ANY AMBIGUITIES OR DISCREPANCIES SHALL BE REFERRED FOR CLARIFICATION BEFORE WORK COMMENCES.

022. EXISTING BATHYMETRY INFERRED FROM QUEENSLAND GOVERNMENT "BUNDABERG SVINGS BASIN POST-BELEVELLING HYDROGRAPHIC SURVEY" DATED 11 MAY 1917, PLAN NO. F002-054.

023. NAVIGATION AIDS AND CHANNEL LIMITS TAKEN FROM QUEENSLAND GOVERNMENT "BUNDABERG HARBOUR CONTROL PLAN, DATED FEBRUARY 1916, PLAN NO. F001-002.

BURNETT HEADS, BINDABERG, QUEENSLAND 4470
LEASE AU on SP056878, LEASE NY on SP035049 and in LOT 501 on SP278707, SUBLEASE AW on
SP056878, SUBLEASE AZ on SP035049, SUBLEASE BA AND BB on SP435570 and in LOT 287 on
SP186190, SUBLEASE BC on SP035049 and in LOT 278 on SP128443
LOCAL AUTHORITY: BINDABERG REGIONAL COUNCIL

3. VESSEL BERTHING - 0.2m/s UNDER NORMAL BERTHING CONDITIONS

STRUCTURES SHALL BE DESIGNED TO THE FOLLOWING PARAMETERS:

1. DESIGN LIFE: 30-YEAR MINIMUM WITH MINIMAL MAINTENANCE REQUIRED TO THE PRINCIPAL LOAD BEARING COMPONENTS
2. DESIGN WIND SPEEDS:

- | VESSEL | DEPT. ASSESSMENT
Points | LENGTH
mm | BEAM
mm | DRAFT
mm |
|--------------------------|----------------------------|--------------|------------|-------------|
| DESIGN VESSEL
STAGE 1 | 10,000 | 100 | 20 | 7.0 |
| DESIGN VESSEL
STAGE 2 | 36,000 | 190 | 30 | 8.0 |

PC1. PROTECTIVE COATINGS SHALL BE APPLIED TO ANY STRUCTURAL STEEL WORK THAT IS EXPOSED TO ATMOSPHERIC CONDITIONS.

PC2. STEEL ELEMENTS THAT REQUIRE A PROTECTIVE COATING TO BE APPLIED SHALL HAVE A MINIMUM RADIIUS OF 20mm ON ALL EDGES.

- POL** PROTECTIVE COATING SYSTEM IS SUITABLE TO ACHIEVE A WEAR-TEAR RESISTANCE FOR A USE ENVIRONMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE USER'S SPECIFICATION AND THE PROTECTIVE COATING WITH THE MINIMUM NUMBER OF COATS REQUIRED TO ACHIEVE A MINIMUM DRY FILM THICKNESS OF 40 MICRONS UNLESS OTHERWISE ACCEPTED BY THE SURFACE PREPARATION TO THE STEEL ELEMENTS SHALL INVOLVE THROUGH BLAST CLEANING TO ACHIEVE A GRADE SA 2.5 FINISH IN ACCORDANCE WITH AS 187.
- POL** THE PROTECTIVE COATING SYSTEM SHALL BE APPLIED IN ACCORDANCE WITH PERMANENTLY ILLUSTRATED STEEL ELEMENTS SHALL BE PROTECTED BY MEANS OF CATHODIC PROTECTION. PROTECTIVE CONTAINERS AS PER NAT FOR ATMOSPHERIC CORROSION TESTING SHALL BE PROVIDED. EXTERNALLY QUALIFIED TEST AFTER INITIAL ASSESSMENT OF PERFORMANCE.

[illegible]

ALL WORKMANSHIP AND MATERIALS ARE TO COMPLY WITH THE REQUIREMENTS OF A30900, A30810 AND A51378. EXTERNALLY EXPOSED CONCRETE TO BE CLASSIFICATION C2 WITH MIN. CONCRETE TO COMPLY WITH A30800 UNO. CAST IN STEELWORK, OTHER THAN REINFORCEMENT, SHALL BE STAINLESS STEEL UNO. PROVIDE 50 mm BLINDING CONCRETE UNDER STRUCTURAL REINFORCED CONCRETE CAST ON GROUND UNO.

ENR1. ENSURE REINFORCEMENT CAGES ARE ELECTRICALLY CONTINUOUS UNO AND THAT THE PILE REINFORCEMENT IS ELECTRICALLY CONTINUOUS WITH THE HEADSTOCK REINFORCEMENT.

ENR2. ENSURE EMBEDDED ITEMS, INSERTS, THREADED SOCKETS, FERRULES, BOLTS, DISSEMBLAR METAL ITEMS, AND IN CONCRETE OR EXPOSED TO AIR ARE NOT IN CONTACT WITH REINFORCEMENT. PROVIDE ISOLATION BETWEEN DISSEMBLAR METALS, AND BETWEEN REINFORCEMENT AND EXPOSED ITEMS.

ENR3. REINFORCEMENT, CAST-IN ITEMS ARE NOT TO BE WELDED UNLESS APPROVED BY A SUITABLY QUALIFIED ENGINEER.

ALL PILES SHALL BE DESIGNED, CERTIFIED AND INSTALLED IN ACCORDANCE WITH AS 2100 TO ACHIEVE THE

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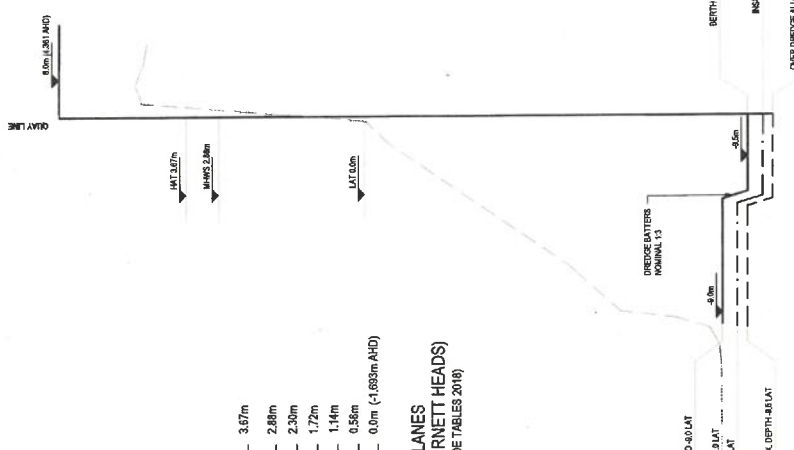
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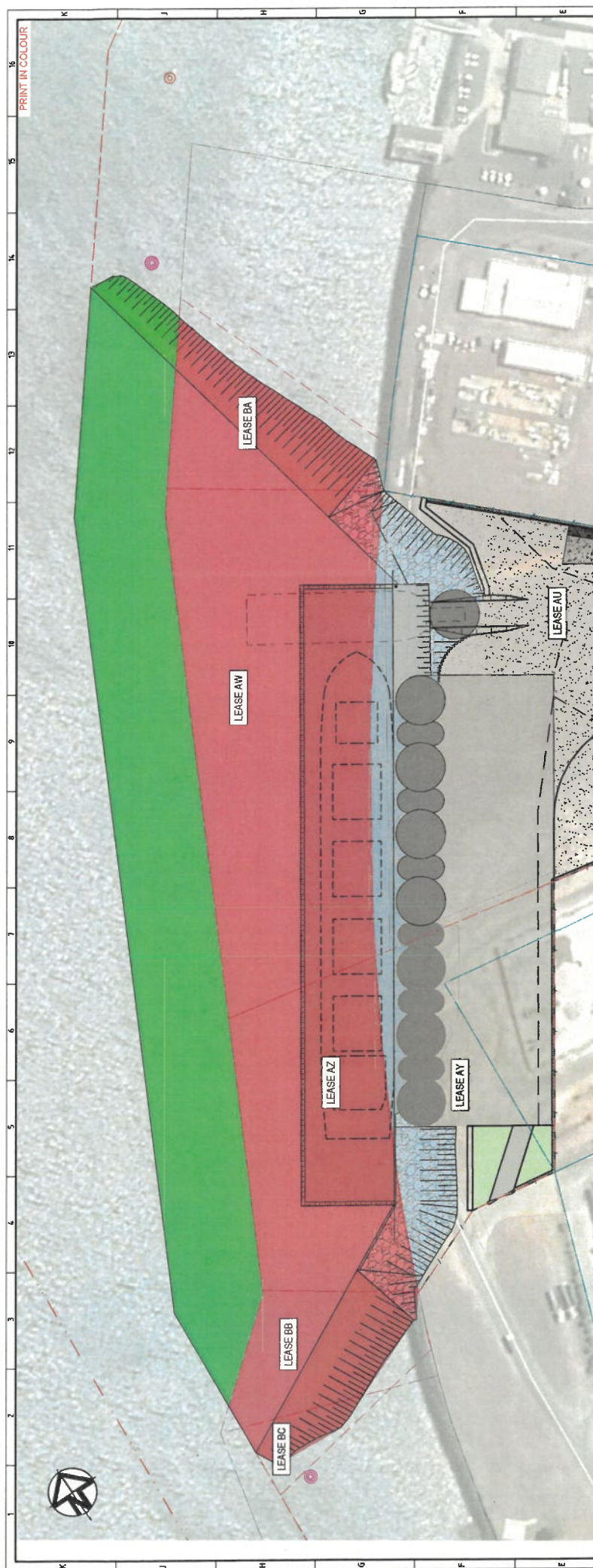
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[illegible]











- AREA 1**
DREDGE AND OPERATION AREA FOR SUBLEASE AW ON SP7305678, SUB LEASE AZ ON SP7335866, SUB LEASE BA AND BE ON SP733870, ALL IN LOT 337 ON SP748198, AND SUB LEASE BC ON SP7335870 IN LOT 275 ON SP786843 (NET AREA OWNED BY THE STATE AND LEASED BY GPC.)
- AREA 2**
DREDGE AREA ON UNALLOCATED STATE LAND (US), ASSOCIATED WITH SITE DEDIMENT
- AREA 3**
DREDGE AREA FOR LEASE AU ON SP7305678 AND LEASE AY ON SP7335869 ALL IN LOT 501 ON SP7197107 (DRY AREA OWNED BY GPC)

 Gladders Ports
Corporation

APPROVED

Name: Trudi Smith
Date: 2:10pm 01/11/2022

- LEGEND - CIVIL**
- | | |
|---|---------------------|
|  | LEASE BOUNDARY |
|  | CADASTRE BOUNDARY |
|  | FENCE |
|  | HINGED GATE ON POST |
- LEGEND - MARITIME**
- | | |
|---|----------------------|
|  | DEPARTURE CHANNEL |
|  | BERTH |
|  | 1 in 3 DREDGE BATTER |
|  | ROCK PROTECTION |
- NOTES**
1. FOR GENERAL NOTES REFER TO DRAWING 0086-C1001.
 2. WHERE SHOWN, SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE.

[illegible]

SATISFACTORY SURFACE FINISH IS ACHIEVED.

19. FABRICATION SHALL COMPLY WITH THE SPECIFICATION AND THE REQUIREMENTS OF AS 4100, AS 2150 AND AS1554 WHERE APPLICABLE.

- CONCRETE:**

5. CONSTRUCTION JOINTS IN POSITIONS OTHER THAN THOSE INDICATED ON THE DRAWINGS SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACING CONCRETE.

1. REINFORCEMENT SHALL BE STORED CLEAR OF THE GROUND AND PROTECTED AGAINST SALT WATER SPRAY AND OTHER CONTAMINANTS.

- Kramer Ausenco**
ENGINEERS & PROJECT MANAGERS

2. FULLY PAINT ALL WELDED Y PILES AND FENDER CARRIERS.

3. PROTECTIVE COATINGS CAN BE APPLIED TO THE TOP 5.5m OF THE SEAWARD OUTER FACE OF ALL PILES.

1. STAGE 1 FENDERING FOR THE WHARF IS PROVIDED BY THE WHARF OPERATOR THROUGH THE USE OF SELF FENDERING BARGES AND PNEUMATIC FENDERS AS REQUIRED.

1. 100t TEE HEAD MOORING BOLLARDS ARE DE-RATED TO 30t FOR STAGE 1.

2. FOR STAGE 2 THE DE-RATED BOLLARDS WILL BE RE-INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS TO ACHIEVE FULL LOAD RATING
3. THE 50T MOORING BOLLARDS USED ON THE BARGE RAMP MAY HAVE ADDITIONAL STEEL REINFORCEMENT ADDED AFTER FINAL BOLLARD SUPPLIER HAS BEEN CONFIRMED. CHECK PRIOR TO BARGE RAMP POUR.

1. FINAL COMPACTION DETAIL SUBJECT TO ASSESSMENT POST CELL DRIVING AND PRIOR TO PLACING GEOTEXTILE LAYER.

2. EARTHWORKS SHALL BE CARRIED OUT BY FILL OPERATIONS TO ACHIEVE LEVELS IN ACCORDANCE WITH THE FINISHED SURFACE LEVELS AND MINIMUM DEPTHS SHOWN ON THE DRAWINGS.
3. CELL AREA SELECTED FILL MATERIAL SHALL BE ROAD BASE MRS1105, CBR 70 AT 5.0mm PENETRATION, PLACED IN MAXIMUM 200mm LAYERS APART FROM THE UPPER TWO LAYERS WHICH SHALL BE AT 100mm.

1. SUPPLY AND INSTALLATION OF PILES SHALL COMPLY WITH AS 2159 "PILING DESIGN AND INSTALLATION".

2. ALL STEEL PILES SHALL HAVE A MINIMUM YIELD STRENGTH OF 350 MPa.
3. SPLICES IN PILES SHALL BE C.P.B.W. CATEGORY SP (STRUCTURAL PURPOSE) UNQ.
4. ALL MAIN WHARF PILES ARE 22m LONG. PILES TO BE INSTALLED TO FULL LENGTH FROM SPECIFIED TOP RL OR TO REFUSAL IN HARD LAYER AT RL -14.5m LATER DEEPER.
5. THE BARGE RAMP CELL PILES TO BE INSTALLED TO FULL NOMINATED SHEET LENGTH OR HALF SHEET LENGTH FROM NOMINATED TOP RL OR TO RL -13.5m LAT FOR FULL SHEETS IN HARD LAYER.
6. ALL PILES TO BE INSTALLED TO FULL NOMINATED DEPTH AND EXPERIENCED INSTALLATION CONDITIONS.

1. PROTECTIVE COATINGS TO ALL PILES SHALL BE IN ACCORDANCE WITH THE SPECIFICATION U.N.O..

5. MINIMUM LAP LENGTHS SHALL BE AS FOLLOWS U.N.O.

CONCRETE GRADE BAR DIAMETER	MIN LAP LENGTH (mm)	\$50
N12	350	
N16	500	
N20	600	
N24	750	
N28	950	
N32	1150	
N36	1350	

6. REINFORCEMENT IS SHOWN DIAGONALLY, IT IS NOT NECESSARILY SHOWN IN TRUE PROJECTION.
7. REINFORCEMENT SHALL CONFORM WITH ASINCS 4871.
P - DENOTES STRUCTURAL GRADE (GRADE 250 R) PLAIN ROUND BARS.
N - DENOTES HOT ROLLED DEFORMED BARS (GRADE 500).
8. IN SLABS AND BEAMS WITH LONG CONTINUOUS BARS, SPLICES SHALL BE STAGGERED IN ADJACENT BARS BY MINIMUM OF 1.3 TIMES THE MINIMUM LAP LENGTH FROM END OF BAR TO END OF ADJACENT BAR.
9. AT POSITIONS WHERE MORE THAN 50% OF REINFORCEMENT IS SPLICED, LAP LENGTHS SHALL BE MULTIPLIED BY 1.25.

1. ALL FORMWORK SHALL COMPLY WITH A83810 AND ALL GAPS SHALL BE SEALED.
2. ALL EXTERNAL NINETY DEGREE CORNERS TO HAVE 20 X 20 CHAMFER U.N.O.

3. FORMS SHALL BE AIR SWEEPED AND LOOSE DEBRIS REMOVED PRIOR TO POURING CONCRETE.
4. ALL FORMWORK FOR CONCRETE SHALL BE CLASS 2 FINISH.

CAISSON PILING:

1. SUPPLY AND INSTALLATION OF PILES SHALL COMPLY WITH AS 2159 "PILING DESIGN AND INSTALLATION".
2. ALL STEEL PILES SHALL HAVE A MINIMUM YIELD STRENGTH OF 350 MPa.
3. SPLICES IN PILES SHALL BE C.P.B.W. CATEGORY SP (STRUCTURAL PURPOSE) (N.O.D).
4. ALL MAIN WHARF PILES ARE 22m LONG. PILES TO BE INSTALLED TO FULL LENGTH FROM SPECIFIED TOP RL OR TO REFUSAL IN HARD LAYER AT RL -14.5m LAT OR DEEPER.
5. THE BARGE RAMP CELL PILES TO BE INSTALLED TO FULL NOMINATED SHEET LENGTH OR HALF SHEET LENGTH FROM NOMINATED TOP RL OR TO RL -13.5m LAT FOR FULL SHEETS IN HARD LAYER.

PROTECTIVE COATINGS:

1. PROTECTIVE COATINGS TO ALL PILES SHALL BE IN ACCORDANCE WITH THE SPECIFICATION U.N.O..

2. FULLY PAINT ALL WELDED Y PILES AND FENDER CARRIERS.

3. PROTECTIVE COATINGS CAN BE APPLIED TO THE TOP 5.5m OF THE SEAWARD OUTER FACE OF ALL PILES.

1. STAGE 1 FENDERING FOR THE WHARF IS PROVIDED BY THE WHARF OPERATOR THROUGH THE USE OF SELF FENDERING BARGES AND PNEUMATIC FENDERS AS REQUIRED.

WELDING OF JUNCTION PILES:

1. JUNCTION PILES ARE SPECIAL PURPOSE WELDS.
2. FULL STRENGTH BUTT WELDS ARE REQUIRED 480MPa GRADE (FP BW480/SP)
3. WELDING METHOD, EQUIPMENT, MATERIALS AND TESTING METHODS WILL NEED TO BE APPROVED BY THE ENGINEER SUPPLIED BY THE WELDING CONTRACTOR.

FILL AND COMPACTION:

1. FINAL COMPACTION DETAIL SUBJECT TO ASSESSMENT POST CELL DRIVING AND PRIOR TO PLACING GEOTEXTILE LAYER.
2. EARTHWORKS SHALL BE CARRIED OUT BY FILL OPERATIONS TO ACHIEVE LEVELS IN ACCORDANCE WITH THE FINISHED SURFACE LEVELS AND MINIMUM DEPTHS SHOWN ON THE DRAWINGS.
3. CELL AREA SELECTED FILL MATERIAL SHALL BE ROAD BASE MFS 105, CBR TO AT 5.0mm PENETRATION, PLACED IN MAXIMUM 200mm LAYERS APRON FROM THE UPPER TWO LAYERS WHICH SHALL BE AT 100mm.

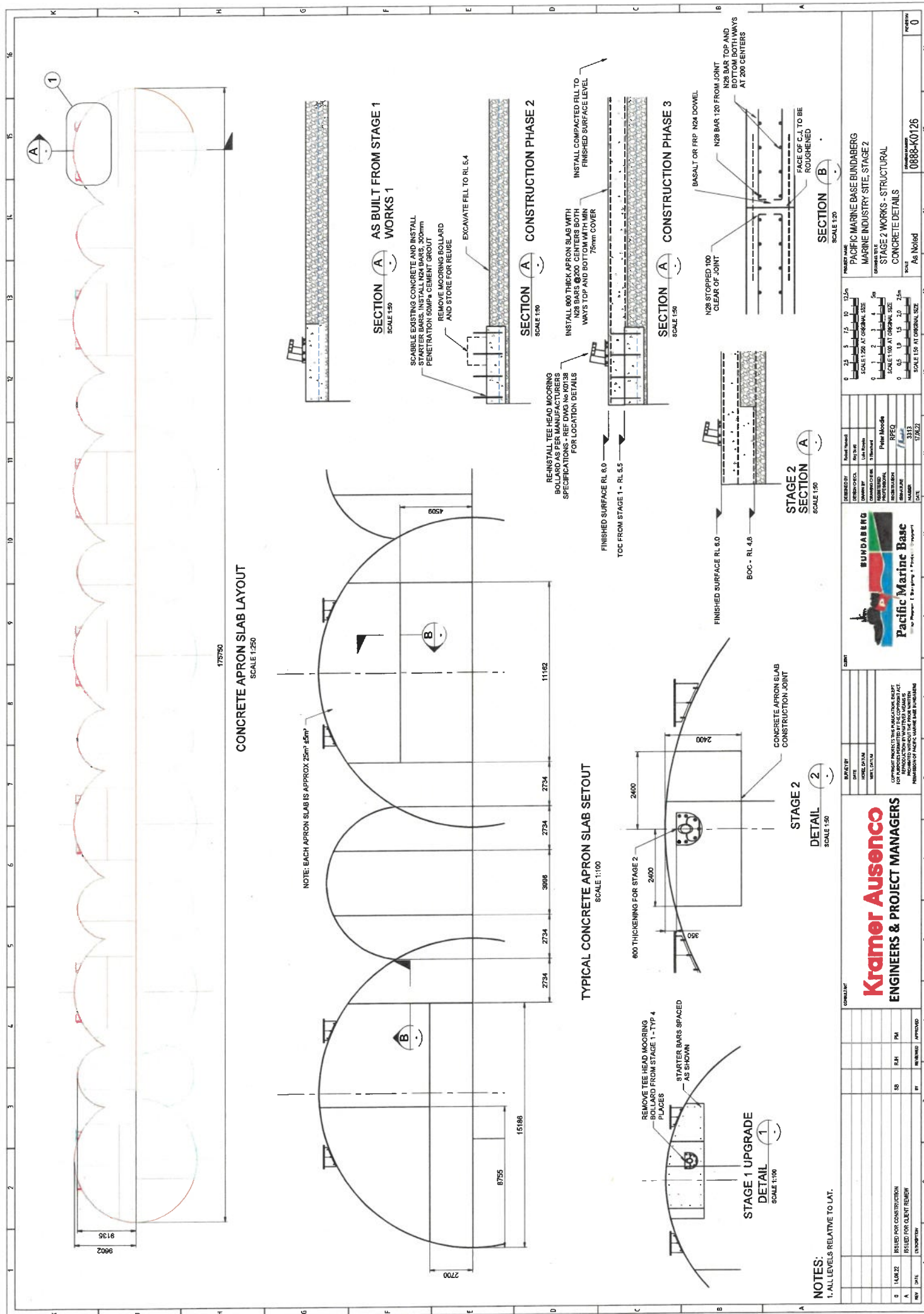
4. SELECTED FILL MATERIAL SHALL BE SUPPLIED AND COMPACTED WHERE NECESSARY, TO OBTAIN GEOTEXTILE LEVEL. FILL MATERIAL SHALL BE APPROVED MATERIAL.

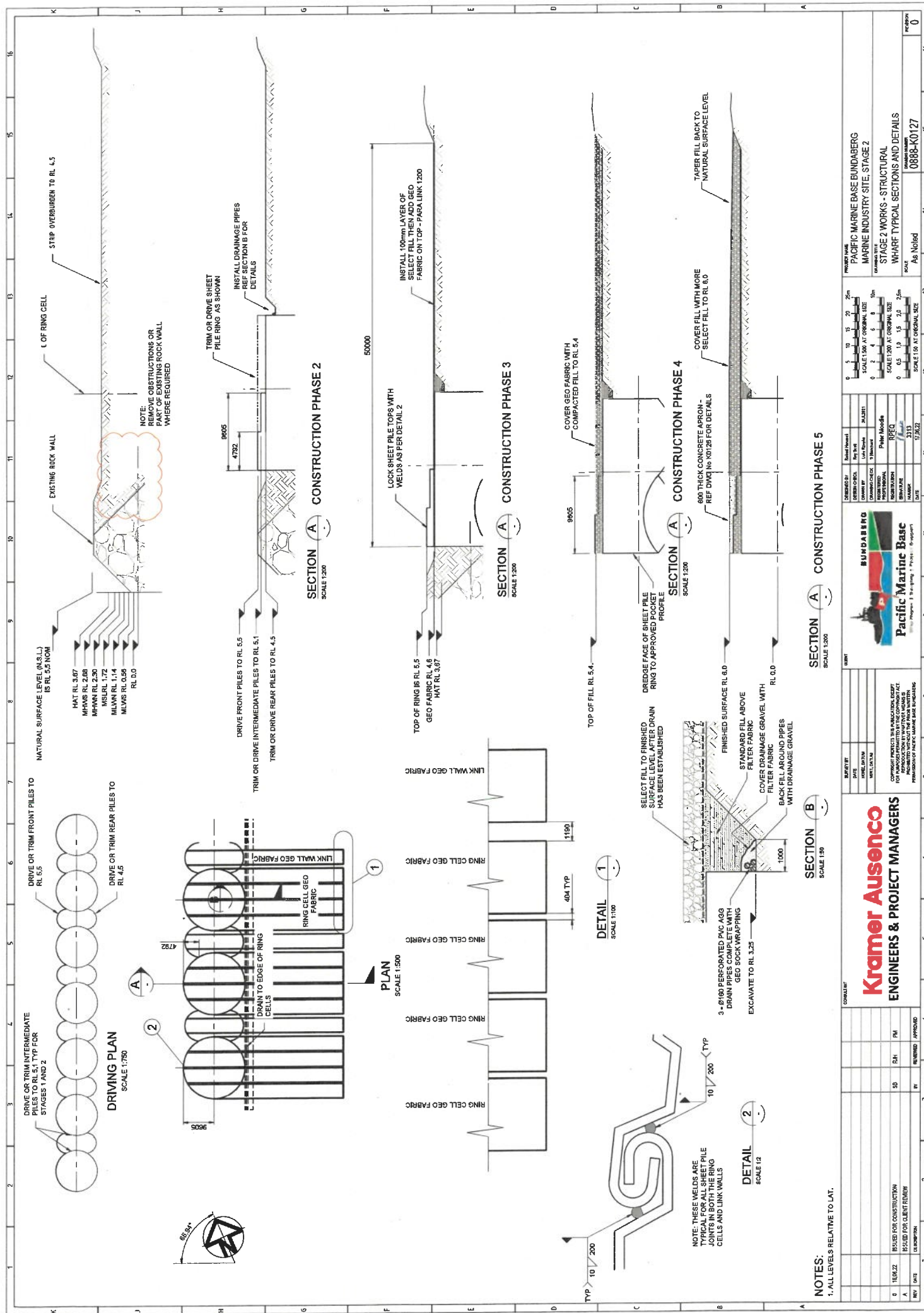
5. EXCAVATION SHALL BE CARRIED OUT WHERE NECESSARY, TO OBTAIN SUBGRADE LEVEL. SELECTED FILL MATERIAL SHALL BE SUPPLIED AND COMPACTED WHERE NECESSARY TO OBTAIN SUBGRADE LEVEL.
6. ALL EARTHWORKS FILL AND EXCAVATED AREAS SHALL BE COMPACTED TO 98% STANDARD MAXIMUM DRY DENSITY (AS 1289 5.1.1) WITH TOP 150mm RUNNING COURSE 100% MODIFIED.

7. COMPACTION TEST RESULTS AND TEST LOCATIONS FOR SUBGRADE AND EARTHWORK'S FILL TESTING SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER PRIOR TO PLACING PAVEMENT MATERIALS.
8. COMPACTION TESTS ARE REQUIRED FOR ALL CELLS AND SHALL BE CARRIED OUT AT THE RATE OF ONE TEST SET PRIOR TO PLACING THE GEOTEXTILE AND MID AND FINAL FILL. LEVEL A TEST SET IS TWO TESTS PER SMALL CELL AND FOUR TEST PER LARGE CELL.

- ## 9. FINAL AND INTERIM PAVEMENT DESIGN AND DETAIL OVER THE CELL STRUCTURES TO CONSIDER FUTURE

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NOTES:

1. ALL LEVELS RELATIVE TO LAT.

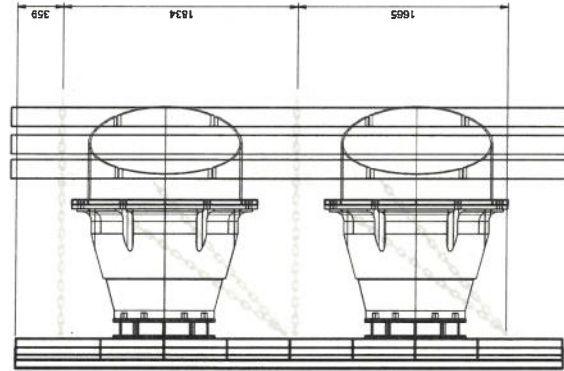
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SCALE 1:20



**DOUBLE CONE FENDER
ASSEMBLY SIDE VIEW**
SCALE 1:20



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**SINGLE FENDER
PANEL**

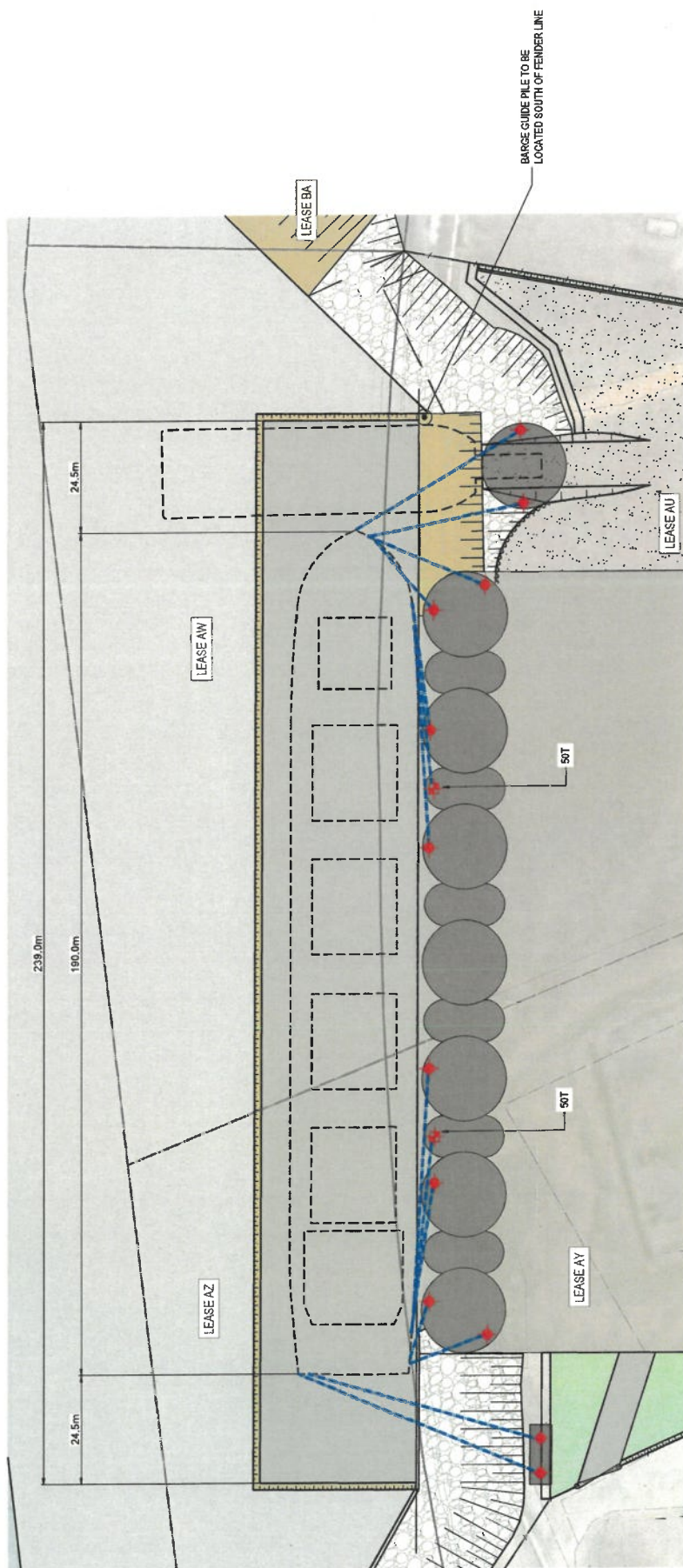


NOTES

1. ALL LEVELS RELATIVE TO LAT.
2. THE FENDER PANEL ASSEMBLY IS TO BE PROVIDED BY THE CONE FENDER SUPPLIER
3. THE FENDER PANEL MATERIALS, MATERIAL THICKNESS AND SPACING TO BE DETERMINED BY THE CONE FENDER SUPPLIER

NOTES:
1. ALL LEVELS RELATIVE TO LAT.

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MOORING PLAN
SCALE 1"=500'




LEGEND - CIVIL

- LEASE BOUNDARY
CADASTRE BOUNDARY
FENCE
HINGED GATE ON POST

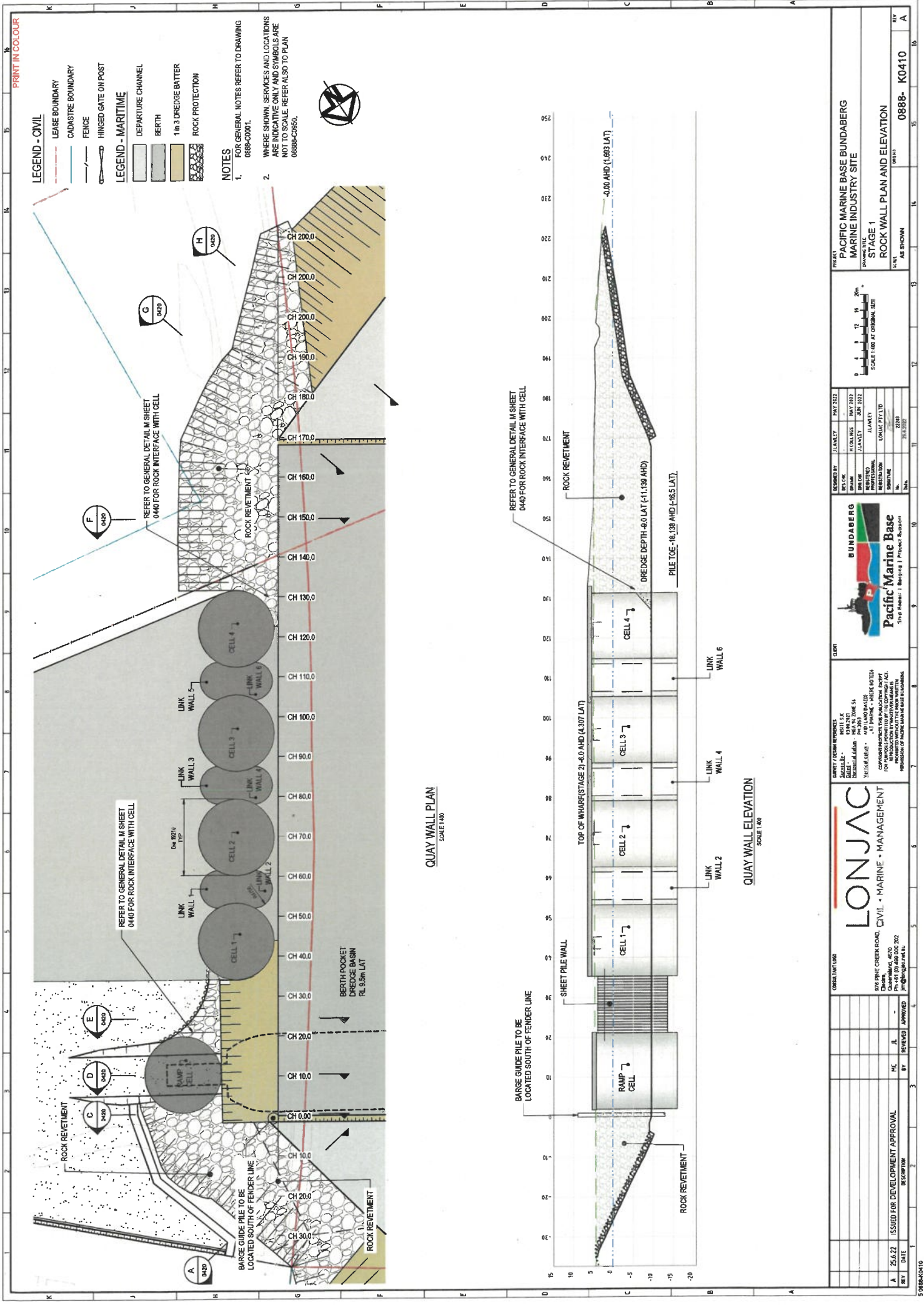
LEGEND - MARITIME

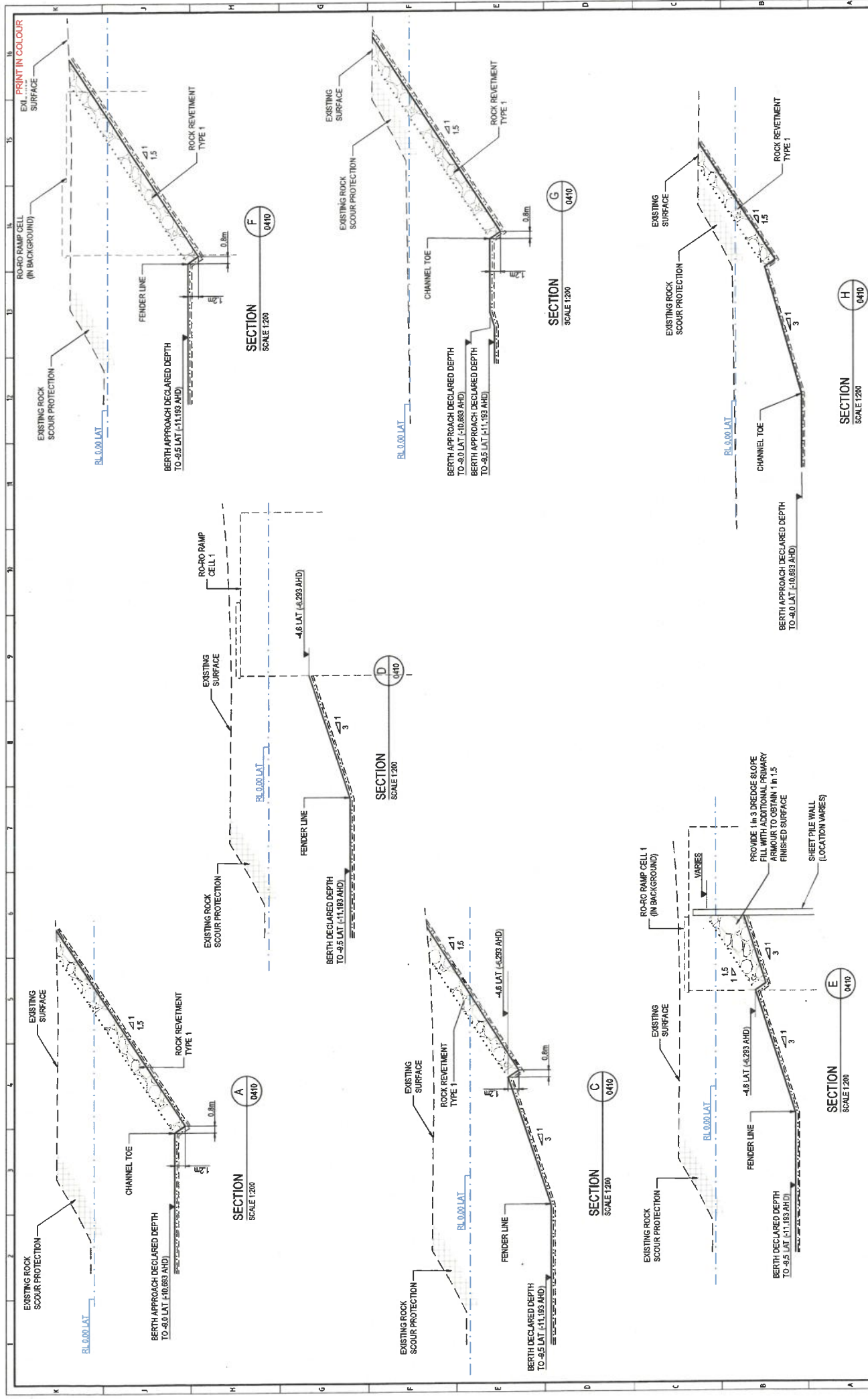
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| | DEPARTURE CHANNEL |
| | BERTH |
| | 1 in 3 DREDGE BATTER |
| | ROCK PROTECTION |

NOTES

- | | | |
|----|---|---|
| 1. | FOR GENERAL NOTES REFER TO DRAWING 0004-0001. | |
| 2. | WHERE SHOWN, SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE. |  100T TEE HEAD MOORING BOLLARD
 50T TEE HEAD MOORING BOLLARD |
| 3. | MOORING LAYOUT FOR STAGE 2 DESIGN VESSEL |  MOORING ROPE |

[illegible]





REVISIONS

REV	DATE	DESCRIPTION	BY	CHKD	APP'D
A	25.6.22	ISSUED FOR DEVELOPMENT APPROVAL	NC	IL	

PROJECT DATA

PROJECT: PACIFIC MARINE BASE BUNDABERG
MARINE INDUSTRY SITE
DRAWING TITLE: STAGE 1
ROCKWALL TYPICAL SECTIONS
SCALE: AS SHOWN
REV: A

REVISIONS

REV	DATE	DESCRIPTION	BY	CHKD	APP'D
A	25.6.22	ISSUED FOR DEVELOPMENT APPROVAL	NC	IL	

PROJECT DATA

PROJECT: PACIFIC MARINE BASE BUNDABERG
MARINE INDUSTRY SITE
DRAWING TITLE: STAGE 1
ROCKWALL TYPICAL SECTIONS
SCALE: AS SHOWN
REV: A

REVISIONS

REV	DATE	DESCRIPTION	BY	CHKD	APP'D
A	25.6.22	ISSUED FOR DEVELOPMENT APPROVAL	NC	IL	

PROJECT DATA

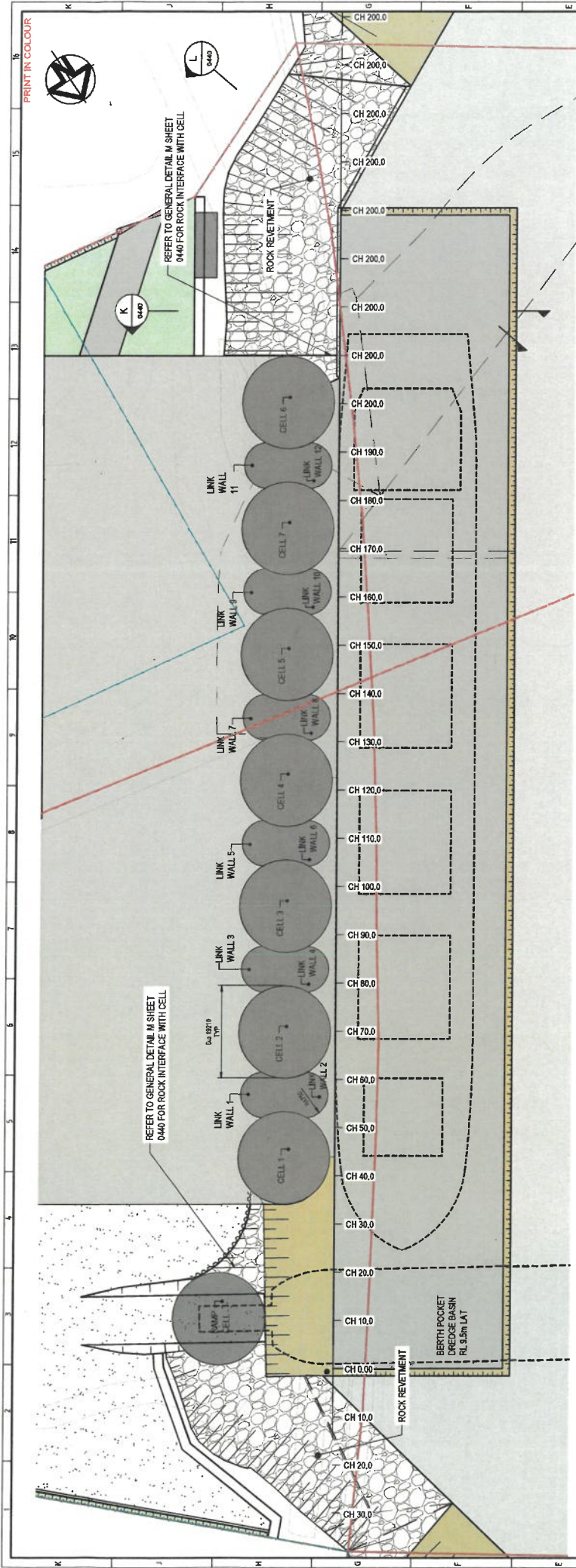
PROJECT: PACIFIC MARINE BASE BUNDABERG
MARINE INDUSTRY SITE
DRAWING TITLE: STAGE 1
ROCKWALL TYPICAL SECTIONS
SCALE: AS SHOWN
REV: A

REVISIONS

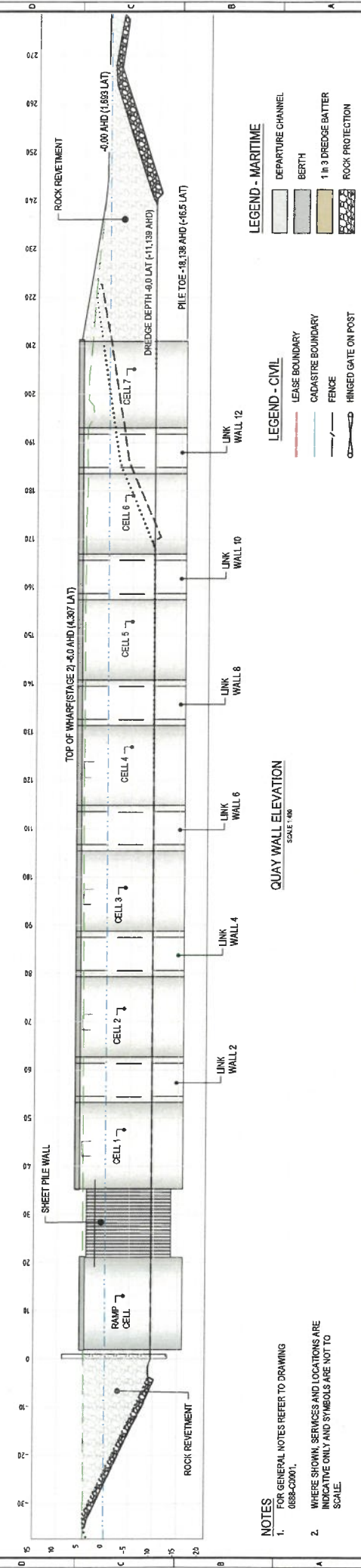
REV	DATE	DESCRIPTION	BY	CHKD	APP'D
A	25.6.22	ISSUED FOR DEVELOPMENT APPROVAL	NC	IL	

PROJECT DATA

PROJECT: PACIFIC MARINE BASE BUNDABERG
MARINE INDUSTRY SITE
DRAWING TITLE: STAGE 1
ROCKWALL TYPICAL SECTIONS
SCALE: AS SHOWN
REV: A



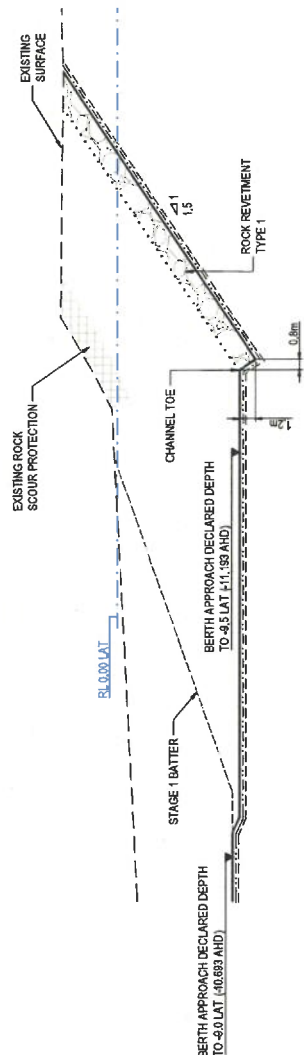
QUAY WALL PLAN
SCALE 1:400



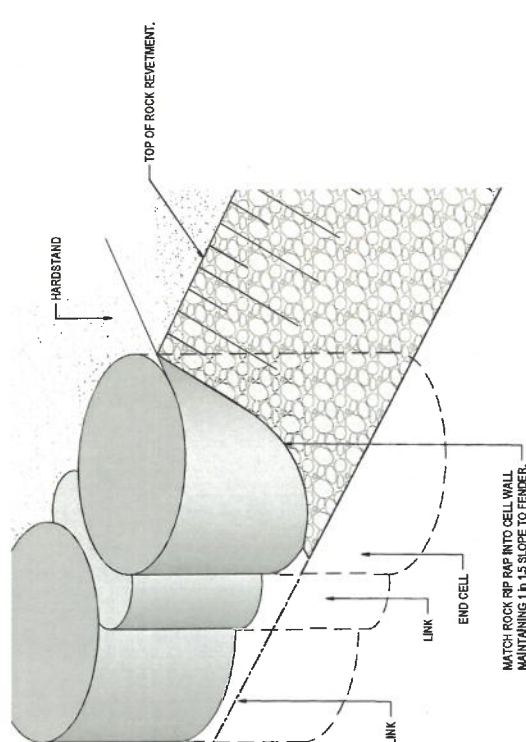
QUAY WALL ELEVATION
SCALE 1:400

- NOTES**
- FOR GENERAL NOTES REFER TO DRAWING 0888-C0001.
 - WHERE SHOWN, SERVICES AND LOCATIONS ARE INDICATIVE ONLY AND SYMBOLS ARE NOT TO SCALE.

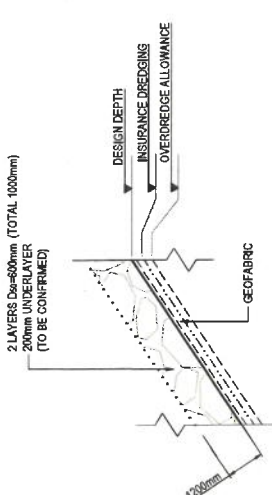
REVISIONS REV DATE DESCRIPTION A 25.6.22 ISSUED FOR DEVELOPMENT APPROVAL BY JH CHECKED BY JH APPROVED BY JH		PROJECT INFORMATION PROJECT PACIFIC MARINE BASE BUNDABERG DRAWING TITLE MARINE INDUSTRY SITE STAGE 2 ROCK WALL PLAN AND ELEVATION SCALE AS SHOWN DRAWN BY JH CHECKED BY JH DATE 25.6.22		CLIENT INFORMATION CLIENT LONJAC CIVIL • MARINE • MANAGEMENT 200 PRINCE STREET, SUITE 4070 SYDNEY, NSW 1585 PH: +61 (0) 2 955 000 202 EMAIL: info@lonjac.com.au		DESIGNER INFORMATION DESIGNER PACIFIC MARINE BASE BUNDABERG 100 PRINCE STREET, SUITE 4070 SYDNEY, NSW 1585 PH: +61 (0) 2 955 000 202 EMAIL: info@pacificmarinebase.com.au		APPROVALS DESIGNED BY JH CHECKED BY JH DATE 25.6.22 DRAWING TITLE MARINE INDUSTRY SITE STAGE 2 ROCK WALL PLAN AND ELEVATION SCALE AS SHOWN DRAWN BY JH CHECKED BY JH DATE 25.6.22		PROJECT LOCATION PROJECT PACIFIC MARINE BASE BUNDABERG MARINE INDUSTRY SITE STAGE 2 ROCK WALL PLAN AND ELEVATION SCALE AS SHOWN DRAWN BY JH CHECKED BY JH DATE 25.6.22		PROJECT NUMBER PROJECT 0888-K0430 REV A	
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SECTION
SCALE 1:200



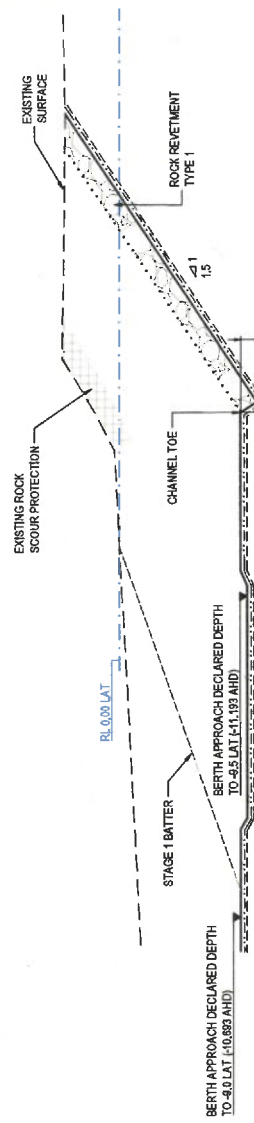
DETAIL
SCALE 1:200



REVETMENT TYPE 1 DETAIL

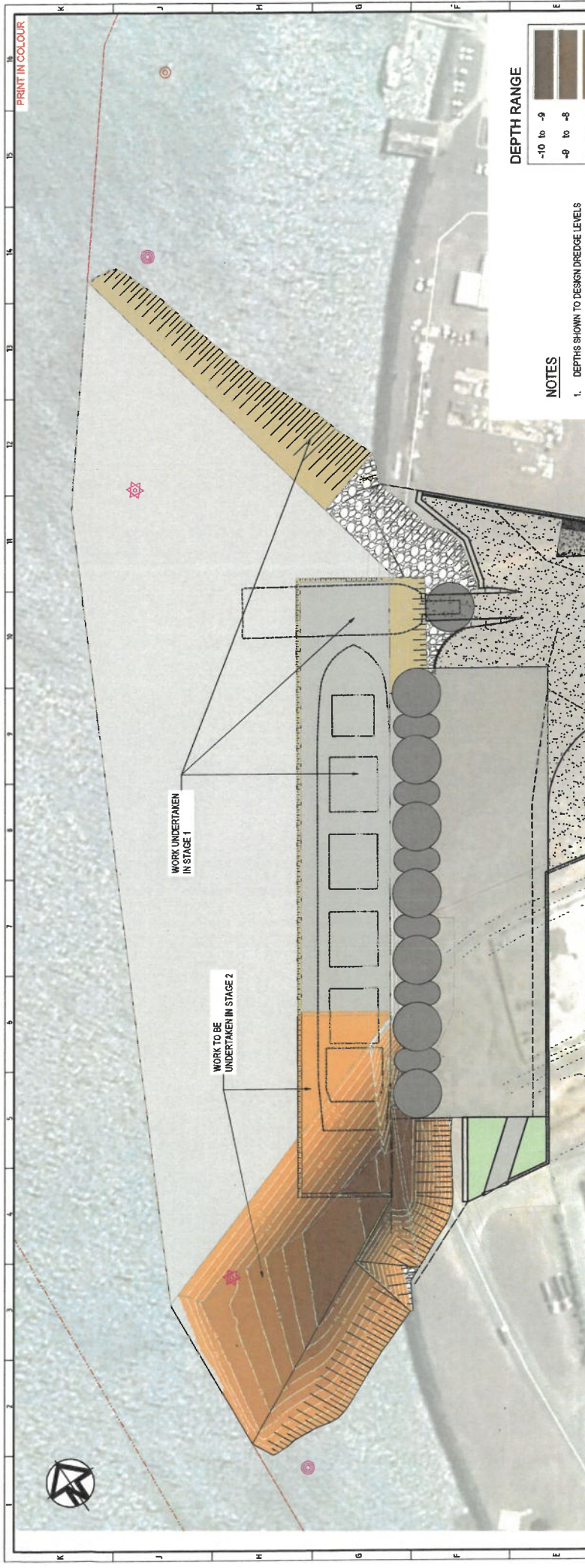
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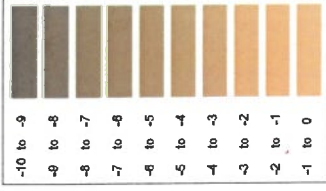


SECTION
SCALE 1:200
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DEPTH RANGE



NOTES

- 1. DEPTHS SHOWN TO DESIGN DREDGE LEVELS
- 2. ALL VOLUMES ARE IN-SITU CUBIC METRES
- 3. STAGED VOLUMES ASSUME THE PREVIOUS STAGE HAS BEEN COMPLETED
- 4. CONTOURS SHOWN ON THIS PLAN ARE DEPTHS BETWEEN THE VOLUME SURFACES.
- 5. EARTHWORKS:
 - FILL MATERIAL PLACED FROM EXISTING SURFACE TO DESIGN LEVELS.
 - CUT EXCAVATION TO DESIGN DREDGE LEVELS

PLAN SCALE 1:1000

STAGE 1 DREDGE VOLUMES

ZONE	SURFACE AREA (PLAN AREA m ²)		OVERBURDEN VOLUME (m ³)		RECLAIMED DEPTH VOLUME (m ³)	
	PLAN AREA	PLAN AREA	VOLUME	VOLUME	VOLUME	VOLUME
QUANTITATIVE CHANNEL AND 1.5 M TYPICAL DEPTH - 10.1 M	31,800	182,784	173,275	183,837	183,837	183,837
BERTH POCKET, WHARF PILES AND ROCK SCOUR AREAS (DECLARED DEPTH - 7.5 M)	11,006	94,752	96,139	100,396	100,396	100,396
TOTAL	42,806	277,536	273,414	284,234	284,234	284,234

STAGE 2 DREDGE VOLUMES (STAGE 1 COMPLETED)

ZONE	SURFACE AREA (PLAN AREA m ²)		OVERBURDEN VOLUME (m ³)		RECLAIMED DEPTH VOLUME (m ³)	
	PLAN AREA	PLAN AREA	VOLUME	VOLUME	VOLUME	VOLUME
QUANTITATIVE CHANNEL AND 1.5 M TYPICAL DEPTH - 8.1 M	6,170	26,157	36,430	21,951	21,951	21,951
BERTH POCKET, WHARF PILES AND ROCK SCOUR AREAS (DECLARED DEPTH - 8.1 M)	4,820	20,193	21,352	22,125	22,125	22,125
TOTAL	10,990	46,350	57,782	44,076	44,076	44,076

TOTAL DREDGE VOLUMES (STAGE 1 AND STAGE 2)

ZONE	SURFACE AREA (PLAN AREA m ²)		OVERBURDEN VOLUME (m ³)		RECLAIMED DEPTH VOLUME (m ³)	
	PLAN AREA	PLAN AREA	VOLUME	VOLUME	VOLUME	VOLUME
QUANTITATIVE CHANNEL AND 1.5 M TYPICAL DEPTH - 10.1 M	31,800	182,784	173,275	183,837	183,837	183,837
BERTH POCKET, WHARF PILES AND ROCK SCOUR AREAS (DECLARED DEPTH - 7.5 M)	11,006	94,752	96,139	100,396	100,396	100,396
TOTAL	42,806	277,536	273,414	284,234	284,234	284,234

STG 2 BULK EARTHWORK VOLUMES TABLE

DEPTH	VOLUME (m ³)	
	FROM	TO
-15.000	-15.000	-12.82
-12.82	-12.82	-10.1
-10.1	-10.1	-7.5
-7.5	-7.5	-5.0
-5.0	-5.0	-2.5
-2.5	-2.5	0.0
0.0	0.0	0.0
TOTAL	338,110	-488,126

PROJECT: PACIFIC MARINE BASE BUNDABERG MARINE INDUSTRY SITE

STAGE 2 VOLUMES PLAN

SCALE: AS SHOWN

0888- K0560

DESIGNED BY: LONJAC

DATE: 25.12.22

REVIEWED BY: J.L.

APPROVED BY: H.C.

ISSUED FOR DEVELOPMENT APPROVAL

CLIENT: PACIFIC MARINE BASE

NOTES: 1. ALL VOLUMES ARE IN-SITU CUBIC METRES. 2. ALL VOLUMES ARE IN-SITU CUBIC METRES. 3. STAGED VOLUMES ASSUME THE PREVIOUS STAGE HAS BEEN COMPLETED. 4. CONTOURS SHOWN ON THIS PLAN ARE DEPTHS BETWEEN THE VOLUME SURFACES. 5. EARTHWORKS: FILL MATERIAL PLACED FROM EXISTING SURFACE TO DESIGN LEVELS. CUT EXCAVATION TO DESIGN DREDGE LEVELS.


CONSULTANT: LONJAC

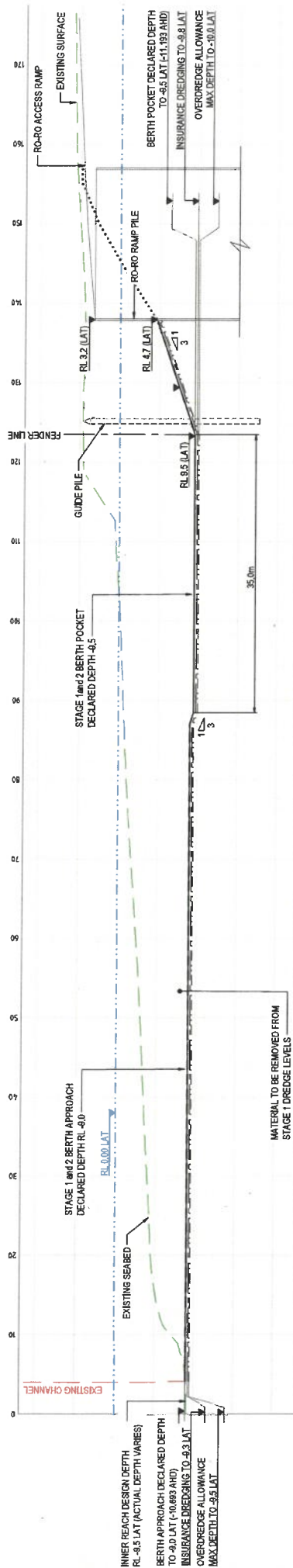
754 PINE GREEN ROAD, BUNDABERG, QLD 4670

08 4670 0000

info@lonjac.com.au



CONSULTANT LOGO		LONJAC										SERV / REFERRENCES										CLIENT										PROJECT									
785 PINE CREEK ROAD, CIVIL - MARINE - MANAGEMENT Pine Creek Road, 4810 Ph: 08 (0) 499 000 202 Fax: 08 (0) 499 000 203 www.lonjac.com.au												JAZZLEZ - ROTE L&Z JAZZLEZ - M&A L&Z JAZZLEZ																													

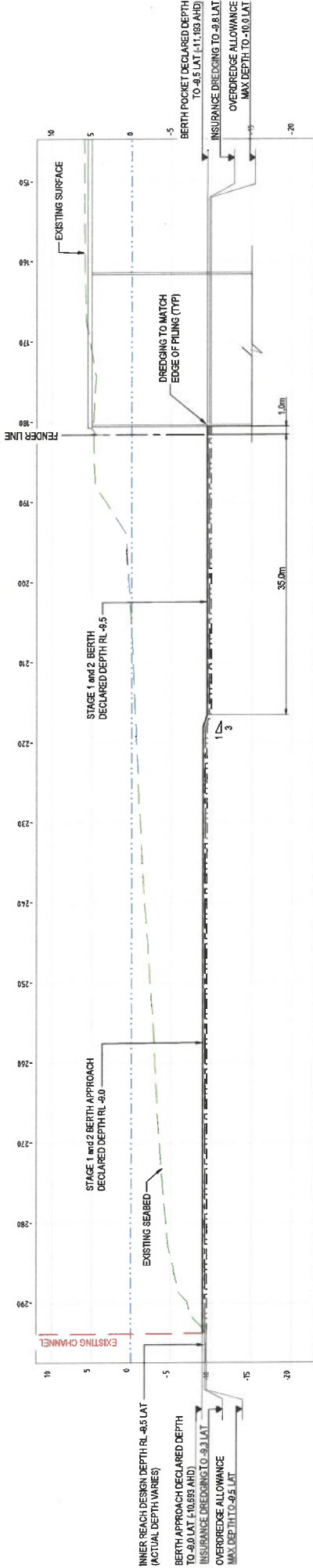


SITE SECTION
SCALE 1:250

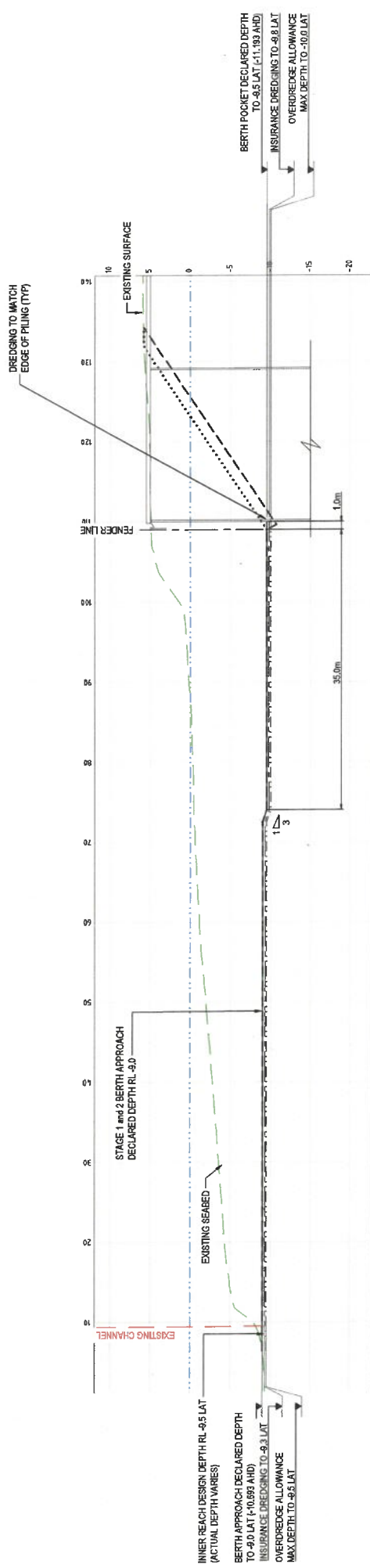


SITE SECTION
SCALE 1:250

REP	NO	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466	467	468	469	470	471	472	473	474	475	476	477	478	479	480	481	482	483	484	485	486	487	488	489	490	491	492	493	494	495	496	497	498	499	500	501	502	503	504	505	506	507	508	509	510	511	512	513	514	515	516	517	518	519	520	521	522	523	524	525	526	527	528	529	530	531	532	533	534	535	536	537	538	539	540	541	542	543	544	545	546	547	548	549	550	551	552	553	554	555	556	557	558	559	560	561	562	563	564	565	566	567	568	569	570	571	572	573	574	575	576	577	578	579	580	581	582	583	584	585	586	587	588	589	590	591	592	593	594	595	596	597	598	599	600	601	602	603	604	605	606	607	608	609	610	611	612	613	614	615	616	617	618	619	620	621	622	623	624	625	626	627	628	629	630	631	632	633	634	635	636	637	638	639	640	641	642	643	644	645	646	647	648	649	650	651	652	653	654	655	656	657	658	659	660	661	662	663	664	665	666	667	668	669	670	671	672	673	674	675	676	677	678	679	680	681	682	683	684	685	686	687	688	689	690	691	692	693	694	695	696	697	698	699	700	701	702	703	704	705	706	707	708	709	710	711	712	713	714	715	716	717	718	719	720	721	722	723	724	725	726	727	728	729	730	731	732	733	734	735	736	737	738	739	740	741	742	743	744	745	746	747	748	749	750	751	752	753	754	755	756	757	758	759	760	761	762	763	764	765	766	767	768	769	770	771	772	773	774	775	776	777	778	779	780	781	782	783	784	785	786	787	788	789	790	791	792	793	794	795	796	797	798	799	800	801	802	803	804	805	806	807	808	809	810	811	812	813	814	815	816	817	818	819	820	821	822	823	824	825	826	827	828	829	830	831	832	833	834	835	836	837	838	839	840	841	842	843	844	845	846	847	848	849	850	851	852	853	854	855	856	857	858	859	860	861	862	863	864	865	866	867	868	869	870	871	872	873	874	875	876	877	878	879	880	881	882	883	884	885	886	887	888	889	890	891	892	893	894	895	896	897	898	899	900	901	902	903	904	905	906	907	908	909	910	911	912	913	914	915	916	917	918	919	920	921	922	923	924	925	926	927	928	929	930	931	932	933	934	935	936	937	938	939	940	941	942	943	944	945	946	947	948	949	950	951	952	953	954	955	956	957	958	959	960	961	962	963	964	965	966	967	968	969	970	971	972	973	974	975	976	977	978	979	980	981	982	983	984	985	986	987	988	989	990	991	992	993	994	995	996	997	998	999	1000
ISSUED FOR DEVELOPMENT APPROVAL		DESCRIPTION		REV		DATE		BY		REVIEWED		APPROVED		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT		PROJECT																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											



SITE SECTION E
SCALE 1:250
05/10/2020



SITE SECTION F
SCALE 1:250
05/10/2020



CLIENT: PACIFIC MARINE BASE BUNDABERG
MARINE INDUSTRY SITE
STAGES 1 AND 2
TYPICAL SECTIONS AND DETAILS SHEET 3
SCALE: AS SHOWN
0888- K0573

REV	DATE	DESCRIPTION	BY	CHK	APP
A	25.6.22	ISSUED FOR DEVELOPMENT APPROVAL	MC	AL	APPROVED

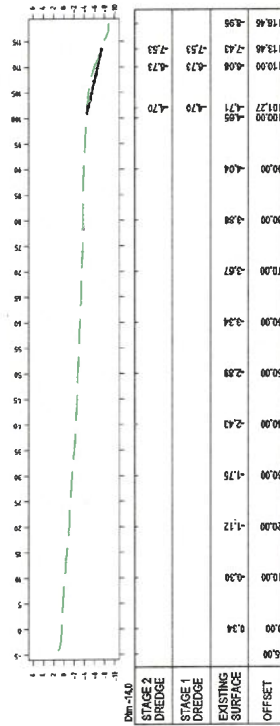
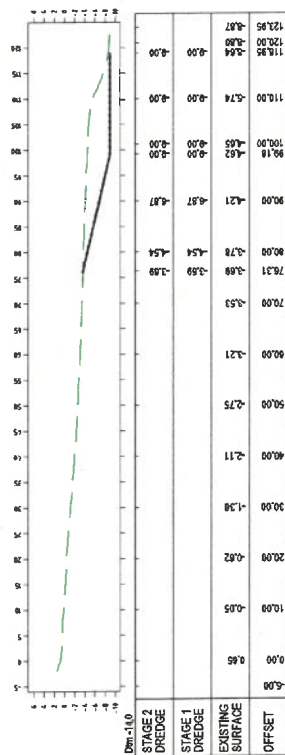
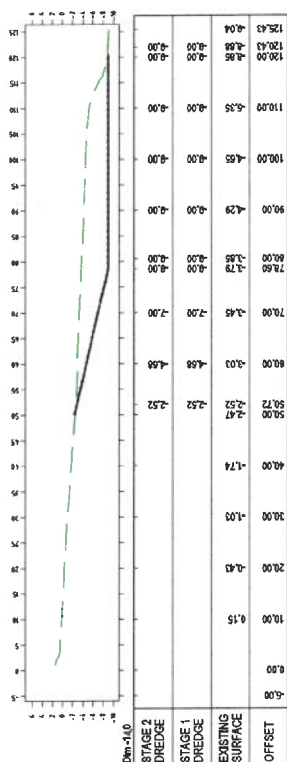
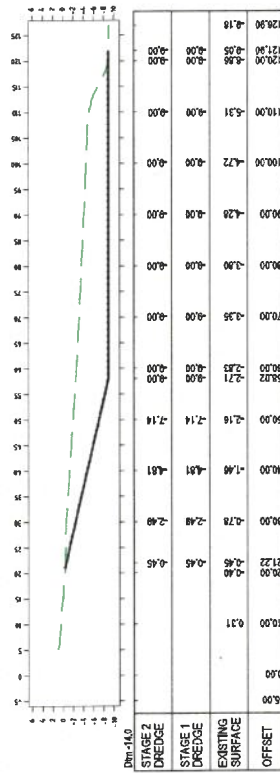
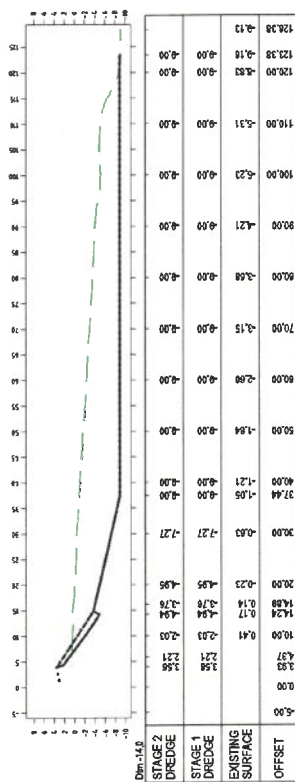
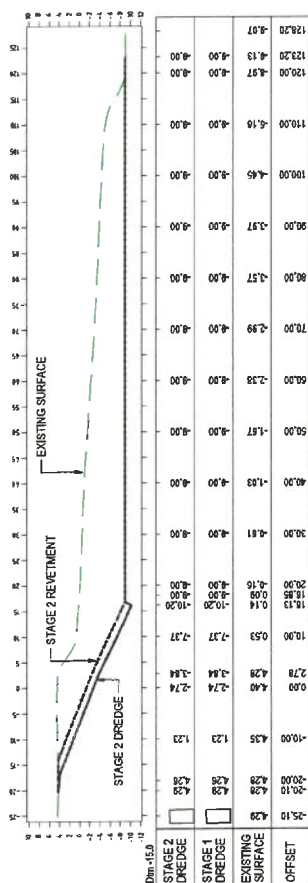


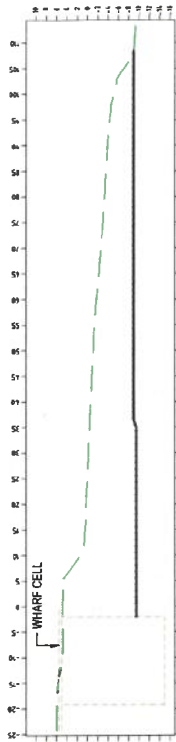
SAFETY / DESIGN REQUIREMENTS:
- BASELINE: PACIFIC MARINE BASE BUNDABERG
- DESIGN: PACIFIC MARINE BASE BUNDABERG
- CONSTRUCTION: PACIFIC MARINE BASE BUNDABERG
- OPERATION: PACIFIC MARINE BASE BUNDABERG
- MAINTENANCE: PACIFIC MARINE BASE BUNDABERG
- DEMOLITION: PACIFIC MARINE BASE BUNDABERG

DESIGNED BY	11 JANUARY	MAY 2022
DESIGNER	11 JANUARY	MAY 2022
ENGINEER	11 JANUARY	MAY 2022
PROJECT MANAGER	11 JANUARY	MAY 2022
CLIENT	11 JANUARY	MAY 2022
DATE	11 JANUARY	MAY 2022



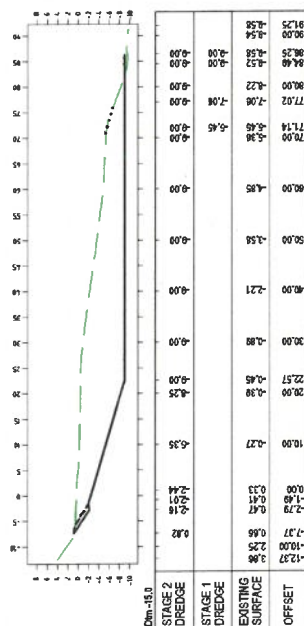
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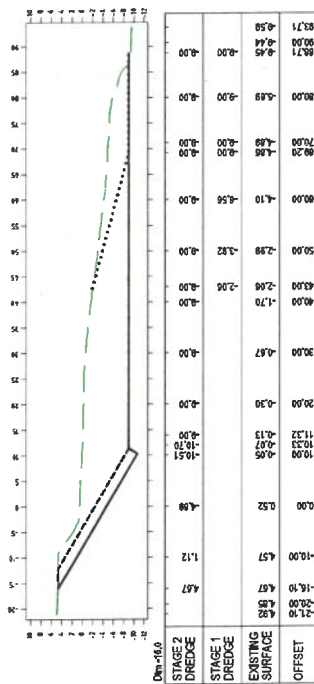


Dm -20.0		CH 100	
STAGE 2 DREDGE	STAGE 1 DREDGE	EXISTING SURFACE	OFFSET
113.42	108.42	113.42	-4.00
113.00	108.00	113.00	-4.00
112.58	107.58	112.58	-4.00
112.16	107.16	112.16	-4.00
111.74	106.74	111.74	-4.00
111.32	106.32	111.32	-4.00
110.90	105.90	110.90	-4.00
110.48	105.48	110.48	-4.00
110.06	105.06	110.06	-4.00
109.64	104.64	109.64	-4.00
109.22	104.22	109.22	-4.00
108.80	103.80	108.80	-4.00
108.38	103.38	108.38	-4.00
107.96	102.96	107.96	-4.00
107.54	102.54	107.54	-4.00
107.12	102.12	107.12	-4.00
106.70	101.70	106.70	-4.00
106.28	101.28	106.28	-4.00
105.86	100.86	105.86	-4.00
105.44	100.44	105.44	-4.00
105.02	100.02	105.02	-4.00
104.60	99.60	104.60	-4.00
104.18	99.18	104.18	-4.00
103.76	98.76	103.76	-4.00
103.34	98.34	103.34	-4.00
102.92	97.92	102.92	-4.00
102.50	97.50	102.50	-4.00
102.08	97.08	102.08	-4.00
101.66	96.66	101.66	-4.00
101.24	96.24	101.24	-4.00
100.82	95.82	100.82	-4.00
100.40	95.40	100.40	-4.00
100.00	95.00	100.00	-4.00
99.60	94.60	99.60	-4.00
99.20	94.20	99.20	-4.00
98.80	93.80	98.80	-4.00
98.40	93.40	98.40	-4.00
98.00	93.00	98.00	-4.00
97.60	92.60	97.60	-4.00
97.20	92.20	97.20	-4.00
96.80	91.80	96.80	-4.00
96.40	91.40	96.40	-4.00
96.00	91.00	96.00	-4.00
95.60	90.60	95.60	-4.00
95.20	90.20	95.20	-4.00
94.80	89.80	94.80	-4.00
94.40	89.40	94.40	-4.00
94.00	89.00	94.00	-4.00
93.60	88.60	93.60	-4.00
93.20	88.20	93.20	-4.00
92.80	87.80	92.80	-4.00
92.40	87.40	92.40	-4.00
92.00	87.00	92.00	-4.00
91.60	86.60	91.60	-4.00
91.20	86.20	91.20	-4.00
90.80	85.80	90.80	-4.00
90.40	85.40	90.40	-4.00
90.00	85.00	90.00	-4.00
89.60	84.60	89.60	-4.00
89.20	84.20	89.20	-4.00
88.80	83.80	88.80	-4.00
88.40	83.40	88.40	-4.00
88.00	83.00	88.00	-4.00
87.60	82.60	87.60	-4.00
87.20	82.20	87.20	-4.00
86.80	81.80	86.80	-4.00
86.40	81.40	86.40	-4.00
86.00	81.00	86.00	-4.00
85.60	80.60	85.60	-4.00
85.20	80.20	85.20	-4.00
84.80	79.80	84.80	-4.00
84.40	79.40	84.40	-4.00
84.00	79.00	84.00	-4.00
83.60	78.60	83.60	-4.00
83.20	78.20	83.20	-4.00
82.80	77.80	82.80	-4.00
82.40	77.40	82.40	-4.00
82.00	77.00	82.00	-4.00
81.60	76.60	81.60	-4.00
81.20	76.20	81.20	-4.00
80.80	75.80	80.80	-4.00
80.40	75.40	80.40	-4.00
80.00	75.00	80.00	-4.00
79.60	74.60	79.60	-4.00
79.20	74.20	79.20	-4.00
78.80	73.80	78.80	-4.00
78.40	73.40	78.40	-4.00
78.00	73.00	78.00	-4.00
77.60	72.60	77.60	-4.00
77.20	72.20	77.20	-4.00
76.80	71.80	76.80	-4.00
76.40	71.40	76.40	-4.00
76.00	71.00	76.00	-4.00
75.60	70.60	75.60	-4.00
75.20	70.20	75.20	-4.00
74.80	69.80	74.80	-4.00
74.40	69.40	74.40	-4.00
74.00	69.00	74.00	-4.00
73.60	68.60	73.60	-4.00
73.20	68.20	73.20	-4.00
72.80	67.80	72.80	-4.00
72.40	67.40	72.40	-4.00
72.00	67.00	72.00	-4.00
71.60	66.60	71.60	-4.00
71.20	66.20	71.20	-4.00
70.80	65.80	70.80	-4.00
70.40	65.40	70.40	-4.00
70.00	65.00	70.00	-4.00
69.60	64.60	69.60	-4.00
69.20	64.20	69.20	-4.00
68.80	63.80	68.80	-4.00
68.40	63.40	68.40	-4.00
68.00	63.00	68.00	-4.00
67.60	62.60	67.60	-4.00
67.20	62.20	67.20	-4.00
66.80	61.80	66.80	-4.00
66.40	61.40	66.40	-4.00
66.00	61.00	66.00	-4.00
65.60	60.60	65.60	-4.00
65.20	60.20	65.20	-4.00
64.80	59.80	64.80	-4.00
64.40	59.40	64.40	-4.00
64.00	59.00	64.00	-4.00
63.60	58.60	63.60	-4.00
63.20	58.20	63.20	-4.00
62.80	57.80	62.80	-4.00
62.40	57.40	62.40	-4.00
62.00	57.00	62.00	-4.00
61.60	56.60	61.60	-4.00
61.20	56.20	61.20	-4.00
60.80	55.80	60.80	-4.00
60.40	55.40	60.40	-4.00
60.00	55.00	60.00	-4.00
59.60	54.60	59.60	-4.00
59.20	54.20	59.20	-4.00
58.80	53.80	58.80	-4.00
58.40	53.40	58.40	-4.00
58.00	53.00	58.00	-4.00
57.60	52.60	57.60	-4.00
57.20	52.20	57.20	-4.00
56.80	51.80	56.80	-4.00
56.40	51.40	56.40	-4.00
56.00	51.00	56.00	-4.00
55.60	50.60	55.60	-4.00
55.20	50.20	55.20	-4.00
54.80	49.80	54.80	-4.00
54.40	49.40	54.40	-4.00
54.00	49.00	54.00	-4.00
53.60	48.60	53.60	-4.00
53.20	48.20	53.20	-4.00
52.80	47.80	52.80	-4.00
52.40	47.40	52.40	-4.00
52.00	47.00	52.00	-4.00
51.60	46.60	51.60	-4.00
51.20	46.20	51.20	-4.00
50.80	45.80	50.80	-4.00
50.40	45.40	50.40	-4.00
50.00	45.00	50.00	-4.00
49.60	44.60	49.60	-4.00
49.20	44.20	49.20	-4.00
48.80	43.80	48.80	-4.00
48.40	43.40	48.40	-4.00
48.00	43.00	48.00	-4.00
47.60	42.60	47.60	-4.00
47.20	42.20	47.20	-4.00
46.80	41.80	46.80	-4.00
46.40	41.40	46.40	-4.00
46.00	41.00	46.00	-4.00
45.60	40.60	45.60	-4.00
45.20	40.20	45.20	-4.00
44.80	39.80	44.80	-4.00
44.40	39.40	44.40	-4.00
44.00	39.00	44.00	-4.00
43.60	38.60	43.60	-4.00
43.20	38.20	43.20	-4.00
42.80	37.80	42.80	-4.00
42.40	37.40	42.40	-4.00
42.00	37.00	42.00	-4.00
41.60	36.60	41.60	-4.00
41.20	36.20	41.20	-4.00
40.80	35.80	40.80	-4.00
40.40	35.40	40.40	-4.00
40.00	35.00	40.00	-4.00
39.60	34.60	39.60	-4.00
39.20	34.20	39.20	-4.00
38.80	33.80	38.80	-4.00
38.40	33.40	38.40	-4.00
38.00	33.00	38.00	-4.00
37.60	32.60	37.60	-4.00
37.20	32.20	37.20	-4.00
36.80	31.80	36.80	-4.00
36.40	31.40	36.40	-4.00
36.00	31.00	36.00	-4.00
35.60	30.60	35.60	-4.00
35.20	30.20	35.20	-4.00
34.80	29.80	34.80	-4.00
34.40	29.40	34.40	-4.00
34.00	29.00	34.00	-4.00
33.60	28.60	33.60	-4.00
33.20	28.20	33.20	-4.00
32.80	27.80	32.80	-4.00
32.40	27.40	32.40	-4.00
32.00	27.00	32.00	-4.00
31.60	26.60	31.60	-4.00
31.20	26.20	31.20	-4.00
30.80	25.80	30.80	-4.00
30.40	25.40	30.40	-4.00
30.00	25.00	30.00	-4.00
29.60	24.60	29.60	-4.00
29.20	24.20	29.20	-4.00
28.80	23.80	28.80	-4.00
28.40	23.40	28.40	-4.00
28.00	23.00	28.00	-4.00
27.60	22.60	27.60	-4.00
27.20	22.20	27.20	-4.00
26.80	21.80	26.80	-4.00
26.40	21.40	26.40	-4.00
26.00	21.00	26.00	-4.00
25.60	20.60	25.60	-4.00
25.20	20.20	25.20	-4.00
24.80	19.80	24.80	-4.00
24.40	19.40	24.40	-4.00
24.00	19.00	24.00	-4.00
23.60	18.60	23.60	-4.00
23.20	18.20	23.20	-4.00
22.80	17.80	22.80	-4.00
22.40	17.40	22.40	-4.00
22.00	17.00	22.00	-4.00
21.60	16.60	21.60	-4.00
21.20	16.20	21.20	-4.00
20.80	15.80	20.80	-4.00
20.40	15.40	20.40	-4.00
20.00	15.00	20.00	-4.00
19.60	14.60	19.60	-4.00
19.20	14.20	19.20	-4.00
18.80	13.80	18.80	-4.00
18.40	13.40	18.40	-4.00
18.00	13.00	18.00	-4.00
17.60	12.60	17.60	-4.00
17.20	12.20	17.20	-4.00
16.80	11.80	16.80	-4.00
16.40	11.40	16.40	-4.00
16.00	11.00	16.00	-4.00
15.60	10.60	15.60	-4.00
15.20	10.20	15.20	-4.00
14.80	9.80	14.80	-4.00
14.40	9.40	14.40	-4.00
14.00	9.00	14.00	-4.00
13.60	8.60	13.60	-4.00
13.20	8.20	13.20	-4.00
12.80	7.80	12.80	-4.00
12.40	7.40	12.40	-4.00
12.00	7.00	12.00	-4.00
11.60	6.60	11.60	-4.00
11.20	6.20	11.20	-4.00
10.80	5.80	10.80	-4.00
10.40	5.40	10.40	-4.00
10.00	5.00	10.00	-4.00
9.60	4.60	9.60	-4.00
9.20	4.20	9.20	-4.00
8.80	3.80	8.80	-4.00
8.40	3.40	8.40	-4.00
8.00	3.00	8.00	-4.00
7.60	2.60	7.60	-4.00
7.20	2.20	7.20	-4.00
6.80	1.80	6.80	-4.00
6.40	1.40	6.40	-4.00
6.00	1.00	6.00	-4.00
5.60	0.60	5.60	-4.00
5.20	0.20	5.20	-4.00
4.80	0.00	4.80	-4.00
4.40	-0.40	4.40	-4.00
4.00	-0.80	4.00	-4.00
3.60	-1.20	3.60	-4.00
3.20	-1.60	3.20	-4.00
2.80	-2.00	2.80	-4.00
2.40	-2.40	2.40	-4.00
2.00	-2.80	2.00	-4.00
1.60	-3.20	1.60	-4.00
1.20	-3.60	1.20	-4.00
0.80	-4.00	0.80	-4.00
0.40	-4.40	0.40	-4

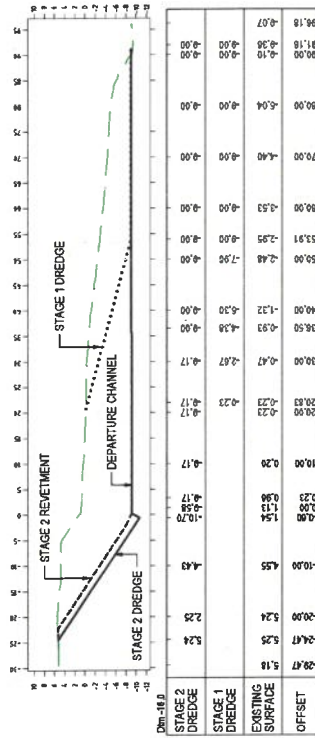
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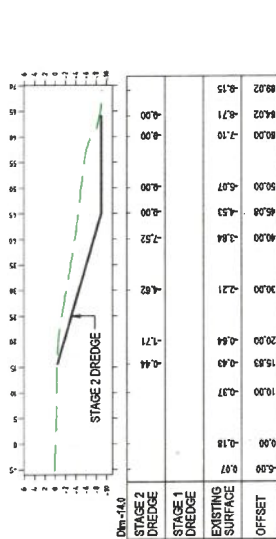
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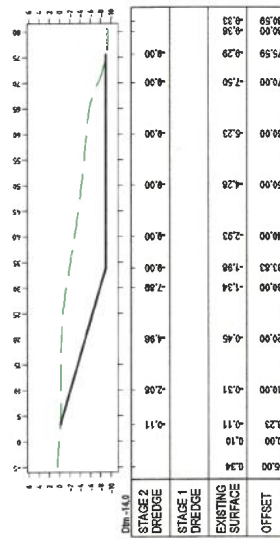
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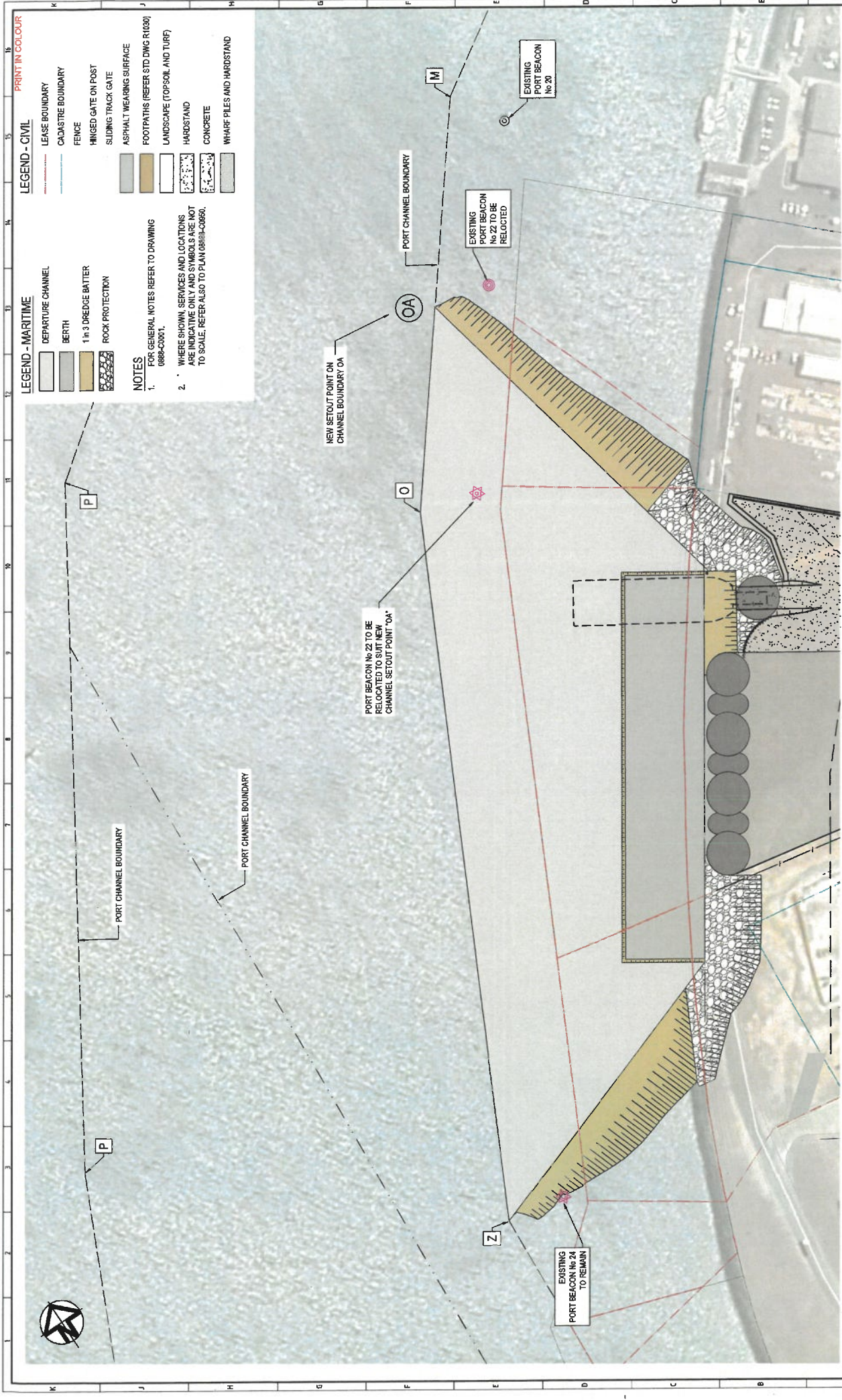


CH 320



CH 300

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PLAN
SCALE 1:750

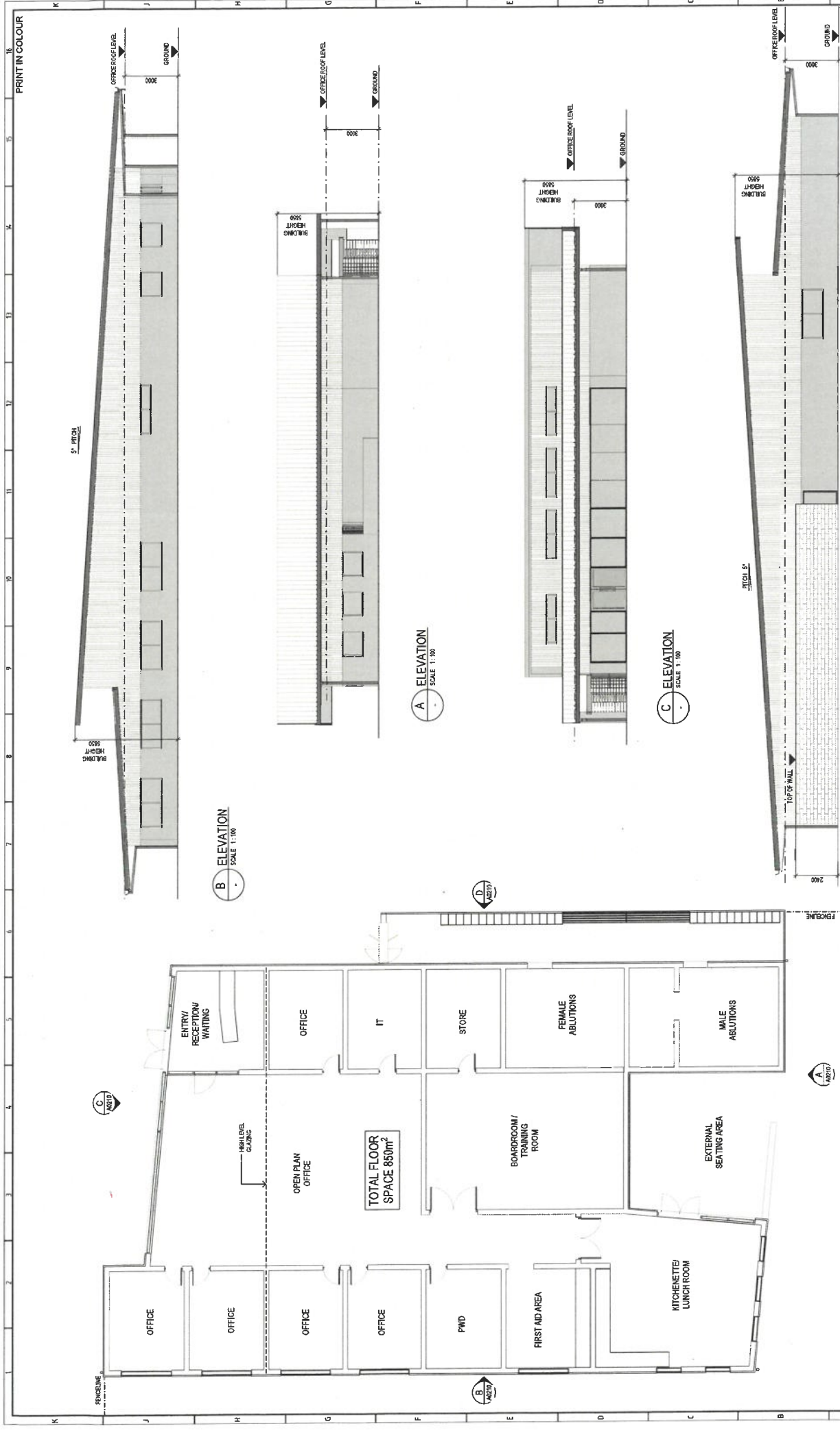
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- LEGEND - CIVIL**
- LEASE BOUNDARY
 - CADASTRE BOUNDARY
 - FENCE
 - HINGED GATE ON POST
 - SLIDING TRACK GATE
 - ASPHALT WEARING SURFACE
 - FOOTPATHS (REFER STD DWG R1000)
 - LANDSCAPE (TOPSOIL AND TURF)
 - HARDSTAND
 - CONCRETE
 - WHARF PILES AND HARDSTAND
- LEGEND - MARITIME**
- DEPARTURE CHANNEL
 - BERTH
 - 1 in 3 DREDGE BATTER
 - ROCK PROTECTION
- NOTES**
1. FOR GENERAL NOTES REFER TO DRAWING 0888-00001.
2. WHERE SHOWN, SERVICES AND SYMBOLS ARE NOT TO SCALE, REFER ALSO TO PLAN 0888-00001.

PLAN
SCALE 1:50

DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE		DATE	
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PROJECT
PACIFIC MARINE BASE BUNDABERG
MARINE INDUSTRY SITE

CLIENT
BUNDABERG
Pacific Marine Base

DESIGNED BY
JLAWLEY
JLAWLEY

DATE
JAN 2022

SCALE
AS SHOWN

0888 - A0210

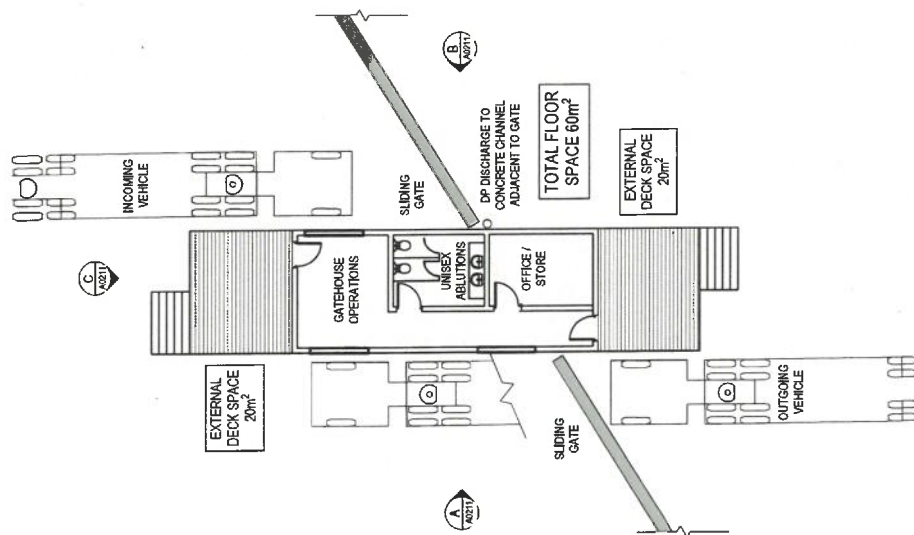
GENERAL ARRANGEMENT PLAN - SUPERINTENDENT'S OFFICE
SCALE 1:100

REVISIONS

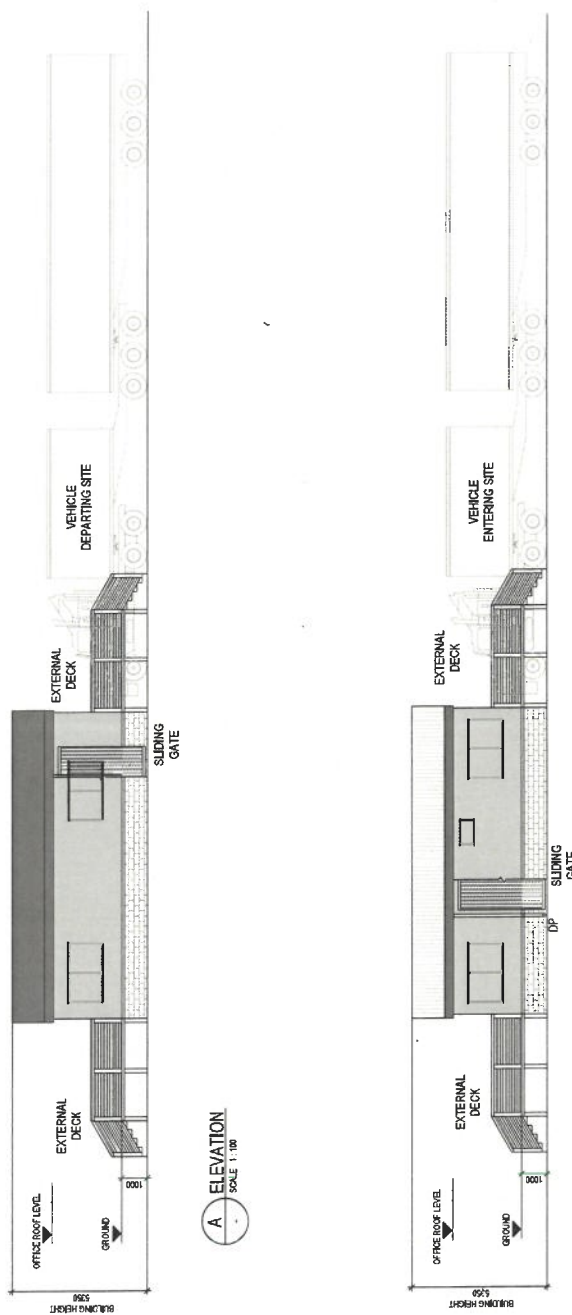
REV	DATE	DESCRIPTION
A	25.5.22	ISSUED FOR DEVELOPMENT APPROVAL

APPROVALS

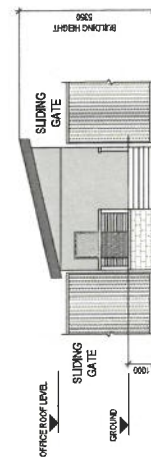
REV	DATE	APPROVED
A	25.5.22	ISSUED FOR DEVELOPMENT APPROVAL



**GENERAL ARRANGEMENT PLAN -
SSSECURITY GATEHOUSE**



B ELEVATION
SCALE 1:100

[illegible]

Attachment 3 Extract of Appeal Provisions

Schedule 1 Appeals

section 229

1 Appeal rights and parties to appeals

- (1) Table 1 states the matters that may be appealed to—
 - (a) the P&E court; or
 - (b) a tribunal.
- (2) However, table 1 applies to a tribunal only if the matter involves—
 - (a) the refusal, or deemed refusal of a development application, for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (b) a provision of a development approval for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (c) if a development permit was applied for—the decision to give a preliminary approval for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (d) a development condition if—
 - (i) the development approval is only for a material change of use that involves the use of a building classified under the Building Code as a class 2 building; and

-
- (ii) the building is, or is proposed to be, not more than 3 storeys; and
 - (iii) the proposed development is for not more than 60 sole-occupancy units; or
 - (e) a decision for, or a deemed refusal of, an extension application for a development approval that is only for a material change of use of a classified building; or
 - (f) a decision for, or a deemed refusal of, a change application for a development approval that is only for a material change of use of a classified building; or
 - (g) a matter under this Act, to the extent the matter relates to the Building Act, other than a matter under that Act that may or must be decided by the Queensland Building and Construction Commission; or
 - (h) a decision to give an enforcement notice—
 - (i) in relation to a matter under paragraphs (a) to (g); or
 - (ii) under the *Plumbing and Drainage Act 2018*; or
 - (i) an infrastructure charges notice; or
 - (j) the refusal, or deemed refusal, of a conversion application; or
 - (l) a matter prescribed by regulation.
- (3) Also, table 1 does not apply to a tribunal if the matter involves—
- (a) for a matter in subsection (2)(a) to (d)—
 - (i) a development approval for which the development application required impact assessment; and
 - (ii) a development approval in relation to which the assessment manager received a properly made submission for the development application; or
 - (b) a provision of a development approval about the identification or inclusion, under a variation approval, of a matter for the development.

- (4) Table 2 states the matters that may be appealed only to the P&E Court.
- (5) Table 3 states the matters that may be appealed only to the tribunal.
- (6) In each table—
 - (a) column 1 states the appellant in the appeal; and
 - (b) column 2 states the respondent in the appeal; and
 - (c) column 3 states the co-respondent (if any) in the appeal; and
 - (d) column 4 states the co-respondents by election (if any) in the appeal.
- (7) If the chief executive receives a notice of appeal under section 230(3)(f), the chief executive may elect to be a co-respondent in the appeal.
- (8) In this section—

storey see the Building Code, part A1.1.

Table 1
Appeals to the P&E Court and, for certain matters, to a tribunal
1. Development applications
For a development application other than an excluded application, an appeal may be made against—
(a) the refusal of all or part of the development application; or
(b) the deemed refusal of the development application; or
(c) a provision of the development approval; or
(d) if a development permit was applied for—the decision to give a preliminary approval.

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant	The assessment manager	If the appeal is about a concurrence agency's referral response—the concurrence agency	1 A concurrence agency that is not a co-respondent 2 If a chosen assessment manager is the respondent—the prescribed assessment manager 3 Any eligible advice agency for the application 4 Any eligible submitter for the application
2. Change applications For a change application other than an excluded application, an appeal may be made against— (a) the responsible entity's decision on the change application; or (b) a deemed refusal of the change application.			

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
1 The applicant 2 If the responsible entity is the assessment manager—an affected entity that gave a pre-request notice or response notice	The responsible entity	If an affected entity starts the appeal—the applicant	1 A concurrence agency for the development application 2 If a chosen assessment manager is the respondent—the prescribed assessment manager 3 A private certifier for the development application 4 Any eligible advice agency for the change application 5 Any eligible submitter for the change application
3. Extension applications For an extension application other than an extension application called in by the Minister, an appeal may be made against— (a) the assessment manager’s decision on the extension application; or (b) a deemed refusal of the extension application.			

Table 1
Appeals to the P&E Court and, for certain matters, to a tribunal

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
1 The applicant 2 For a matter other than a deemed refusal of an extension application—a concurrence agency, other than the chief executive, for the application	The assessment manager	If a concurrence agency starts the appeal—the applicant	If a chosen assessment manager is the respondent—the prescribed assessment manager

4. Infrastructure charges notices

An appeal may be made against an infrastructure charges notice on 1 or more of the following grounds—

(a) the notice involved an error relating to—

(i) the application of the relevant adopted charge; or

Examples of errors in applying an adopted charge—

- the incorrect application of gross floor area for a non-residential development
- applying an incorrect ‘use category’, under a regulation, to the development

(ii) the working out of extra demand, for section 120; or

(iii) an offset or refund; or

(b) there was no decision about an offset or refund; or

(c) if the infrastructure charges notice states a refund will be given—the timing for giving the refund; or

(d) for an appeal to the P&E Court—the amount of the charge is so unreasonable that no reasonable relevant local government could have imposed the amount.

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the infrastructure charges notice	The local government that gave the infrastructure charges notice	—	—
5. Conversion applications An appeal may be made against— (a) the refusal of a conversion application; or (b) a deemed refusal of a conversion application.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant	The local government to which the conversion application was made	—	—
6. Enforcement notices An appeal may be made against the decision to give an enforcement notice.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the enforcement notice	The enforcement authority	—	If the enforcement authority is not the local government for the premises in relation to which the offence is alleged to have happened—the local government

Table 1
Appeals to the P&E Court and, for certain matters, to a tribunal

7. Enforcement notices under the *Plumbing and Drainage Act 2018*

An appeal may be made against the decision to give an enforcement notice.

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the enforcement notice	The local government that gave the enforcement notice	—	—

Table 2
Appeals to the P&E Court only

1. Appeals from tribunal

An appeal may be made against a decision of a tribunal, other than a decision under section 252, on the ground of—

- (a) an error or mistake in law on the part of the tribunal; or
- (b) jurisdictional error.

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A party to the proceedings for the decision	The other party to the proceedings for the decision	—	—

2. Eligible submitter appeals

For a development application or change application other than an excluded application, an appeal may be made against the decision to approve the application, to the extent the decision relates to—

- (a) any part of the development application or change application that required impact assessment; or
- (b) a variation request.

Table 2 Appeals to the P&E Court only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
1 For a development application—an eligible submitter for the development application 2 For a change application—an eligible submitter for the change application	1 For a development application—the assessment manager 2 For a change application—the responsible entity	1 The applicant 2 If the appeal is about a concurrence agency’s referral response—the concurrence agency	Another eligible submitter for the application
3. Eligible submitter and eligible advice agency appeals For a development application or change application other than an excluded application, an appeal may be made against a provision of the development approval, or a failure to include a provision in the development approval, to the extent the matter relates to— (a) any part of the development application or change application that required impact assessment; or (b) a variation request.			

Table 2
Appeals to the P&E Court only

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 For a development application—an eligible submitter for the development application</p> <p>2 For a change application—an eligible submitter for the change application</p> <p>3 An eligible advice agency for the development application or change application</p>	<p>1 For a development application—the assessment manager</p> <p>2 For a change application—the responsible entity</p>	<p>1 The applicant</p> <p>2 If the appeal is about a concurrence agency's referral response—the concurrence agency</p>	<p>Another eligible submitter for the application</p>
<p>4. Compensation claims</p> <p>An appeal may be made against—</p> <p>(a) a decision under section 32 about a compensation claim; or</p> <p>(b) a decision under section 265 about a claim for compensation; or</p> <p>(c) a deemed refusal of a claim under paragraph (a) or (b).</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person dissatisfied with the decision	The local government to which the claim was made	—	—

Table 2
Appeals to the P&E Court only

5. Registered premises

An appeal may be made against a decision of the Minister under chapter 7, part 4.

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 A person given a decision notice about the decision</p> <p>2 If the decision is to register premises or renew the registration of premises—an owner or occupier of premises in the affected area for the registered premises who is dissatisfied with the decision</p>	The Minister	—	If an owner or occupier starts the appeal—the owner of the registered premises

6. Local laws

An appeal may be made against a decision of a local government, or conditions applied, under a local law about—

- (a) the use of premises, other than a use that is the natural and ordinary consequence of prohibited development; or
- (b) the erection of a building or other structure.

Table 2
Appeals to the P&E Court only

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who— (a) applied for the decision; and (b) is dissatisfied with the decision or conditions.	The local government	—	—

Table 3
Appeals to a tribunal only

<p>1. Building advisory agency appeals</p> <p>An appeal may be made against giving a development approval for building work to the extent the building work required code assessment against the building assessment provisions.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A building advisory agency for the development application related to the approval	The assessment manager	The applicant	<p>1 A concurrence agency for the development application related to the approval</p> <p>2 A private certifier for the development application related to the approval</p>

Table 3
Appeals to a tribunal only

<p>2. Inspection of building work</p> <p>An appeal may be made against a decision of a building certifier or referral agency about the inspection of building work that is the subject of a building development approval under the Building Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant for the development approval	The person who made the decision	—	—
<p>3. Certain decisions under the Building Act and the <i>Plumbing and Drainage Act 2018</i></p> <p>An appeal may be made against—</p> <p>(a) a decision under the Building Act, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under that Act; or</p> <p>(b) a decision under the <i>Plumbing and Drainage Act 2018</i>, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under that Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who received, or was entitled to receive, an information notice about the decision	The entity that made the decision	—	—
<p>4. Failure to decide an application or other matter under the Building Act</p> <p>An appeal may be made against a failure to make a decision under the Building Act within the period required under that Act, other than a failure by the Queensland Building and Construction Commission to make a decision, if an information notice about the decision was required to be given under that Act.</p>			

Table 3
Appeals to a tribunal only

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who was entitled to receive notice of the decision	The entity that failed to make the decision	—	—
<p>5. Failure to decide an application or other matter under the <i>Plumbing and Drainage Act 2018</i></p> <p>An appeal may be made against a failure to make a decision under the <i>Plumbing and Drainage Act 2018</i> within the period required under that Act, other than a failure by the Queensland Building and Construction Commission to make a decision, if an information notice about the decision was required to be given under that Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who was entitled to receive an information notice about the decision	The entity that failed to make the decision	—	—

Attachment 4 Appeal Provisions

Schedule 1 Appeals

section 229

1 Appeal rights and parties to appeals

- (1) Table 1 states the matters that may be appealed to—
 - (a) the P&E court; or
 - (b) a tribunal.
- (2) However, table 1 applies to a tribunal only if the matter involves—
 - (a) the refusal, or deemed refusal of a development application, for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (b) a provision of a development approval for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (c) if a development permit was applied for—the decision to give a preliminary approval for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (d) a development condition if—
 - (i) the development approval is only for a material change of use that involves the use of a building classified under the Building Code as a class 2 building; and

-
- (ii) the building is, or is proposed to be, not more than 3 storeys; and
 - (iii) the proposed development is for not more than 60 sole-occupancy units; or
 - (e) a decision for, or a deemed refusal of, an extension application for a development approval that is only for a material change of use of a classified building; or
 - (f) a decision for, or a deemed refusal of, a change application for a development approval that is only for a material change of use of a classified building; or
 - (g) a matter under this Act, to the extent the matter relates to the Building Act, other than a matter under that Act that may or must be decided by the Queensland Building and Construction Commission; or
 - (h) a decision to give an enforcement notice—
 - (i) in relation to a matter under paragraphs (a) to (g); or
 - (ii) under the *Plumbing and Drainage Act 2018*; or
 - (i) an infrastructure charges notice; or
 - (j) the refusal, or deemed refusal, of a conversion application; or
 - (l) a matter prescribed by regulation.
- (3) Also, table 1 does not apply to a tribunal if the matter involves—
- (a) for a matter in subsection (2)(a) to (d)—
 - (i) a development approval for which the development application required impact assessment; and
 - (ii) a development approval in relation to which the assessment manager received a properly made submission for the development application; or
 - (b) a provision of a development approval about the identification or inclusion, under a variation approval, of a matter for the development.

- (4) Table 2 states the matters that may be appealed only to the P&E Court.
- (5) Table 3 states the matters that may be appealed only to the tribunal.
- (6) In each table—
 - (a) column 1 states the appellant in the appeal; and
 - (b) column 2 states the respondent in the appeal; and
 - (c) column 3 states the co-respondent (if any) in the appeal; and
 - (d) column 4 states the co-respondents by election (if any) in the appeal.
- (7) If the chief executive receives a notice of appeal under section 230(3)(f), the chief executive may elect to be a co-respondent in the appeal.
- (8) In this section—
storey see the Building Code, part A1.1.

<p>Table 1</p> <p>Appeals to the P&E Court and, for certain matters, to a tribunal</p>
<p>1. Development applications</p> <p>For a development application other than an excluded application, an appeal may be made against—</p> <ol style="list-style-type: none"> (a) the refusal of all or part of the development application; or (b) the deemed refusal of the development application; or (c) a provision of the development approval; or (d) if a development permit was applied for—the decision to give a preliminary approval.

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant	The assessment manager	If the appeal is about a concurrence agency's referral response—the concurrence agency	1 A concurrence agency that is not a co-respondent 2 If a chosen assessment manager is the respondent—the prescribed assessment manager 3 Any eligible advice agency for the application 4 Any eligible submitter for the application
2. Change applications For a change application other than an excluded application, an appeal may be made against— (a) the responsible entity's decision on the change application; or (b) a deemed refusal of the change application.			

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
1 The applicant 2 If the responsible entity is the assessment manager—an affected entity that gave a pre-request notice or response notice	The responsible entity	If an affected entity starts the appeal—the applicant	1 A concurrence agency for the development application 2 If a chosen assessment manager is the respondent—the prescribed assessment manager 3 A private certifier for the development application 4 Any eligible advice agency for the change application 5 Any eligible submitter for the change application
3. Extension applications For an extension application other than an extension application called in by the Minister or made to the chief executive under section 87A, an appeal may be made against— (a) the assessment manager’s decision on the extension application; or (b) a deemed refusal of the extension application.			

Table 1
Appeals to the P&E Court and, for certain matters, to a tribunal

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
1 The applicant 2 For a matter other than a deemed refusal of an extension application—a concurrence agency, other than the chief executive, for the application	The assessment manager	If a concurrence agency starts the appeal—the applicant	If a chosen assessment manager is the respondent—the prescribed assessment manager

4. Infrastructure charges notices

An appeal may be made against an infrastructure charges notice on 1 or more of the following grounds—

(a) the notice involved an error relating to—

(i) the application of the relevant adopted charge; or

Examples of errors in applying an adopted charge—

- the incorrect application of gross floor area for a non-residential development
- applying an incorrect ‘use category’, under a regulation, to the development

(ii) the working out of extra demand, for section 120; or

(iii) an offset or refund; or

(b) there was no decision about an offset or refund; or

(c) if the infrastructure charges notice states a refund will be given—the timing for giving the refund; or

(d) for an appeal to the P&E Court—the amount of the charge is so unreasonable that no reasonable relevant local government could have imposed the amount.

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the infrastructure charges notice	The local government that gave the infrastructure charges notice	—	—
5. Conversion applications An appeal may be made against— (a) the refusal of a conversion application; or (b) a deemed refusal of a conversion application.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant	The local government to which the conversion application was made	—	—
6. Enforcement notices An appeal may be made against the decision to give an enforcement notice.			

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the enforcement notice	The enforcement authority	—	If the enforcement authority is not the local government for the premises in relation to which the offence is alleged to have happened—the local government
7. Enforcement notices under the <i>Plumbing and Drainage Act 2018</i> An appeal may be made against the decision to give an enforcement notice.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the enforcement notice	The local government that gave the enforcement notice	—	—

Table 2 Appeals to the P&E Court only
1. Appeals from tribunal An appeal may be made against a decision of a tribunal, other than a decision under section 252, on the ground of— (a) an error or mistake in law on the part of the tribunal; or (b) jurisdictional error.

Table 2 Appeals to the P&E Court only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A party to the proceedings for the decision	The other party to the proceedings for the decision	—	—
2. Eligible submitter appeals For a development application or change application other than an excluded application, an appeal may be made against the decision to approve the application, to the extent the decision relates to— (a) any part of the development application or change application that required impact assessment; or (b) a variation request.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
1 For a development application—an eligible submitter for the development application 2 For a change application—an eligible submitter for the change application	1 For a development application—the assessment manager 2 For a change application—the responsible entity	1 The applicant 2 If the appeal is about a concurrence agency's referral response—the concurrence agency	Another eligible submitter for the application

Table 2
Appeals to the P&E Court only

3. Eligible submitter and eligible advice agency appeals

For a development application or change application other than an excluded application, an appeal may be made against a provision of the development approval, or a failure to include a provision in the development approval, to the extent the matter relates to—

- (a) any part of the development application or change application that required impact assessment; or
- (b) a variation request.

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 For a development application—an eligible submitter for the development application</p> <p>2 For a change application—an eligible submitter for the change application</p> <p>3 An eligible advice agency for the development application or change application</p>	<p>1 For a development application—the assessment manager</p> <p>2 For a change application—the responsible entity</p>	<p>1 The applicant</p> <p>2 If the appeal is about a concurrence agency's referral response—the concurrence agency</p>	<p>Another eligible submitter for the application</p>

4. Compensation claims

An appeal may be made against—

- (a) a decision under section 32 about a compensation claim; or
- (b) a decision under section 265 about a claim for compensation; or
- (c) a deemed refusal of a claim under paragraph (a) or (b).

Table 2 Appeals to the P&E Court only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person dissatisfied with the decision	The local government to which the claim was made	—	—
5. Registered premises An appeal may be made against a decision of the Minister under chapter 7, part 4.			

Table 2
Appeals to the P&E Court only

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>1 A person given a decision notice about the decision</p> <p>2 If the decision is to register premises or renew the registration of premises—an owner or occupier of premises in the affected area for the registered premises who is dissatisfied with the decision</p> <p>3 If the decision is to amend the registration of premises to include additional land in the affected area for the premises—an owner or occupier of premises within the additional land who is dissatisfied with the decision</p>	The Minister	—	If an owner or occupier starts the appeal—the owner of the registered premises

Table 2 Appeals to the P&E Court only			
6. Local laws An appeal may be made against a decision of a local government, or conditions applied, under a local law about— (a) the use of premises, other than a use that is the natural and ordinary consequence of prohibited development; or (b) the erection of a building or other structure.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who— (a) applied for the decision; and (b) is dissatisfied with the decision or conditions.	The local government	—	—

Table 3 Appeals to a tribunal only
1. Building advisory agency appeals An appeal may be made against giving a development approval for building work to the extent the building work required code assessment against the building assessment provisions.

Table 3
Appeals to a tribunal only

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A building advisory agency for the development application related to the approval	The assessment manager	The applicant	<p>1 A concurrence agency for the development application related to the approval</p> <p>2 A private certifier for the development application related to the approval</p>
<p>2. Inspection of building work</p> <p>An appeal may be made against a decision of a building certifier or referral agency about the inspection of building work that is the subject of a building development approval under the Building Act.</p>			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant for the development approval	The person who made the decision	—	—
<p>3. Certain decisions under the Building Act and the <i>Plumbing and Drainage Act 2018</i></p> <p>An appeal may be made against—</p> <p>(a) a decision under the Building Act, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under that Act; or</p> <p>(b) a decision under the <i>Plumbing and Drainage Act 2018</i>, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under that Act.</p>			

Table 3 Appeals to a tribunal only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who received, or was entitled to receive, an information notice about the decision	The entity that made the decision	—	—
4. Failure to decide an application or other matter under the Building Act An appeal may be made against a failure to make a decision under the Building Act within the period required under that Act, other than a failure by the Queensland Building and Construction Commission to make a decision, if an information notice about the decision was required to be given under that Act.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who was entitled to receive notice of the decision	The entity that failed to make the decision	—	—
5. Failure to decide an application or other matter under the <i>Plumbing and Drainage Act 2018</i> An appeal may be made against a failure to make a decision under the <i>Plumbing and Drainage Act 2018</i> within the period required under that Act, other than a failure by the Queensland Building and Construction Commission to make a decision, if an information notice about the decision was required to be given under that Act.			

Table 3 Appeals to a tribunal only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who was entitled to receive an information notice about the decision	The entity that failed to make the decision	—	—