

11 September 2025

Dept of the Environment, Tourism, Science & Innovation (DETSI)
c/- Marine Approval Specialists & Marine Structures
Att: Tonia Richard
PO Box 6185
MITCHELTON QLD 4053

Dear Tonia,

DECISION NOTICE – APPROVAL WITH CONDITIONS – DA2025/05/01

(GIVEN UNDER SECTION 63 PLANNING ACT 2016 AND THE PROVISIONS OF GPC LAND USE PLAN 2012V2)

1. Application Details

This development application was **properly made** to the Gladstone Ports Corporation Limited on **24 June 2025**.

Application Number:	DA2025/05/01
Applicant Name:	Dept of the Environment, Tourism, Science & Innovation (DETSI) - c/- Marine Approval Specialists & Marine Structures
Applicant Contact Details:	c/- Marine Approval Specialists & Marine Structures Att: Tonia Richard PO Box 6185 MITCHELTON QLD 4053 Email: tonia@marineapprovals.com.au
Approvals Sought (Land Use Plan):	Operational works (Tidal works) within Strategic port land and Strategic port land tidal areas.
Approval Sought (Port Overlay):	Not Applicable
Approval Sought (SARA):	Operational works for tidal work in a coastal management district.
Details of Proposed Development:	Operational works for tidal works – Demolition (existing infrastructure including abutment and pile) new Marine infrastructure (gangway, pontoon, abutment and piles) and seabed levelling.
Street Address:	Alf O'Rourke Drive, Callemondah
Real Property Description:	Lot 209 SP120888

Land Owner:	Gladstone Ports Corporation Limited Department of Resources
Land Use Plan:	Marine Industry Precinct
Port Overlay:	Marine Services and Recreation Precinct and Marine Services Sub Precinct

2. Details of Proposed Development

Operational works for tidal works – Demolition (existing infrastructure including abutment and pile) new Marine infrastructure (gangway, pontoon, abutment and piles) and associated seabed levelling.

3. Details of Decision

This development application is **approved in full with conditions**. These conditions are set out in Attachment 1 and are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

This application **is not** taken to have been approved (a deemed approval) under section 64(5) of the *Planning Act 2016*. (strike out if not applicable)

4. Details Of Approval

This development approval is a **Development Permit** given for: [delete which is not applicable]

- (a) Operational works for tidal works within Strategic port land and Strategic port land tidal areas (*Planning Regulation 2017* – Schedule 8, Table 3 and Schedule 10, Part 13, Division 5, Subdivision 2).

5. Conditions

This development approval is subject to the conditions in Attachment 1 - Part 1 and Part 2.

6. Further Development Permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

- (a) Plumbing Works permit (as applicable)

7. Referral Agencies for the Application

The referral agencies for this application are:

For an application involving	Name of referral agency	Address
<i>Planning Regulation 2017 –</i> Schedule 10, Part 17, Division 3, Table 1, Item 1 – Tidal works or work in a coastal management district.	State Assessment Referral Agency Department of State Development, Infrastructure and Planning	Rockhampton State Assessment and Referral Agency (SARA) PO Box 113 ROCKHAMPTON QLD 4700 rockhamptonSARA@dsgmip.qld.gov.au

8. Approved Plans and Specifications

Copies of the following plans, specifications and/or drawings are approved and enclosed in Attachment 2:

Drawing/report title	Prepared by	Date	Reference No.	Version
Gladstone Marine Base Pontoon Upgrade Notes	The Jetty Specialist	10/07/2023	D-TJS-04791-00-03	0
Gladstone Marine Base Pontoon Upgrade General Arrangement	The Jetty Specialist	10/07/2023	D-TJS-04791-00-01	0
Gladstone Marine Base Pontoon Upgrade Site Layout	The Jetty Specialist	10/07/2023	D-TJS-04791-00-02	0
Gladstone Marine Base Pontoon Upgrade Elevation	The Jetty Specialist	10/07/2023	D-TJS-04791-01-20	0
Gladstone Marine Base Pontoon Upgrade Removal Plan	The Jetty Specialist	10/07/2023	D-TJS-04791-02-20	0
Gladstone Marine Base Pontoon Upgrade Landing Pontoon	The Jetty Specialist	25/07/2023	D-TJS-04791-04-10	1
Gladstone Marine Base Pontoon Upgrade Pontoon Foam Details	The Jetty Specialist	10/07/2023	D-TJS-04791-04-11	0
Gladstone Marine Base Pontoon Upgrade Pontoon Standard Reinforcement Details	The Jetty Specialist	10/07/2023	D-TJS-04791-04-19	0
Gladstone Marine Base Pontoon Upgrade Gangway Details	The Jetty Specialist	10/07/2023	D-TJS-04791-05-10	0
Gladstone Marine Base Pontoon Upgrade Gangway Details Continued	The Jetty Specialist	31/07/2023	D-TJS-04791-05-11	1
Gladstone Marine Base Pontoon Upgrade	The Jetty	10/07/2023	D-TJS-04791-	0

Gladstone Ports Corporation Limited

T: +61 7 4976 1333 • Fax: +61 7 4972 3045 • 40 Goondoon St/PO Box 259, Gladstone QLD, 4680, AUSTRALIA • www.gpcl.com.au
 ACN 131 965 896 ABN 96 263 788 242

Drawing/report title	Prepared by	Date	Reference No.	Version
Transition Plate	Specialist		05-60	
Gladstone Marine Base Pontoon Upgrade Abutment	The Jetty Specialist	10/07/2023	D-TJS-04791-08-01	0
Gladstone Marine Base Pontoon Upgrade Hatch Cover	The Jetty Specialist	10/07/2023	D-TJS-04791-10-01	0
Gladstone Marine Base Pontoon Upgrade Gangway Guide	The Jetty Specialist	25/07/2023	D-TJS-04791-10-02	0
Gladstone Auckland Creek Marina Pre-Dredge Hydrographic Survey	QG Hydrographic Services	02/12/2024	PRE-053	-
Hydraulic Services Site Plan Fire Services Notes	Calliope Plumbing	10/03/2023	H.01.01	AS-1
DETSI Marine Base Pontoon Upgrade Construction Environmental Management Plan	Marine Approval Specialists	17/06/2025	MAS 01-23	-

9. Currency Period for the Approval

Pursuant to section 85 of the Planning Act, this development approval will lapse at the end of the periods set out below:

- (a) For approvals other than a Material Change of Use or Reconfiguring a Lot, the approval lapses if the development does not substantially start within 2 years of this approval taking effect.

10. Rights of Appeal

The rights of applicants to appeal to a tribunal or the Planning and Environment Court against decisions about a development application are set out in chapter 6, part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).

Attachment 3 is an extract from the *Planning Act 2016* that sets down the applicant's appeal rights and the appeal rights of a submitter.

For further information please contact Trudi Smith, Planning Specialist on 07 4976 1314 or via email planning@gpcl.com.au .

Yours sincerely,



Jenelle Druce
Acting Chief Executive Officer

Cc: Rockhampton SARA

Enc. Attachment 1: Conditions of Approval
Part 1 – Conditions imposed by the assessment manager
Part 2 – Conditions required by the referral agency response
(Rockhampton SARA Ref 2506-46812 SRA – 6 August 2025)

Attachment 2: Approved plans and specifications

Attachment 3: Extract of appeal provisions

Attachment 4: Right of Appeal Waiver

Attachment 1 Conditions of Approval

PART 1: ASSESSMENT MANAGER CONDITIONS

In general the development proposal is in compliance with the requirements of Gladstone Ports Corporation Limited (GPC). This development approval is subject to each the following conditions which are stated by GPC, the Assessment Manager.

Part 1a: Approval sought under *Planning Act 2016* – Operational works that is tidal works on Strategic Port Land and Strategic Port land tidal area

GENERAL

1. Development must be carried out generally in accordance with the Approved plans, except where modified by conditions of this permit.
2. Unless otherwise stated, all conditions must be complied with and completed prior to the commencement of the development.
3. Where additional “approval” is required under these conditions by the Assessment Manager (GPC) for drawings or documentation the applicant must submit for review, amend to the satisfaction of, and obtain written approval from the Assessment Manager.
4. Furthermore, the Assessment Manager will require no less than 20 business days, unless otherwise conditioned by the Assessment Manager, to initially assess the drawings or documentation provided prior to the commencement of the works.
5. The Applicant must at its cost and expense, keep and maintain the development footprint, including existing services, in a state that is satisfactory to the Assessment Manager.

ENGINEERING

6. The Applicant is required to apply for and obtain from the Assessment Manager a Permit to Dig/Excavate prior to commencing works by contacting, Port Infrastructure Asset Manager. All reasonable measures must be taken to identify and protect existing services recorded or otherwise, and where necessary the applicant will submit a plan to the Assessment Manager for approval to adjust any existing services found during this excavation that was not originally shown on the proposed plans.
7. The Applicant must notify the Assessment Manager (GPC) of damage caused to any port or port user infrastructure or services including, but not limited to, security related devices, buildings, fences, lighting etc., roads, walkways and underground services or infrastructure, as a result of the approved use or during construction. The applicant must undertake necessary repairs at their expense and to the satisfaction of the Assessment Manager (GPC).
8. At all times, it is the applicant’s responsibility to ensure the design of vehicle access, circulation, manoeuvring and weight of vehicles on the tidal infrastructure must comply with the relevant Australian Standards and regulations to ensure that work health and safety requirements are met.

ENVIRONMENT

9. The works must be undertaken in accordance with the approved DETSI Marine Base Pontoon Upgrade – Construction Environmental Management Plan dated 17 June 2025. Any amendments to the approved CEMP are to be submitted to the Assessment Manager (GPC) for review and approval prior to works commencing on site.
10. The proposed management of erosion and sediment for the development is to be included within any Construction Environmental Management Plan (CEMP) and Operational Environmental Management Plan (OEMP). Once approved by GPC, the management plans and the controls within must be complied with at all times.
11. At least 10 days prior to the commencement of the use, an Operational Environmental Management Plan (EMP) is to be submitted to the Assessment Manager (GPC) for approval, specific to the development that ensures:
 - a. environmental risks are identified, managed and continually assessed; and
 - b. that staff are trained, aware and competency assessed of their obligations under the EMP, including a copy of the management plan and development approval available on site at all times; and
 - c. that reviews of environmental performance are undertaken at least annually; and
 - d. any amendments to the OEMP are to be submitted to the Assessment Manager for review and approval; and
 - e. any rehabilitation and decommissioning works where required.

Once approved by the Assessment Manager, the approved development must be carried out in accordance with this EMP.

Note: The Assessment Manager has a guideline for the development of environmental management plans that may be utilised in meeting the requirements of this condition.

Incident notification

12. At all times, Gladstone Ports Corporation Environment Hotline (07) 4976 1617 is to be notified of the occurrence of any:
 - a. release / spill of contaminants (e.g. fuels / chemicals / sewerage) greater than 20L to land;
 - b. release / spill of contaminants (e.g. fuels / chemicals / sewerage) of any amount to water;
 - c. any environmental complaints received by the holder of this approval; and
 - d. non-compliance with environment related conditions of this approval, or any other environmental approval obtained in relation to the approved activity.

Note: 'land' is to be defined as where not within a containment system.

Tidal Works

13. Upon completion of the works, the Applicant must supply the Assessment Manager with RPEQ certified "As Constructed" plans in both hard copy (2 of) and electronic (CAD format) which illustrate all infrastructure and services installed on, under or over Port

land associated with the activity unless otherwise approved in writing by the Assessment Manager.

14. The Applicant must also certify that the development is constructed as per design and that the development has been constructed generally in accordance with the approved plans prior to the use commencing.
15. Any site lighting used during construction/development should not negatively impact on the visibility of Navigational Aids utilised for the primary shipping channels nor illuminate a landward glare beyond the site boundary. Lighting must be reviewed during construction and operations with respect to navigation. Where an issue is identified or a validated complaint received, the applicant must immediately rectify to the satisfaction of the Assessment Manager.
16. Any material which is deposited or any debris which falls or is deposited on tidal lands or into tidal waters during the construction of the approved works shall be removed by the Applicant at their cost and expense. The Applicant is to notify the Assessment Manager if any material or debris is deposited.
17. Upon completion of construction, the applicant shall provide the Assessment Manager with written confirmation that the seabed is clear of foreign materials.
18. If, as a result of the works, or other cause attributable to the applicant, any Port bank or tidal structure is displaced, the Applicant at their cost and expense shall restore the bank or structure to its former condition and take such other action as is necessary to ensure the stability of the bank or structure to the satisfaction of the Regional Harbour Master or Assessment Manager.

Construction Management

19. The hours for the construction of the facility (i.e. operation of any machinery and/or other equipment) shall be restricted to between 6.30am and 6:30pm Monday to Friday and 7.30am to 12.30pm Saturday. No works shall be undertaken on Sunday or on public holidays. Any variations to these times will be subject to the written approval of the Assessment Manager.
20. In the event a construction compound is required on port land outside the project lease area for offices, laydown areas, employee car parking or stockpiling areas etc., the Applicant or their contractor must obtain a Permit to Occupy from the Assessment Manager's Property Specialist prior to works commencing.
21. The construction compound, including offices, laydown areas and employee car parking, is to be contained within the nominated area unless otherwise approved in writing by the Assessment Manager.
22. No mud, dirt or other debris is to be tracked onto public roads during construction and operation of development.
23. In the event acid sulphate soils are disturbed/excavated and require treatment on site, a Site Specific Acid Sulphate Management Plan must be submitted to the Assessment Manager for approval prior to such works commencing. Once the management plan is approved, the works must be carried out in accordance with this plan.
24. Construction fill material must be uncontaminated and reused from onsite or sourced from a licensed quarry.

ADVICE NOTES – WHEN RELEVANT

- a. The subject site is listed on the Environmental Management Register (EMR) and as such, any material proposed to be removed from the site is to be undertaken in accordance with a Site Management Plan and disposed of at an appropriately licensed waste disposal facility.
- b. For works involving seabed levelling the Applicant or their contractor is required to advise the GPC Harbours & Channels Specialist via 0429 665 923 or waret@gpcl.com.au that works are scheduled to commence.
- c. All other relevant approvals must be obtained before commencement of the development or operation of the development, including any Building works or Plumbing and drainage works.
- d. Connections and/or reconnections to water and sewerage infrastructure will require Plumbing and Drainage works approvals from a suitably qualified person.
- e. Where a Permit to Dig/Excavate prior to commencing excavation or digging for the works, the Applicant or their contractor is required to apply for and obtain the permit by contacting the Port Infrastructure Asset Manager on 4976 1332 or bartono@gpcl.com.au.
- f. Where a construction compound or laydown area is required, the applicant or their contractor is required to apply for and obtain a Permit to Occupy from the Assessment Manager's Property Specialist via 07 4976 1334 or property@gpcl.com.au prior to works commencing.
- g. The *Environmental Protection Act* 1994 states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks, construction, and operational phases of this development, are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm.
- h. Where the proposed tidal works do not meet the requirements under Queensland State Development Assessment Provisions (SDAP) State Code 11 and *Accepted development requirements for operational work that is the removal, destruction or damage of marine plants* for 'accepted development' for marine plants, a relevant development application is to be lodged.
- i. Where the Applicant is required to submit further documentation to the Assessment Manager, this is to be directed to the Planning section at planning@gpcl.com.au, including reference to the allocated development application number.

PART 2: REFERRAL AGENCY CONDITIONS

Referral Agency Name: Department of State Development, Infrastructure, Local Government and Planning



SARA reference: 2506-46812 SRA
Council reference: DA2025/05/01

6 August 2025

Gladstone Ports Corporation Limited
PO Box 259
Gladstone QLD 4680
planning@gpcl.com.au

Attention: Erin Clark

Dear Sir/Madam

SARA referral agency response—Alf O'rourke Drive, Callemondah

(Referral agency response given under section 56 of the *Planning Act 2016*)

The development application described below was confirmed as properly referred by the State Assessment and Referral Agency (SARA) on 30 June 2025.

Response

Outcome:	Referral agency response – with conditions
Date of response:	6 August 2025
Conditions:	The conditions in Attachment 1 must be attached to any development approval
Advice:	Advice to the applicant is in Attachment 2
Reasons:	The reasons for the referral agency response are in Attachment 3

Development details

Description:	Development permit	Operational work for tidal works (demolition (existing infrastructure including piles); new marine infrastructure (gangway, pontoon, abutment and piles); seabed levelling)
SARA role:	Referral agency	
SARA trigger:	Schedule 10, Part 17, Division 3, Table 1, Item 1 (<i>Planning Regulation 2017</i>) - Operational work that is tidal works or work in a coastal management district	

SARA reference: 2506-46812 SRA

Assessment manager: Gladstone Ports Corporation Limited

Street address: Alf O'rourke Drive, Callemondah

Real property description: Lot 209 on SP120888

Applicant name: Department of the Environment, Tourism, Science & Innovation

Applicant contact details: c/- Marine Approval Specialists
PO Box 6185
MITCHELTON QLD 4053
tonia@marineapprovals.com.au

Human Rights Act 2019 considerations: Consideration of the *Human Rights Act 2019* sections 15 to 35 has been undertaken as part of this decision. It has been determined that this decision does not limit human rights.

Representations

An applicant may make representations to a concurrence agency, at any time before the application is decided, about changing a matter in the referral agency response (s.30 Development Assessment Rules). Copies of the relevant provisions are in **Attachment 4**.

A copy of this response has been sent to the applicant for their information.

For further information please contact Tracey Beath, Senior Planning Officer, on 07 4924 2917 or via email RockhamptonSARA@dsdilgp.qld.gov.au who will be pleased to assist.

Yours sincerely



Anthony Walsh
Manager Planning

cc Department of the Environment, Tourism, Science & Innovation
c/- Marine Approval Specialists, tonia@marineapprovals.com.au

enc Attachment 1 - Referral agency conditions
Attachment 2 - Advice to the applicant
Attachment 3 - Reasons for referral agency response
Attachment 4 - Representations about a referral agency response provisions
Attachment 5 - Documents referenced in conditions

Attachment 1—Referral agency conditions

(Under section 56(1)(b)(i) of the *Planning Act 2016* the following conditions must be attached to any development approval relating to this application) (Copies of the documents referenced below are found at Attachment 5)

No.	Conditions	Condition timing
Operational Work		
Schedule 10, Part 17, Division 3, Table 1, Item 1 (<i>Planning Regulation 2017</i>) – Operational work that is tidal works or work in a coastal management — The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of Environment, Tourism, Science and Innovation to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following conditions:		
1.	The development must be undertaken generally in accordance with the following plans: - COVER PAGE prepared by The Jetty Specialist dated 25/07/2023, drawing number D-TJS-04791-00-01, revision 1. - GENERAL ARRANGEMENT prepared by The Jetty Specialist dated 10/07/2023, drawing number D-TJS-04791-01-01, revision 0. - SITE LAYOUT prepared by The Jetty Specialist dated 10/07/2023, drawing number D-TJS-04791-01-02, revision 0. - ELEVATION prepared by The Jetty Specialist dated 10/07/2023, drawing number D-TJS-04791-01-20, revision 0. - REMOVAL PLAN prepared by The Jetty Specialist dated 10/07/2023, drawing number D-TJS-04791-02-20, revision 0.	For the duration of the works
2.	For the proposed works, only use clean materials which are free from prescribed water contaminants.	For the duration of the works
3.	Development must prevent the release of sediment to tidal waters by installing and maintaining erosion and sediment control measures in accordance with the Best Practice Erosion and Sediment Control (BPESC) guidelines for Australia (International Erosion Control Association).	For the duration of the works
4.	Submit “As Constructed drawings” to palm@des.qld.gov.au or mail to: Department of the Environment, Tourism, Science and Innovation Permit and Licence Management Implementation and Support Unit GPO Box 2454 Brisbane Qld 4001	Within 20 business days of the completion of the works
5.	(a) In the event that the works cause disturbance or oxidisation of acid sulfate soil, the affected soil must be treated and thereafter managed (until the affected soil has been neutralised or contained) in accordance with the current <i>Queensland Acid Sulfate Soil Technical Manual: Soil Management Guidelines</i>, prepared by the Department of Resources, 2023.	(a) Upon disturbance or oxidisation until the affected soil has been neutralised or contained (b) At the time the soils

	(b) Submit certification from an appropriately qualified person on acid sulfate soil, confirming that the affected soil has been neutralised or contained in accordance with (a) above to palm@des.qld.gov.au or mailed to: Department of the Environment, Tourism, Science and Innovation Permit and Licence Management Implementation and Support Unit GPO Box 2454 Brisbane Qld 4001 <i>Note: Appropriately qualified person means a person or persons who has professional qualifications, training, skills and experience relevant to soil chemistry or acid sulfate soil management and can give authoritative assessment, advice and analysis in relation to acid sulfate soil management using the relevant protocols, standards, methods or literature.</i>	have been neutralised or contained
6.	Sediment displaced from bed-levelling is to be moved no further than 100m from its origin. <i>Note: Bed-levelling is considered to be minor adjustments to the bed surface to level troughs and peaks and where bed material is only redistributed locally.</i>	At all times

Attachment 2—Advice to the applicant

General advice	
1.	Terms and phrases used in this document are defined in the <i>Planning Act 2016</i> , its regulation or the State Development Assessment Provisions (SDAP) (version 3.2). If a word remains undefined it has its ordinary meaning.

Attachment 3—Reasons for referral agency response

(Given under section 56(7) of the *Planning Act 2016*)

The reasons for the SARA's decision are:

SARA assessed the development against the following codes of the State Development Assessment Provisions (SDAP), version 3.2:

- State code 8: Coastal development and tidal works.

The development complies with the assessment benchmark of State code 8 (version 3.2) in that the development:

- maintains coastal processes
- conserves coastal resources
- maintains appropriate public use of, and access to and along, state coastal land.

Material used in the assessment of the application:

- the development application material and submitted plans
- *Planning Act 2016*
- Planning Regulation 2017
- the SDAP (version 3.2), as published by SARA
- the Development Assessment Rules
- SARA DA Mapping system
- section 58 of the *Human Rights Act 2019*

Attachment 4—Representations about a referral agency response provisions

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Attachment 5—Documents referenced in conditions

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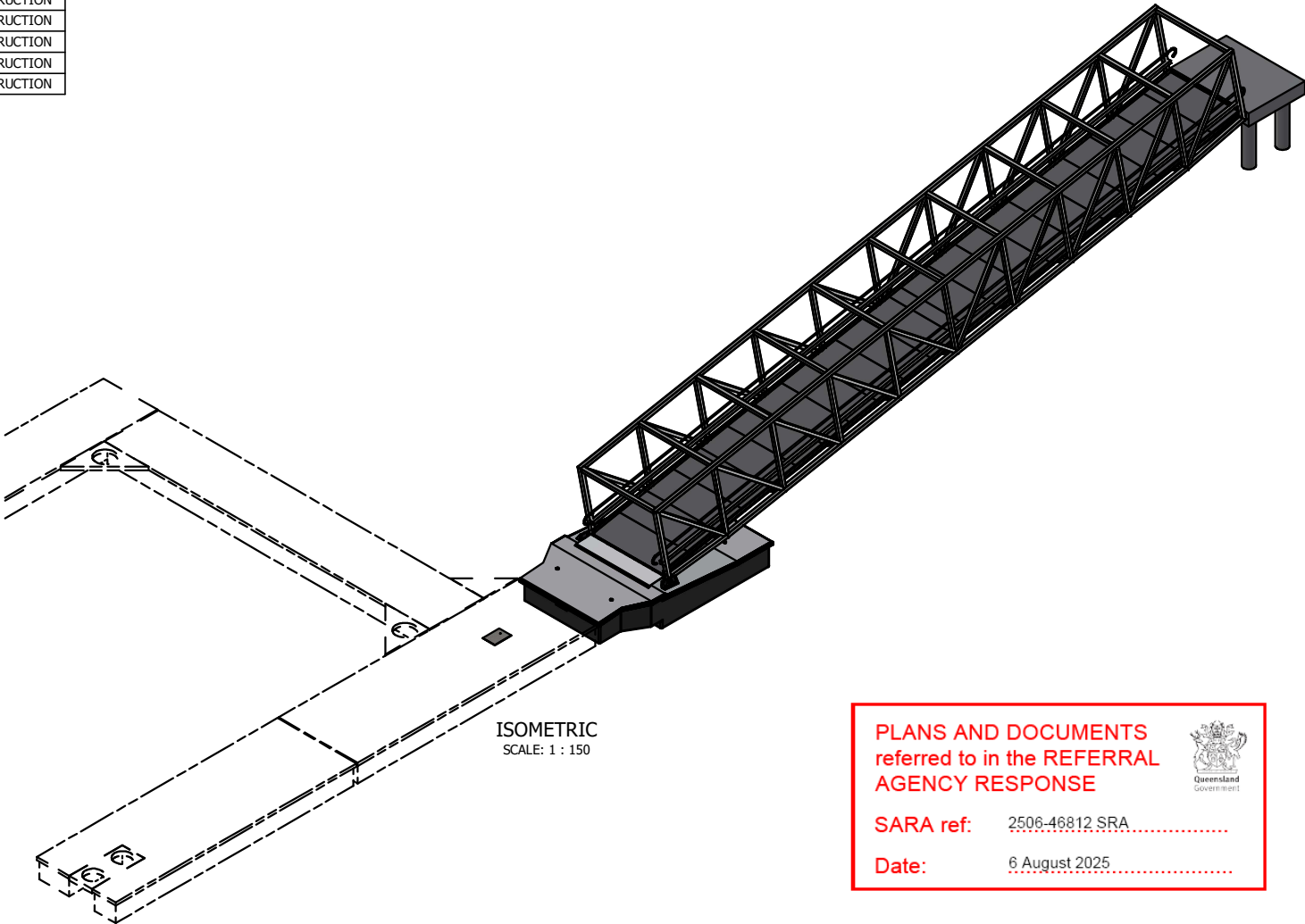
DRAWING REGISTER			
DRAWING #	DESCRIPTION	REVISION	STATUS
D-TJS-04791-00-01	COVER SHEET	2	ISSUE FOR CONSTRUCTION
D-TJS-04791-00-03	NOTES	0	ISSUE FOR CONSTRUCTION
D-TJS-04791-01-01	GENERAL ARRANGEMENT	0	ISSUE FOR CONSTRUCTION
D-TJS-04791-01-02	SITE LAYOUT	0	ISSUE FOR CONSTRUCTION
D-TJS-04791-01-20	ELEVATIONS	0	ISSUE FOR CONSTRUCTION
D-TJS-04791-02-20	REMOVAL PLAN	0	ISSUE FOR CONSTRUCTION
D-TJS-04791-04-10	PONTOON DETAILS	1	ISSUE FOR CONSTRUCTION
D-TJS-04791-04-11	PONTOON FOAM DETAILS	0	ISSUE FOR CONSTRUCTION
D-TJS-04791-04-19	PONTOON STD REINFORCEMENT DETAILS	0	ISSUE FOR CONSTRUCTION
D-TJS-04791-05-10	GANGWAY DETAILS	0	ISSUE FOR CONSTRUCTION
D-TJS-04791-05-11	GANGWAY DETAILS CONT.	1	ISSUE FOR CONSTRUCTION
D-TJS-04791-05-60	TRANSITION PLATE	0	ISSUE FOR CONSTRUCTION
D-TJS-04791-08-01	ABUTMENT	0	ISSUE FOR CONSTRUCTION
D-TJS-04791-10-01	HATCH COVER	0	ISSUE FOR CONSTRUCTION
D-TJS-04791-10-02	GANGWAY GUIDE	0	ISSUE FOR CONSTRUCTION

THE DEPARTMENT OF ENVIRONMENT AND SCIENCE

GLADSTONE MARINE BASE PONTOON UPGRADE



LOCALITY GUIDE



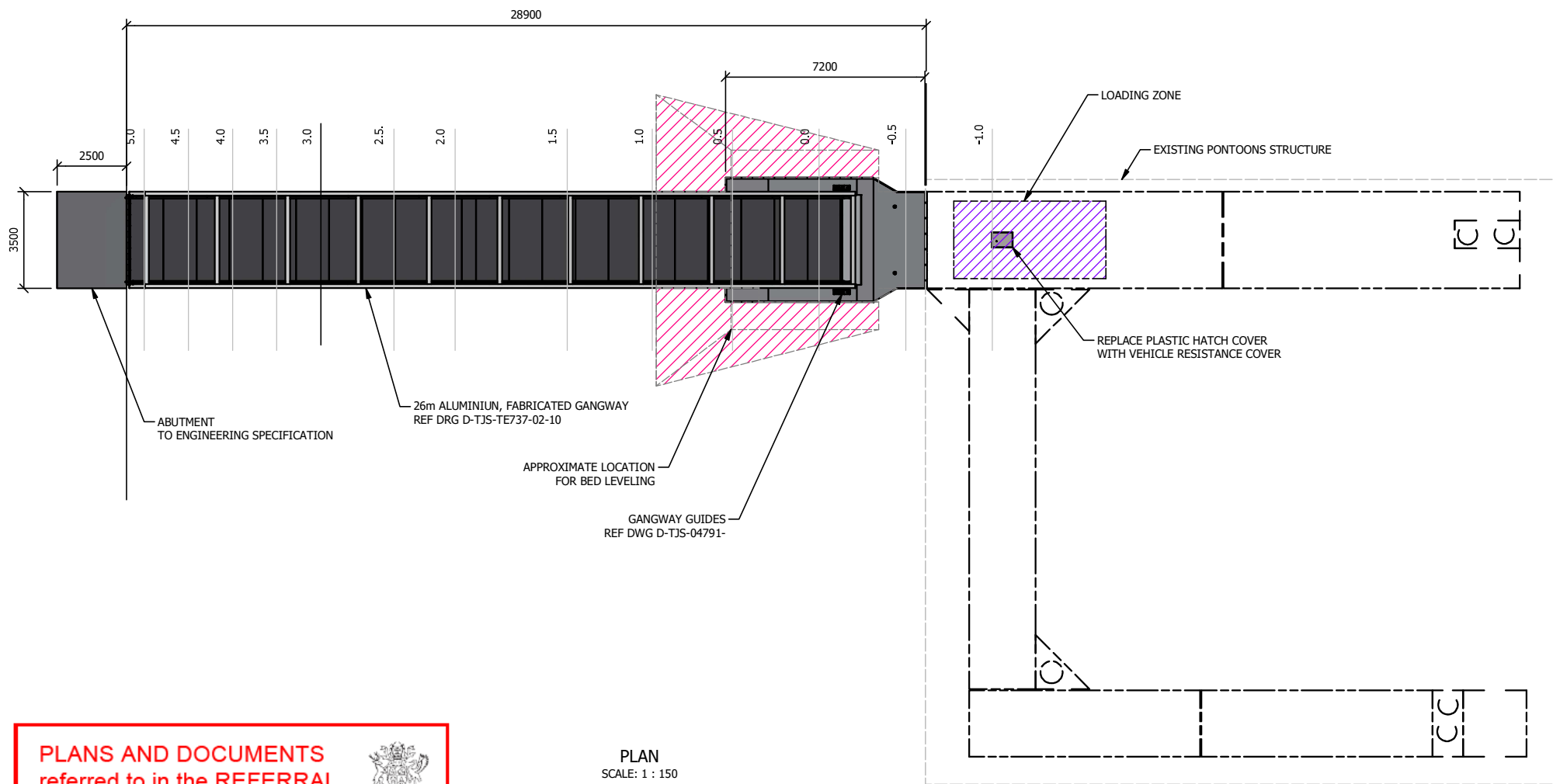
PLANS AND DOCUMENTS
referred to in the REFERRAL
AGENCY RESPONSE

SARA ref: 2506-46812 SRA

Date: 6 August 2025

ISSUE FOR CONSTRUCTION

									CLIENT: THE DEPARTMENT OF ENVIRONMENT AND SCIENCE	TITLE: COVER PAGE	SHEET SIZE: A3
1	UPDATED DRAWING REGISTER, GANGWAY GUIDE ADDED	KJ	25/07/2023	TC	PROJECT MANAGEMENT ENGINEERING PLANNING		18 RON PARKINSON CR BELLS CREEK QLD 4551		PROJECT: GLADSTONE MARINE BASE PONTOON UPGRADE	DRAWING No: D-TJS-04791-00-01	SHEET 1 OF 15
0	ISSUE FOR CONSTRUCTION	KJ	10/07/2023	TC	CHD		R.P.E.Q.		DATE		
REV	DESCRIPTION	DRN BY	DATE	APPD			06807		2.08.2023		
									REVISION: 1		



PLANS AND DOCUMENTS
referred to in the REFERRAL
AGENCY RESPONSE



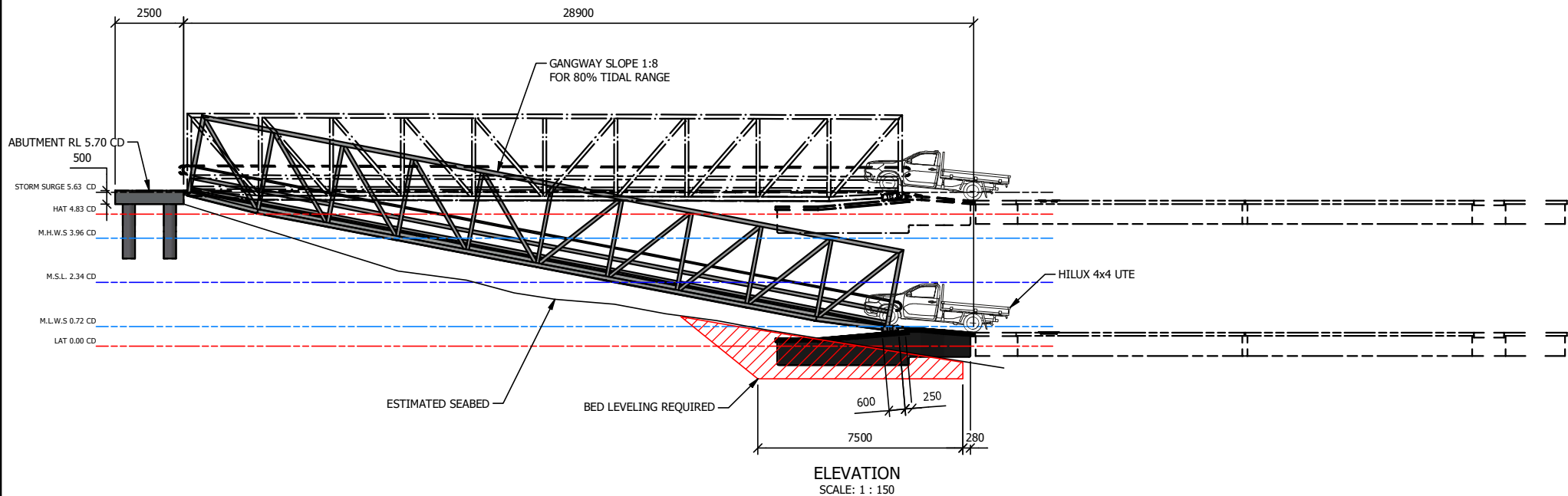
SARA ref: 2506-46812 SRA

Date: 6 August 2025

PLAN
SCALE: 1 : 150

ISSUE FOR CONSTRUCTION

					ProjexPartners PROJECT MANAGEMENT ENGINEERING PLANNING		THE jetty SPECIALIST 18 RON PARKINSON CR BELLS CREEK QLD 4551 ☎ 1300 260 878 www.tjsmarine.com.au ✉ home@tjsmarine.com.au		CLIENT: THE DEPARTMENT OF ENVIRONMENT AND SCIENCE		TITLE: GENERAL ARRANGEMENT		SHEET SIZE: A3		
									PROJECT: GLADSTONE MARINE BASE PONTOON UPGRADE		DRAWING No: D-TJS-04791-01-01		SHEET 3 OF 15		
0	ISSUE FOR CONSTRUCTION				KJ	10/07/2023	TC								
REV	DESCRIPTION				DRN BY	DATE	APPD	CHD R.F.F.Q. DATE							
								06807 2.08.2023						0	



**PLANS AND DOCUMENTS
referred to in the REFERRAL
AGENCY RESPONSE**

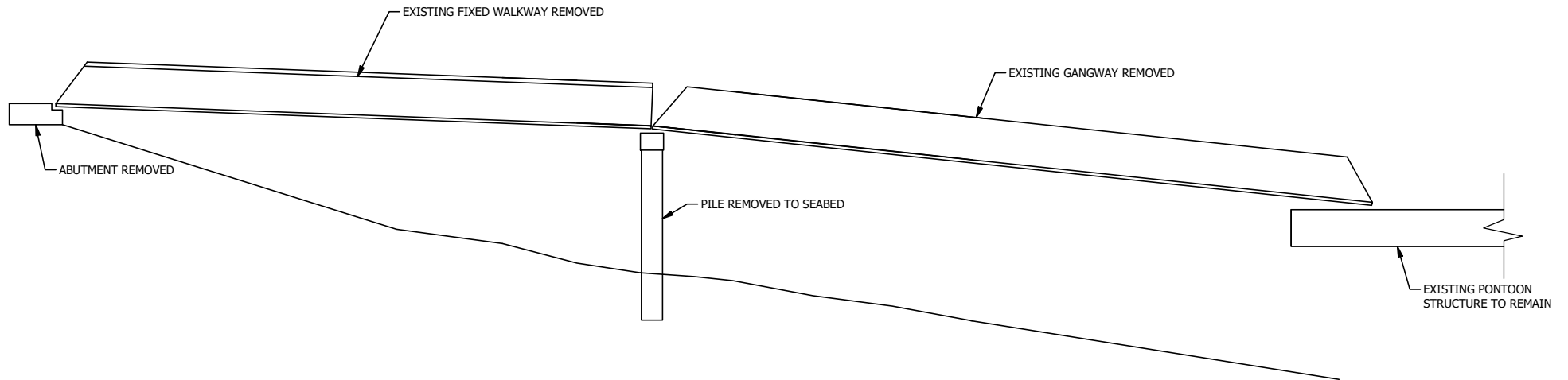


SARA ref: 2506-46812 SRA

Date: 6 August 2025

ISSUE FOR CONSTRUCTION

					ProjexPartners PROJECT MANAGEMENT ENGINEERING PLANNING		THE jetty SPECIALIST 18 RON PARKINSON CR BELLS CREEK QLD 4551 ☎ 1300 260 878 www.tjsmarine.com.au ✉ home@tjsmarine.com.au		CLIENT: THE DEPARTMENT OF ENVIRONMENT AND SCIENCE		TITLE: ELEVATION		SHEET SIZE: A3	
									PROJECT: GLADSTONE MARINE BASE PONTOON UPGRADE		DRAWING No: D-TJS-04791-01-20		SHEET 5 OF 15	
0	ISSUE FOR CONSTRUCTION			KJ	10/07/2023	TC								
REV	DESCRIPTION			DRN BY	DATE	APPD	CHD	R.F.E.Q	DATE					REV:
								06807	2.08.2023					0



REMOVAL PLAN
SCALE (1 : 100)

PLANS AND DOCUMENTS
referred to in the REFERRAL
AGENCY RESPONSE



SARA ref: 2506-46812 SRA

Date: 6 August 2025

ISSUE FOR CONSTRUCTION

					ProjexPartners PROJECT MANAGEMENT ENGINEERING PLANNING			THE jetty SPECIALIST 18 RON PARKINSON CR BELLS CREEK QLD 4551 ☎ 1300 260 878 www.tjsmarine.com.au ✉ home@tjsmarine.com.au			CLIENT: THE DEPARTMENT OF ENVIRONMENT AND SCIENCE		TITLE: REMOVAL PLAN		SHEET SIZE: A3	
								PROJECT: GLADSTONE MARINE BASE PONTOON UPGRADE			DRAWING No: D-TJS-04791-02-20		SHEET 6 OF 15			
					CHD 			R.P.E.Q. 06807			DATE 2.08.2023		REV: 0			
0	ISSUE FOR CONSTRUCTION				KJ	10/07/2023		TC								
REV	DESCRIPTION				DRN BY	DATE		APPD								

Development Assessment Rules—Representations about a referral agency response

The following provisions are those set out in sections 28 and 30 of the Development Assessment Rules¹ regarding **representations about a referral agency response**

Part 6: Changes to the application and referral agency responses

28 Concurrence agency changes its response or gives a late response

- 28.1. Despite part 2, a concurrence agency may, after its referral agency assessment period and any further period agreed ends, change its referral agency response or give a late referral agency response before the application is decided, subject to section 28.2 and 28.3.
- 28.2. A concurrence agency may change its referral agency response at any time before the application is decided if—
- (a) the change is in response to a change which the assessment manager is satisfied is a change under section 26.1; or
 - (b) the Minister has given the concurrence agency a direction under section 99 of the Act; or
 - (c) the applicant has given written agreement to the change to the referral agency response.²
- 28.3. A concurrence agency may give a late referral agency response before the application is decided, if the applicant has given written agreement to the late referral agency response.
- 28.4. If a concurrence agency proposes to change its referral agency response under section 28.2(a), the concurrence agency must—
- (a) give notice of its intention to change its referral agency response to the assessment manager and a copy to the applicant within 5 days of receiving notice of the change under section 25.1; and
 - (b) the concurrence agency has 10 days from the day of giving notice under paragraph (a), or a further period agreed between the applicant and the concurrence agency, to give an amended referral agency response to the assessment manager and a copy to the applicant.

¹ Pursuant to Section 68 of the *Planning Act 2016*

² In the instance an applicant has made representations to the concurrence agency under section 30, and the concurrence agency agrees to make the change included in the representations, section 28.2(c) is taken to have been satisfied.

Part 7: Miscellaneous

30 Representations about a referral agency response

30.1. An applicant may make representations to a concurrence agency at any time before the application is decided, about changing a matter in the referral agency response.³

³ An applicant may elect, under section 32, to stop the assessment manager's decision period in which to take this action. If a concurrence agency wishes to amend their response in relation to representations made under this section, they must do so in accordance with section 28.

Attachment 2 Approved Plans and Specifications

GENERAL NOTES

- 1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED.
- 2. ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH THE APPROPRIATE AND CURRENT AUSTRALIAN STANDARDS THAT ARE CURRENT AT THE TIME OF DESIGN.
- 3. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE
- 4. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
- 5. SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED ON SITE BEFORE CONSTRUCTION COMMENCES.
- 6. SURVEY DATA AND RL'S BASED ON AUSTRALIAN HEIGHT DATUM (AHD)

ABBREVIATIONS

U.N.O. UNLESS NOTED OTHERWISE
FB FREEBOARD

RELEVANT STANDARDS

- AS 1100 AUSTRALIAN DRAFTING STANDARDS
- AS 1170 STRUCTURAL DESIGN ACTIONS
- AS 1428.1 DESIGN FOR ACCESS AND MOBILITY
- AS 1657:2018 FIXED PLATFORMS, WALKWAYS, STAIRS AND LADDERS
- AS/NZS 1664.1 ALUMINIUM STRUCTURES
- AS 2159-2009 PILING DESIGN AND INSTALLATION
- AS 3600 CONCRETE STRUCTURES
- AS 3610-2010 FORMWORK FOR CONCRETE
- AS 3962 MARINA DESIGN
- AS 4997 GUIDELINES FOR THE DESIGN OF MARITIME STRUCTURES
- CAN/CSA-S807-10 "SPECIFICATION FOR FIBRE-REINFORCED POLYMERS" CANADIAN STANDARDS ASSOCIATION

ALUMINIUM

- 1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH AS/NZS 1664.1:1997.
- 2. ALL ALUMINIUM SECTIONS SHALL BE GRADE 6351 T5 UNO.
- 3. ALL ALUMINIUM PLATE SHALL BE GRADE 5083 H321 UNO.
- 4. ALL WORK SHALL BE NEATLY FINISHED WITH ALL EDGES EXPOSED TO HANDS TO BE TIG WELDED. ANY SHARP POINTS TO BE REMOVED.
- 5. ALL WELDING SHALL BE IN ACCORDANCE WITH AS 1665:2004. & APPROVED WELD SPECIFICATION.
- 6. WELDING SHALL BE CARRIED OUT USING ARGON GAS SHIELDING.
- 7. IN BOLTED JOINTS, CONTACT FACES OF ALUMINIUM AND THREADS OF BOLTS AND NUTS SHALL BE COATED WITH LIBERAL COATING OF DURALAC APPLIED TO ALL CONTACTING SURFACES.
- 8. ALL ALUMINIUM WELDS SHALL USE AN E5356 FILLER WIRE.
- 9. MIN. WELD SIZE TO BE 3mm CFW FOR SECTIONS OR PLATES WITH THICKNESS LESS THAN 5mm, 6mm CFW FOR ALL OTHERS. UNLESS NOTED OTHERWISE.
- 10. 5% ULTRASONIC AND 100% VISUAL INSPECTION.

CONCRETE PONTOON

- 1. STRUCTURAL CONCRETE TO BE 50 MPa (GRADE S50/10) AT 28 DAYS.
- 2. FOR ALL CONCRETE MEMBERS, THE ADOPTED EXPOSURE IS C2.
- 3. ALL CONCRETE WORK TO COMPLY WITH AS3600.
- 4. ALL CONCRETE TO BE 50 MPa (GRADE N50).
- 5. ALL PONTOON REINFORCING TO BE FIBRE REINFORCED POLYMER (FRP) IN ACCORDANCE WITH CAN/CSA-S807-10 "SPECIFICATION FOR FIBRE-REINFORCED POLYMERS" AND 316 STAINLESS STEEL (S.S).
- 6. COVER OF FRP REINFORCEMENT TO EXPOSED SURFACES TO BE 25mm MIN.
- 7. COVER OF STEEL REINFORCEMENT TO EXPOSED SURFACES TO BE 65mm MIN.

FLOTATION

- 1. FLOTATION TO COMPRISE OF GRADE SL EXPANDED POLYSTYRENE FOAM WITH HDPE PROTECTIVE LAYER.

STEEL PILES

- 1. ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH AS 4100
- 2. ALL Ø1067 STEEL PILES TO BE GRADE 450, REMAINING PILE GRADE 350
- 3. ALL WELDING SHALL BE IN ACCORDANCE WITH AS/NZS 1554
- 4. ALL WELDS SHALL BE CATEGORY "SP" U.N.O.
- 5. ALL PILE CIRCUMFERENTIAL WELDS SHALL BE PRE QUALIFIED COMPLETE PENETRATION BUTT WELDS, CATEGORY "SP" IN ACCORDANCE WITH TABLE 4.6.1 (A) OF AS/NZS 1544.1
- 6. ALL "SP" WELDS SHALL BE CARRIED OUT BY CERTIFIED WELDER AND TESTED IN ACCORDANCE WITH AS /NZS 1554.1
- 7. ALL "GP" WELDS SHALL BE INSPECTED IN ACCORDANCE WITH AS/NZS 1544.1

DESIGN LOADS

- PONTOON LIVE LOAD - 4kPa OR 4.5kN POINT LOAD
- STABILITY LOAD - 2kPa TO AS3962.
- FLOATATION LOAD - 3kPa
- GANGWAY LIVE LOAD - 4kPa OR 13kN POINT LOAD
- HANDRAIL - 0.75kN/m

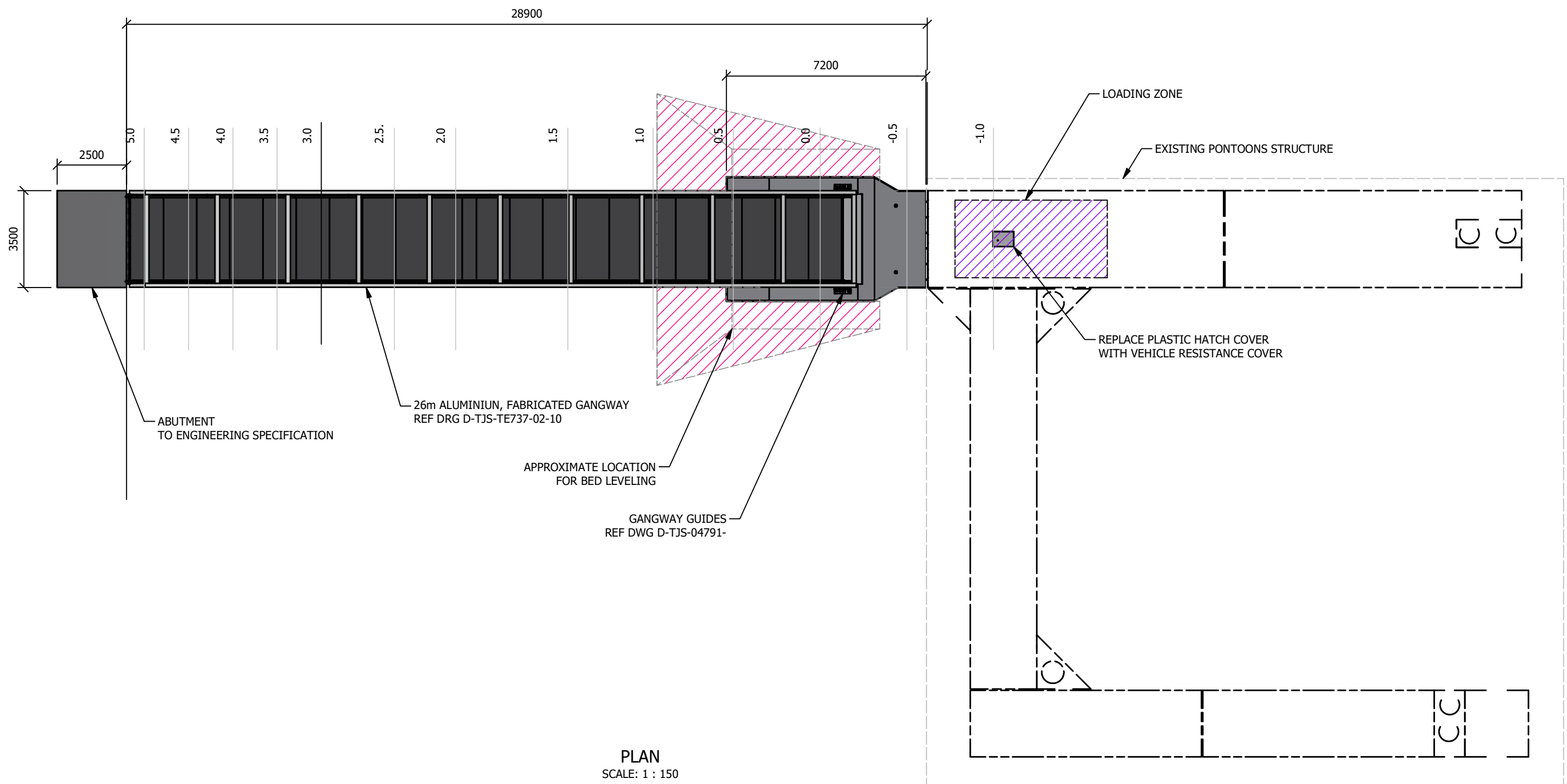
WAVE LOADS

- Hs = 0.5m
- WAVE PERIOD = 2-4 SECONDS



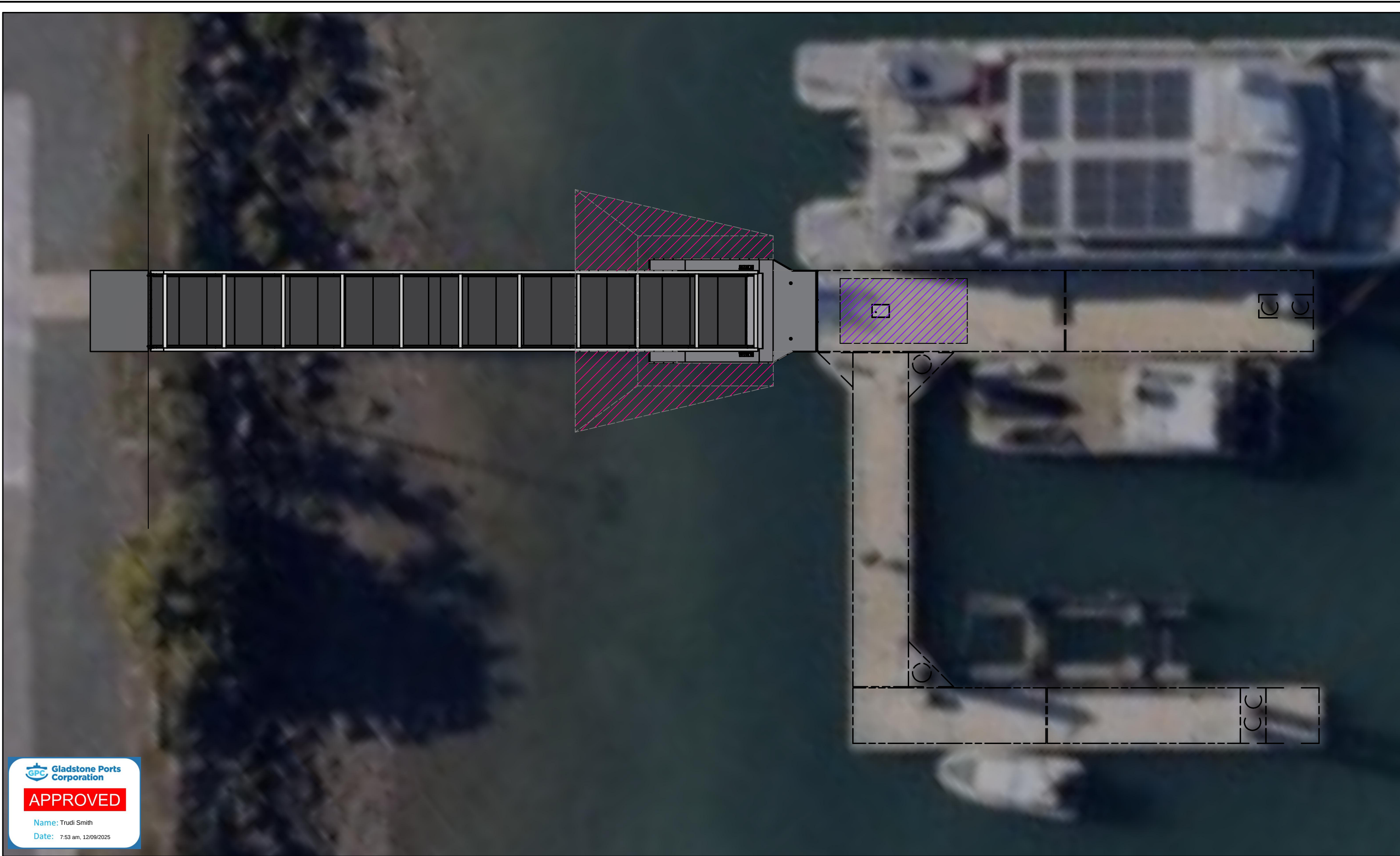
ISSUE FOR CONSTRUCTION

					 PROJECT MANAGEMENT ENGINEERING PLANNING	 18 RON PARKINSON CR BELLS CREEK QLD 4551 ☎ 1300 260 878 www.tjsmarine.com.au 📧 home@tjsmarine.com.au	CLIENT: THE DEPARTMENT OF ENVIRONMENT AND SCIENCE	TITLE: NOTES	SHEET SIZE: A3	
0	ISSUE FOR CONSTRUCTION	KJ	10/07/2023	TC					SHEET 2 OF 15	
REV	DESCRIPTION	DRN BY	DATE	APPD	CHKD R.P.E.Q. 06807	DATE 2.08.2023	PROJECT: GLADSTONE MARINE BASE PONTOON UPGRADE	DRAWING No: D-TJS-04791-00-03	REV: 0	



ISSUE FOR CONSTRUCTION

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REV	DESCRIPTION	DRN BY	DATE	APPD		06807	2.08.2023				REV: 0



**Gladstone Ports Corporation**

APPROVED

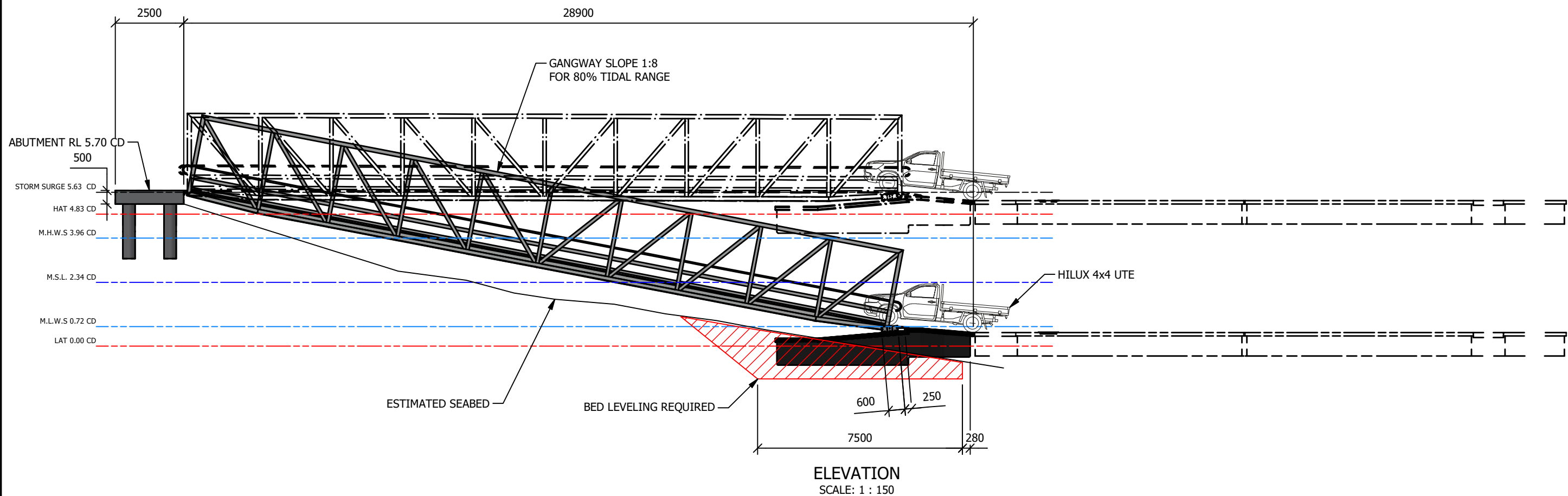
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Date: 7:53 am, 12/09/2025

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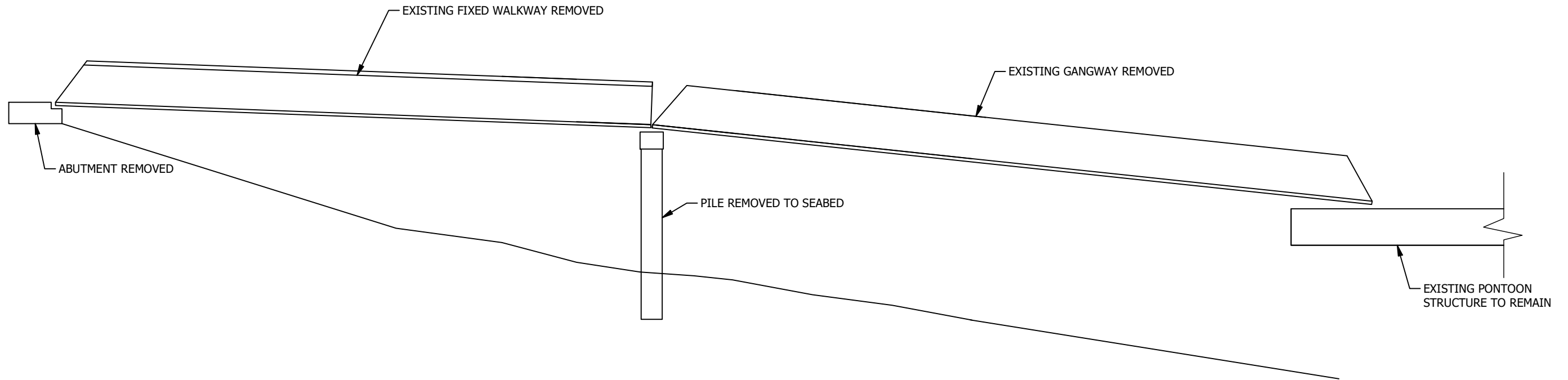
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REV	DESCRIPTION	DRN BY	DATE	APPD	CHKD R.P.E.Q. 06807	DATE 2.08.2023			REV: 0	



ISSUE FOR CONSTRUCTION

					ProjexPartners PROJECT MANAGEMENT ENGINEERING PLANNING		THE jetty SPECIALIST 18 RON PARKINSON CR BELLS CREEK QLD 4551 ☎ 1300 260 878 www.tjsmarine.com.au 📧 home@tjsmarine.com.au		CLIENT: THE DEPARTMENT OF ENVIRONMENT AND SCIENCE		TITLE: ELEVATION		SHEET SIZE: A3	
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REV	DESCRIPTION			DRN BY	DATE	APPD	06807		2.08.2023				0	



REMOVAL PLAN
SCALE (1 : 100)

 **Gladstone Ports Corporation**

APPROVED

Name: Trudi Smith

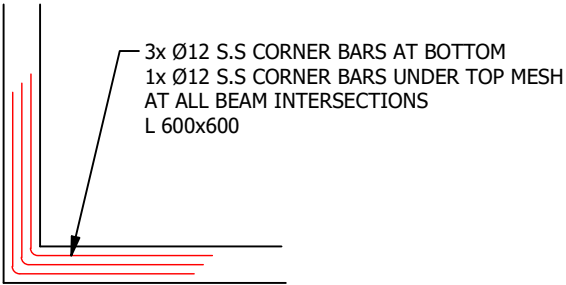
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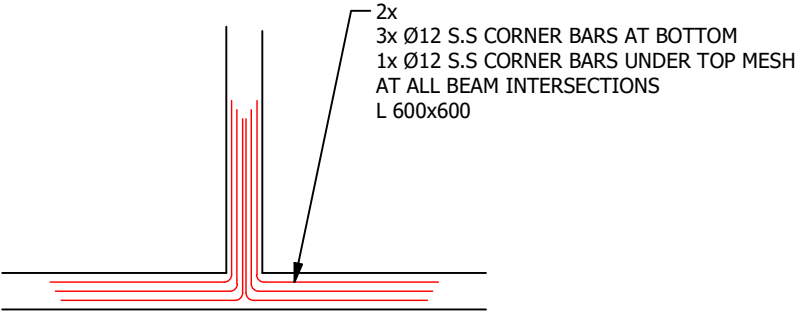
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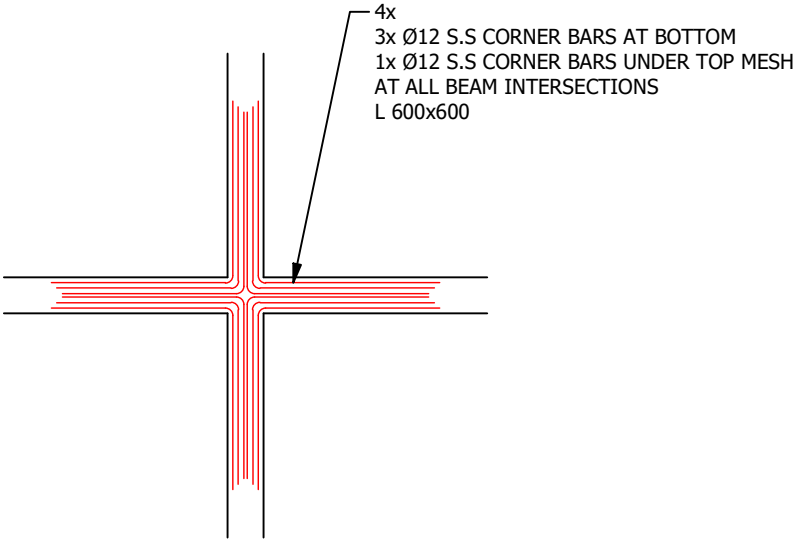
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- 2. ALL CONCRETE TO BE 50 MPa (GRADE S50/10).
- 3. DECK FINISH MARINE GRADE CARPET LIGHT GREY
- 4. ALL PONTOON REINFORCING TO BE FIBRE REINFORCED POLYMER (FRP) AND STAINLESS STEEL, AUSTENITIC GRADE 316/316L FOR BARS Ø6 TO Ø16.
- 5. COVER OF REINFORCEMENT TO BE 30mm MIN. TO FRP BARS AND 30mm TO S.S BARS.
- 6. ALL Ø10 BAR LAPS TO BE 400mm. ALL Ø12 BAR LAPS TO BE 480mm.
- 7. ID PLATE TO BE SECURED TO POTOONS.
- 8. SURFACE OF ALUMINIUM IN CONTACT WITH CONCRETE TO BE COASTED WITH GALVALINK PRIMER OR EQUIVALENT.



STANDARD CORNER
TRENCH DETAIL
SCALE (1 : 25)



"T" CORNER
TRENCH CORNER
SCALE (1 : 25)



"X" CORNER
TRENCH CORNER
SCALE (1 : 25)

Gladstone Ports Corporation

APPROVED

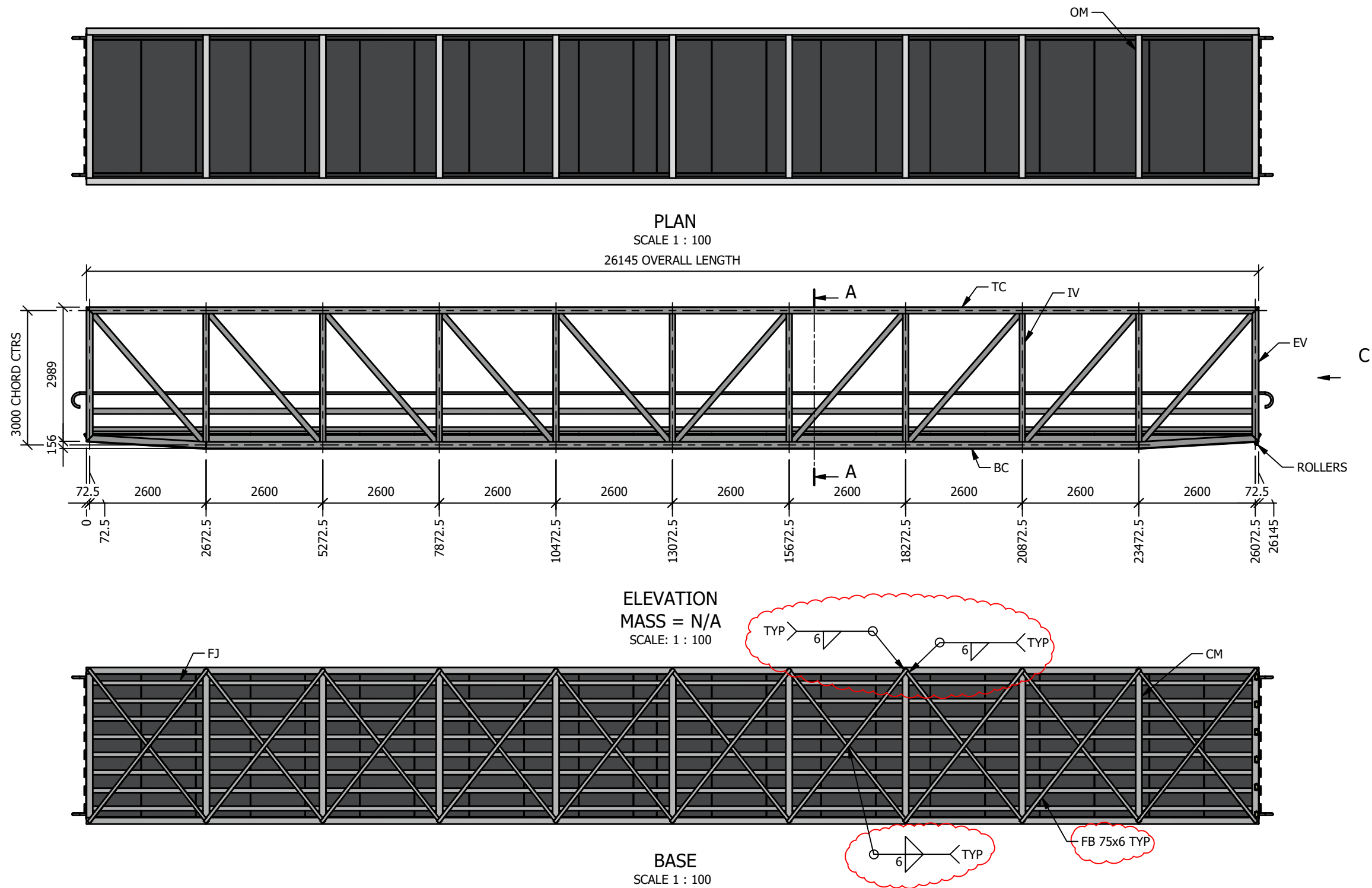
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REV	DESCRIPTION	DRN BY	DATE	APPD	CHKD 06807	DATE 2.08.2023			REV: 0

SCHEDULE	
MARK	DESCRIPTION
TC	145x9.5 SHS
BC	145x9.5 SHS
EV	145x9.5 SHS
IV	125.5x6.75 SHS
DV	125.5x6.75 SHS
CM	145x9.5 SHS
FJ	150x100x6 RHS
OM	145x9.5 SHS



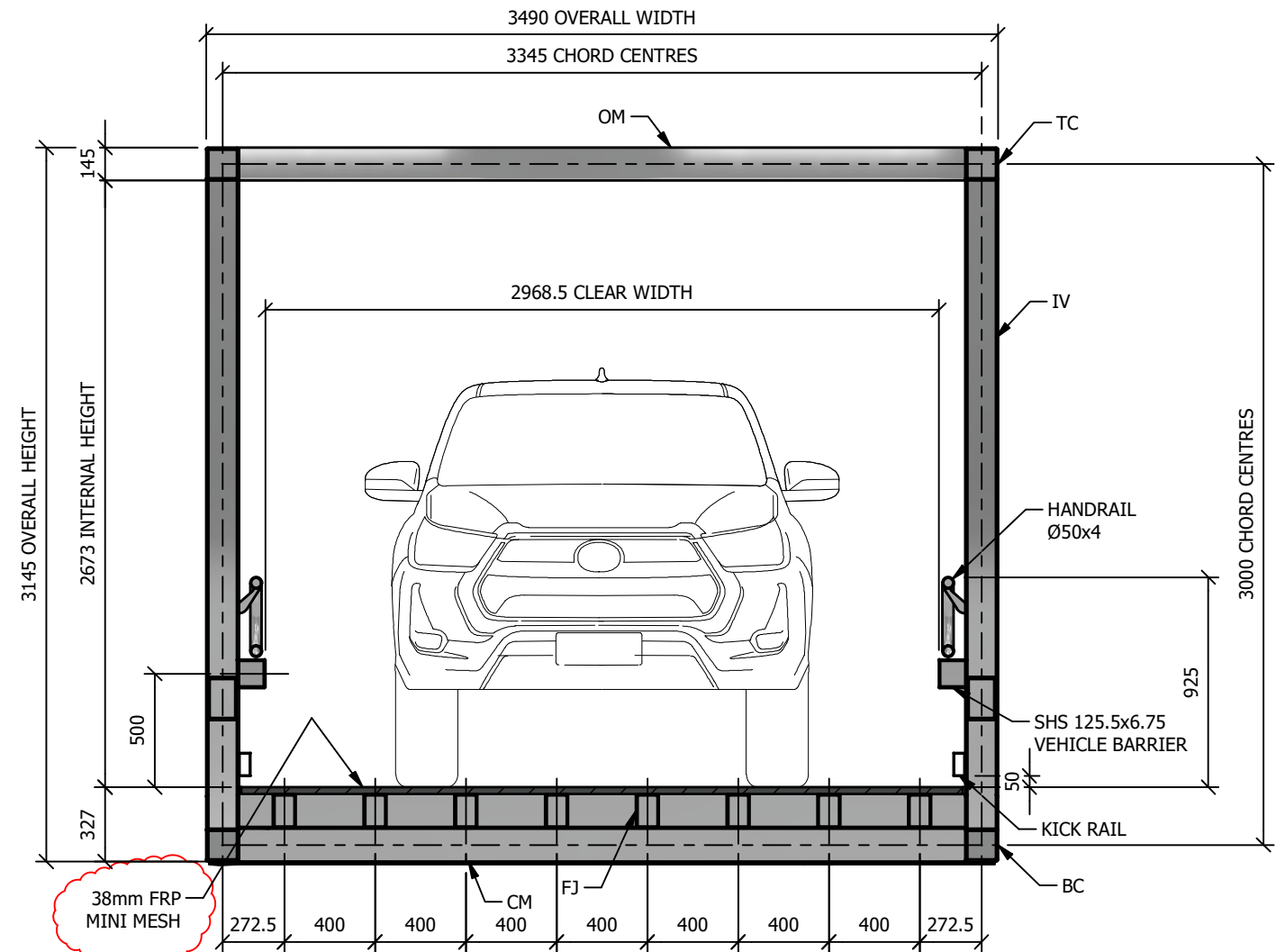
DESIGN STANDARDS
AS/NZS 1170.0, 1170.1, 1170.2 STRUCTURAL DESIGN ACTIONS
AS 1664.2 ALUMINIUM STRUCTURES (ALLOWABLE STRESS DESIGN)
AS 1657 FIXED PLATFORMS, WALKWAYS, STAIRWAYS AND LADDERS (FOR HANDRAILS)
AS 5100



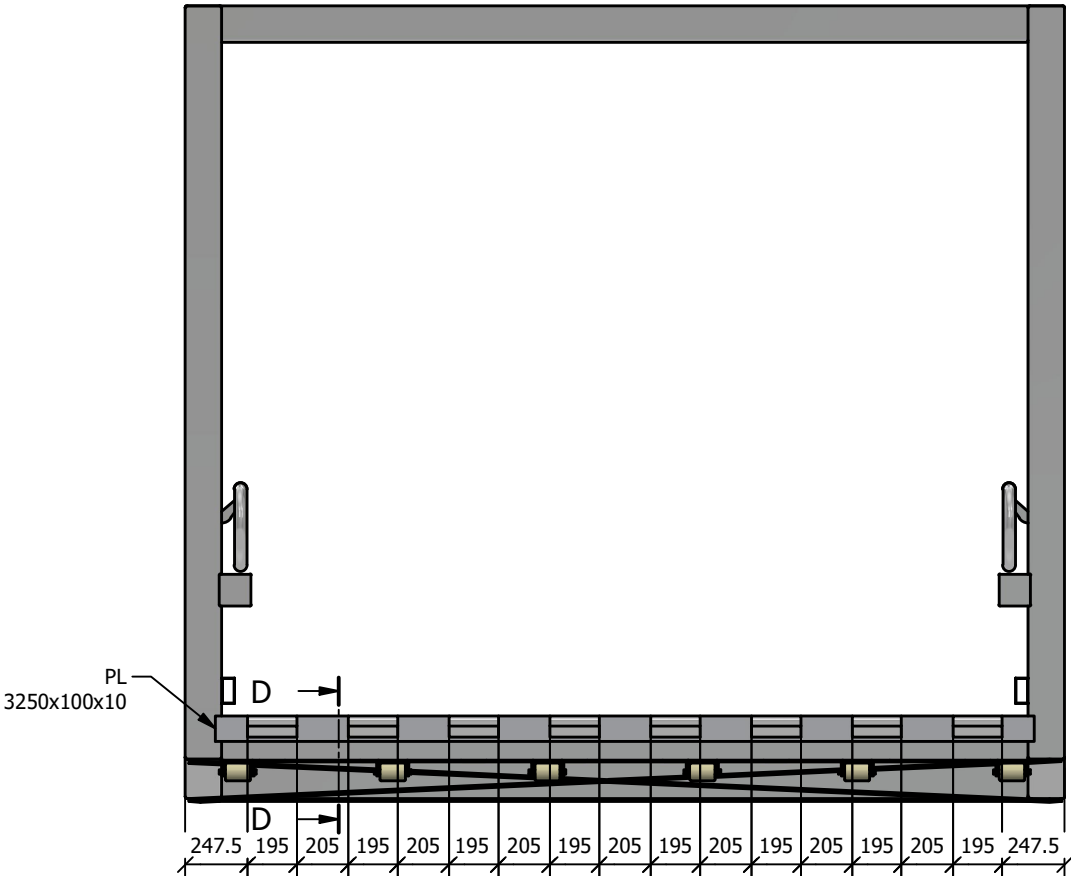
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							PROJECT: GLADSTONE MARINE BASE PONTOON UPGRADE	DRAWING No: D-TJS-04791-05-10	SHEET 10 OF 15
0	ISSUE FOR CONSTRUCTION	KJ	10/07/2023	TC	CHKD	R.P.E.Q. 06807	DATE 2.08.2023	REV: 0	
REV	DESCRIPTION	DRN BY	DATE	APPD					

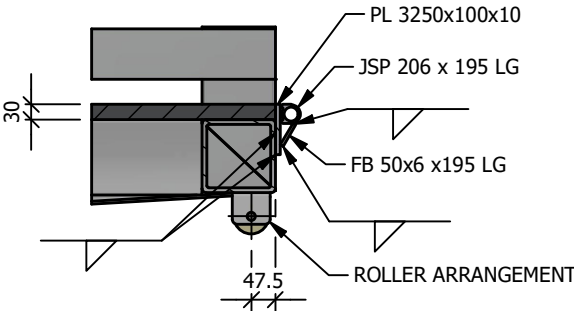
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BC	145x9.5 SHS
EV	145x9.5 SHS
IV	125.5x6.75 SHS
DV	125.5x6.75 SHS
CM	145x9.5 SHS
FJ	150x100x6 RHS
OM	145x9.5 SHS



SECTION A-A
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C (1 : 30)



SECTION D-D
SCALE: 1 : 15

Gladstone Ports Corporation

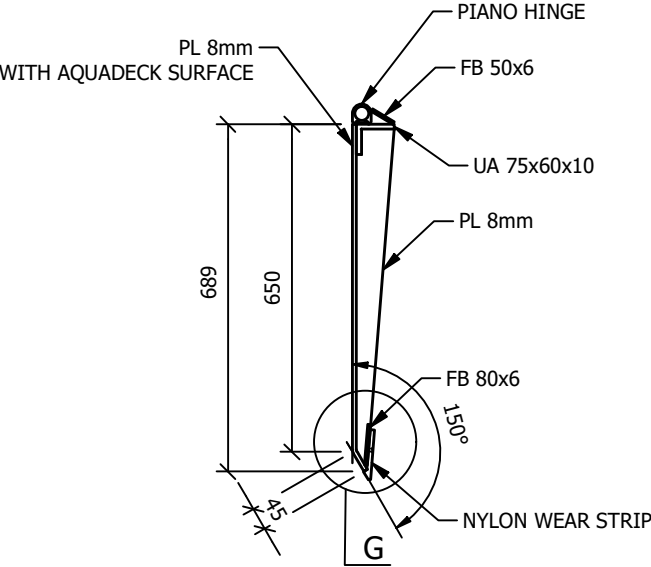
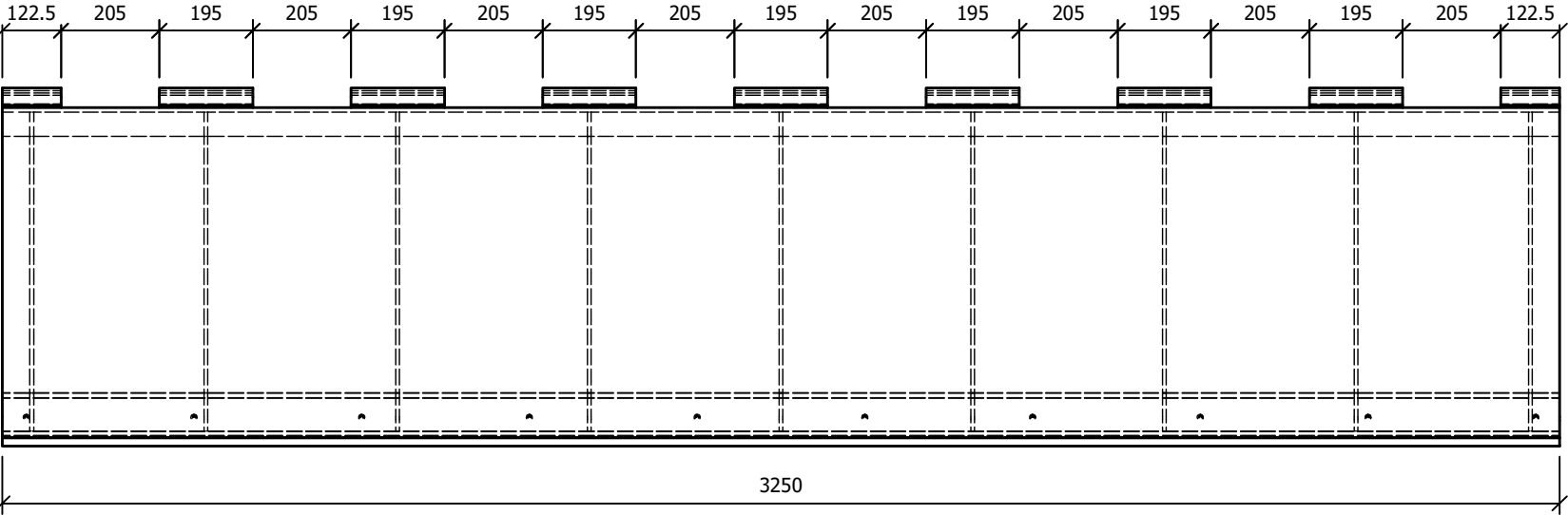
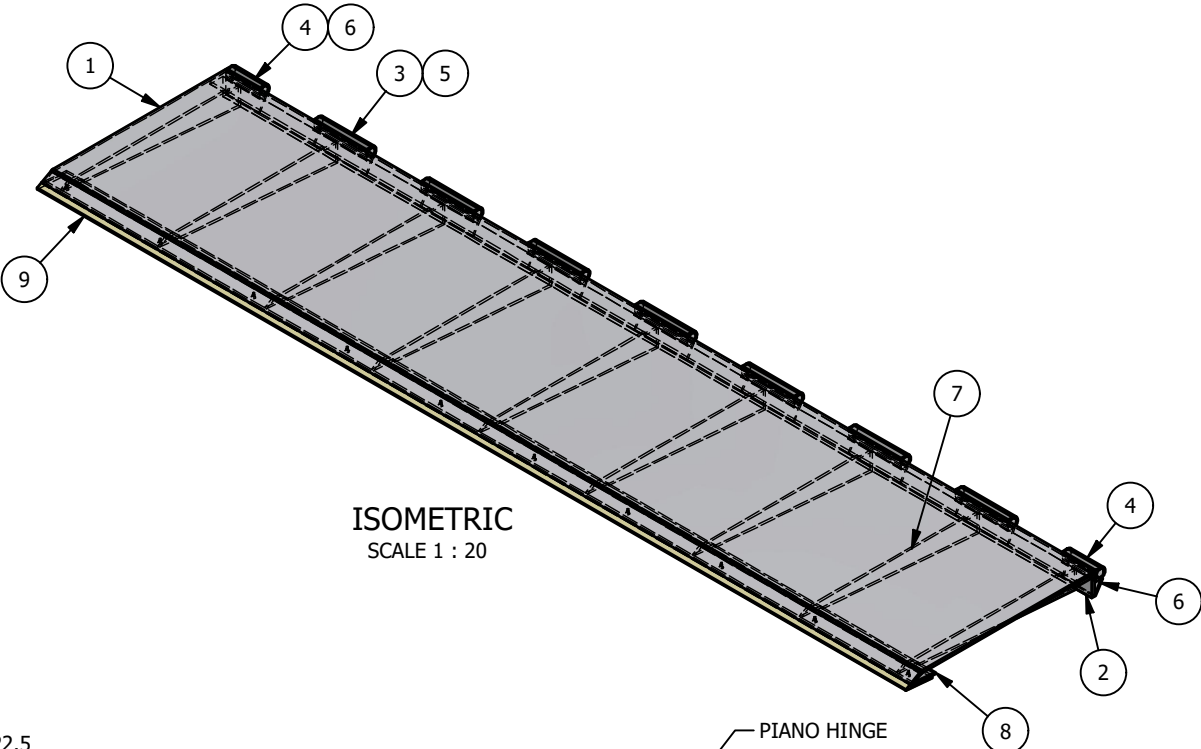
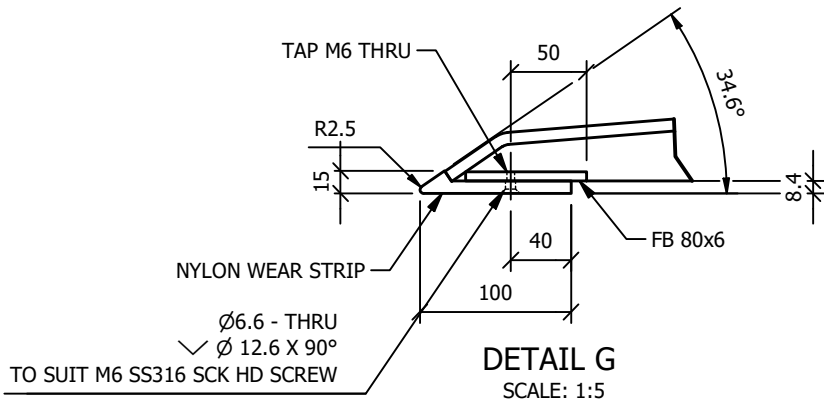
APPROVED

Name: Trudi Smith
Date: 7:55 am, 12/09/2025

ISSUE FOR CONSTRUCTION

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									PROJECT: GLADSTONE MARINE BASE PONTOON UPGRADE		DRAWING No: D-TJS-04791-05-11		SHEET 11 OF 15		
1	38mm MINI MESH WAS 30mm COVER TOP			KJ	31/07/2023	TC							REV: 1		
0	ISSUE FOR CONSTRUCTION			KJ	10/07/2023	TC									
REV	DESCRIPTION			DRN BY	DATE	APPD	CHKD	R.P.E.Q. 06807	DATE 2.08.2023						

PARTS LIST						
ITEM	ITEM QTY	UNIT QTY	PART NUMBER	DESCRIPTION	MATERIAL	MASS
6	2	122.500 mm	04791-TP-M003	FB 50x6	ALUMINIUM 6351 T5	0.100 kg
5	7	195.000 mm	04791-GW-M248	FB 50x6	ALUMINIUM 6351 T5	0.159 kg
8	1	3250.000 mm	04791-TP-F001	FB 80x6	ALUMINIUM 6351 T5	4.225 kg
9	1	3250.000 mm	04791-TP-M004	NYLON WEAR STRIP	Nylon	3.193 kg
4	2	122.500 mm	04791-GW-M247	PIANO HINGE	ALUMINIUM 6351 T5	0.216 kg
3	7	195.000 mm	04791-TP-M002	PIANO HINGE	ALUMINIUM 6351 T5	0.344 kg
7	9	1	04791-TP-P002	PL 8mm	ALUMINIUM 5083 H321	0.659 kg
1	1	1	04791-TP-P001	PL 8mm	ALUMINIUM 5083 H321	47.908 kg
2	1	3250.000 mm	04791-TP-M001	UA 75x60x10	ALUMINIUM 6351 T5	11.009 kg



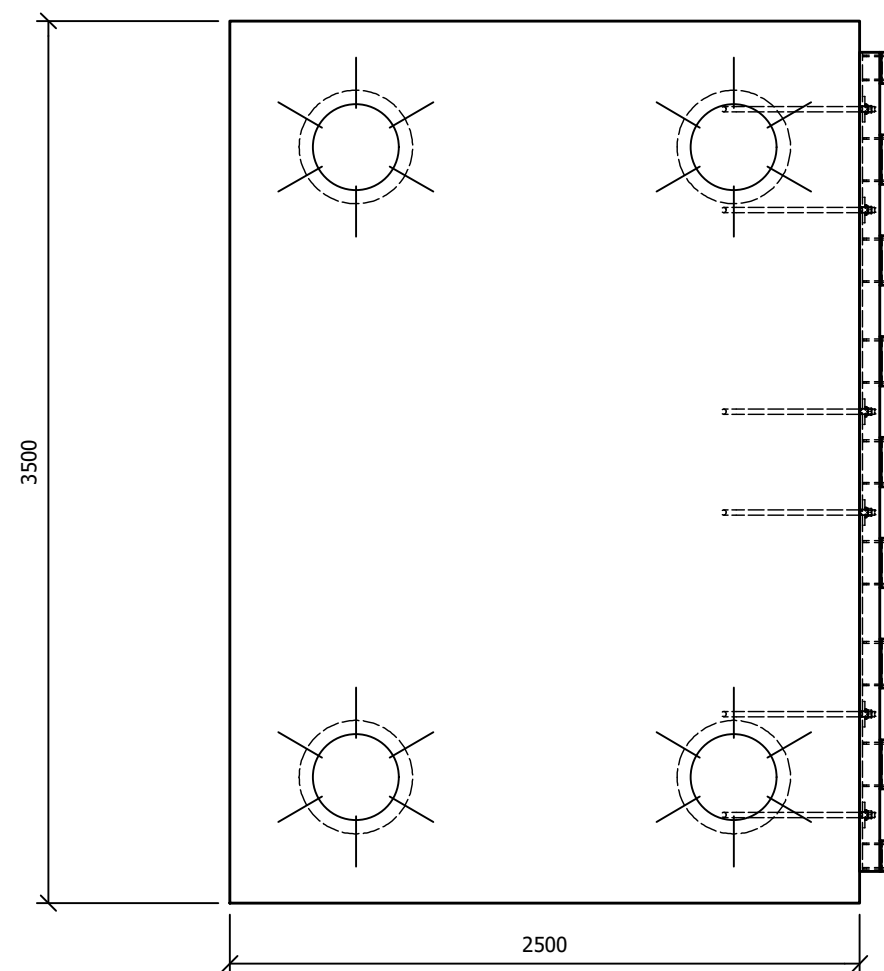
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SCALE: 1 : 15

SIDE ELEVATION
SCALE 1 : 15

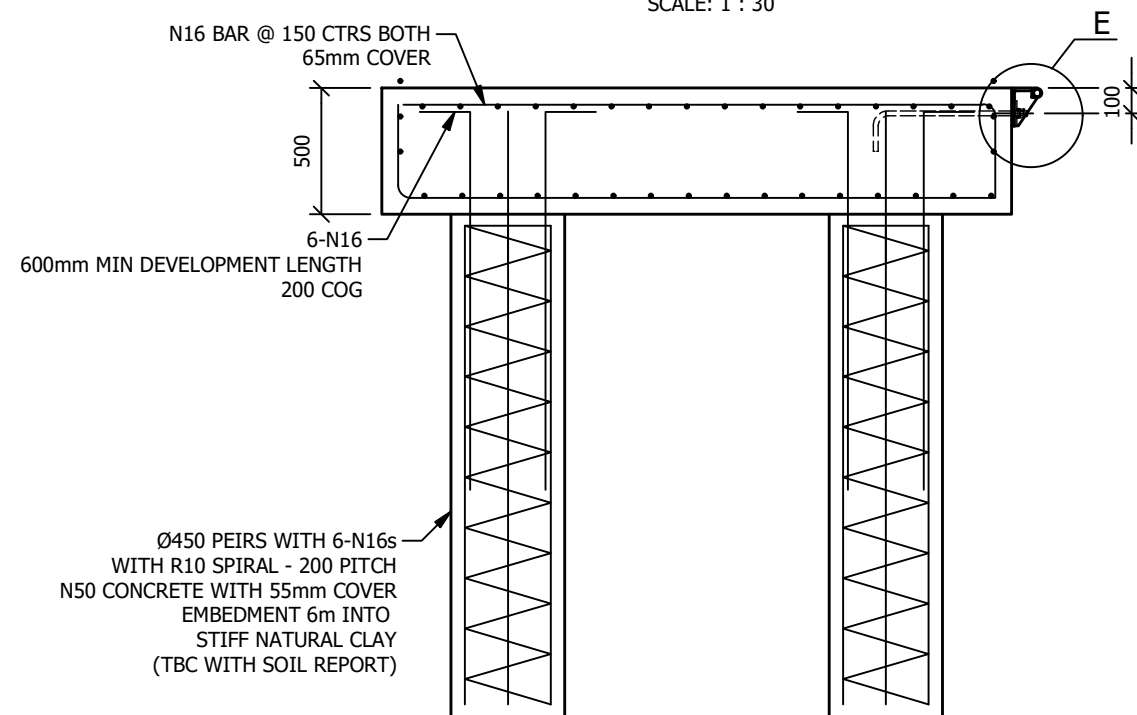


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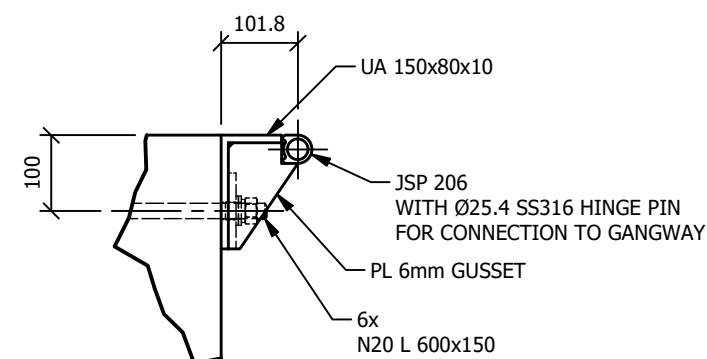
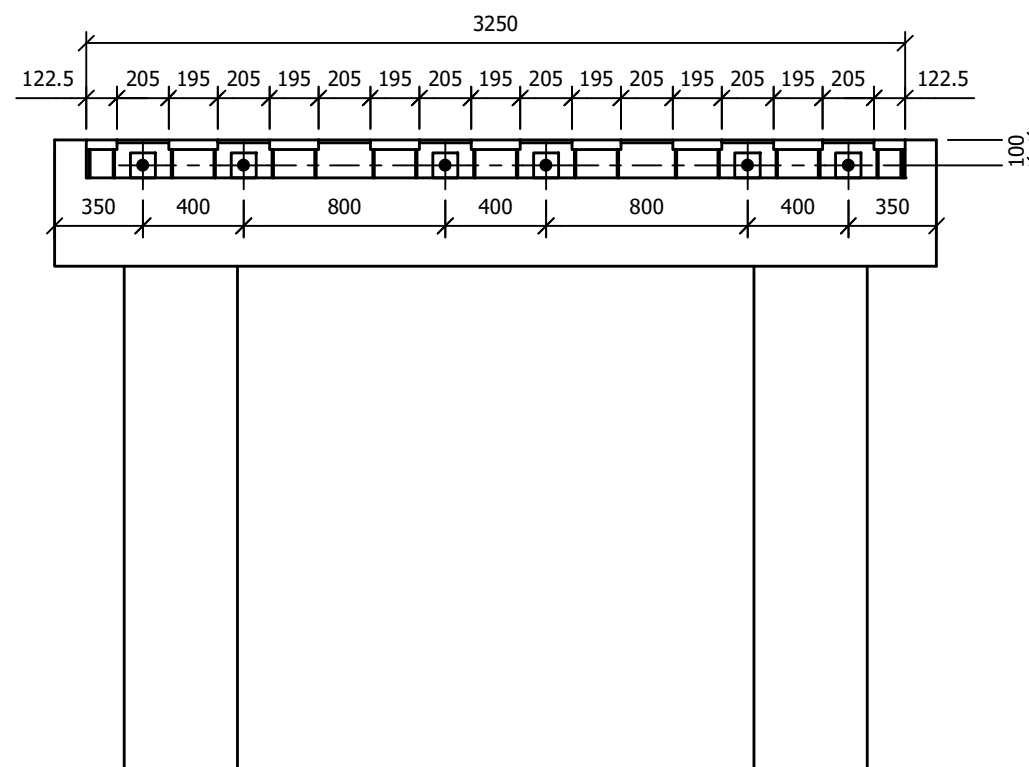
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					CHKD 06807	R.P.E.Q. 06807	DATE 2.08.2023		PROJECT: GLADSTONE MARINE BASE PONTOON UPGRADE	DRAWING No: D-TJS-04791-05-60	SHEET 12 OF 15
0	ISSUE FOR CONSTRUCTION	KJ	10/07/2023	TC							
REV	DESCRIPTION	DRN BY	DATE	APPD							
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SCALE: 1 : 30



SCALE 1 : 30

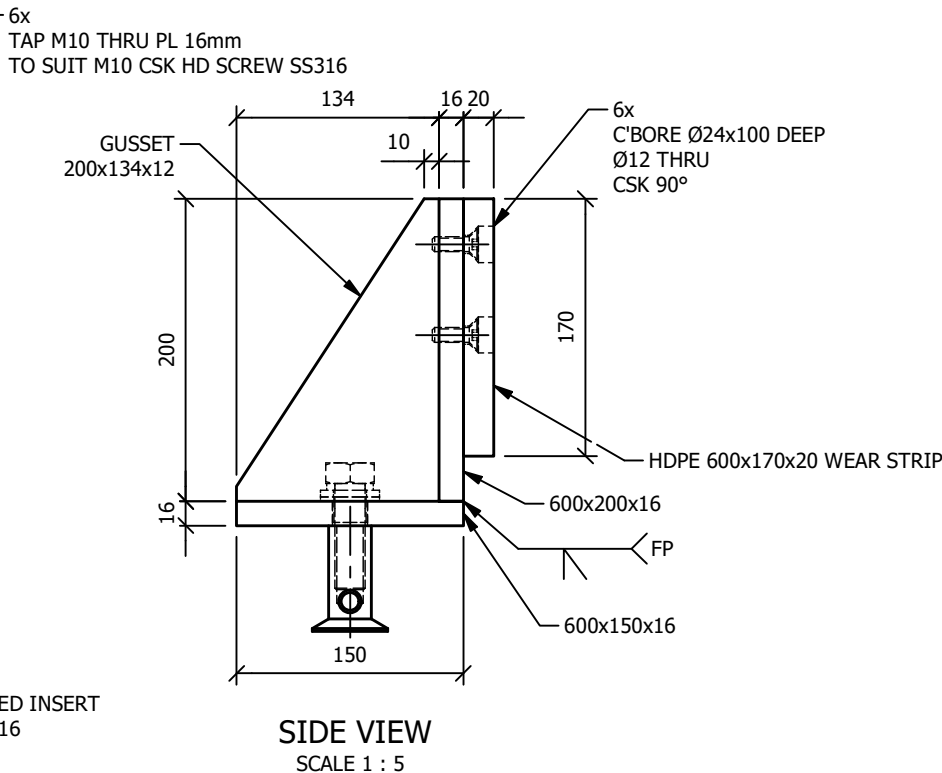
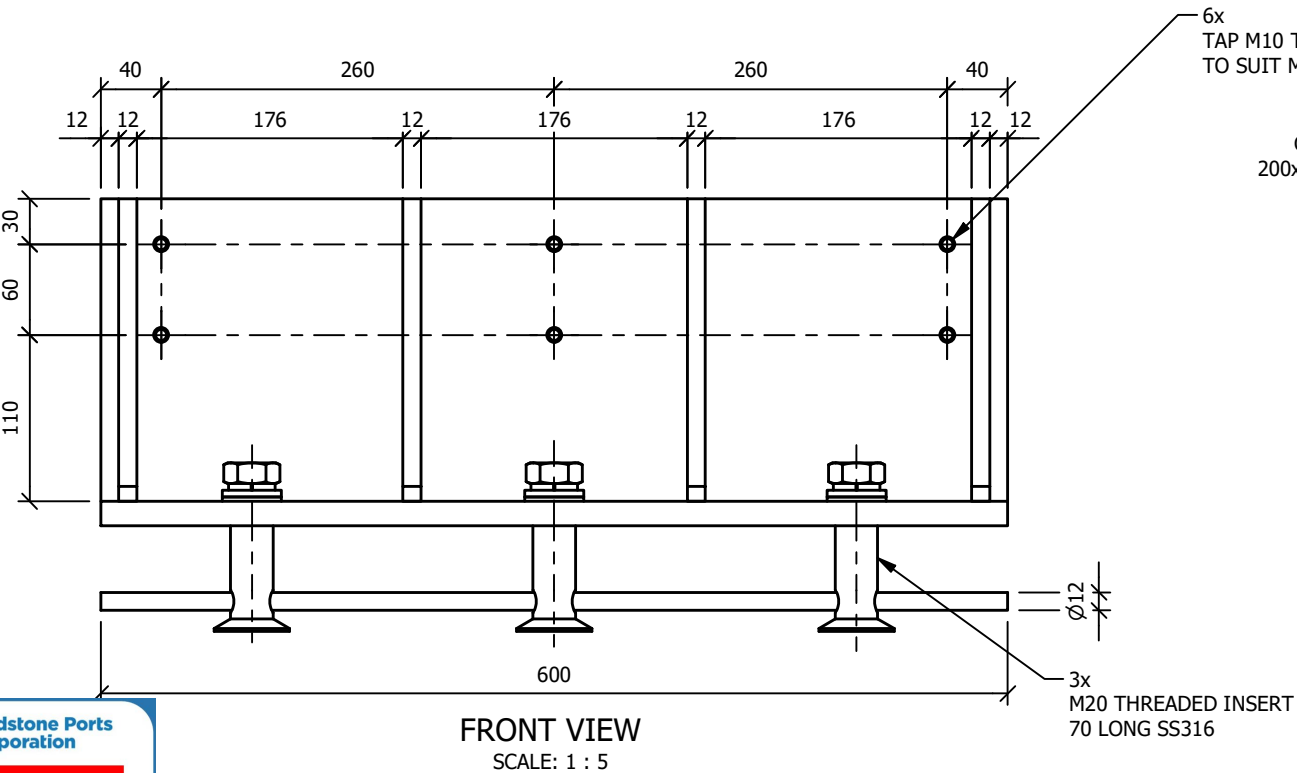
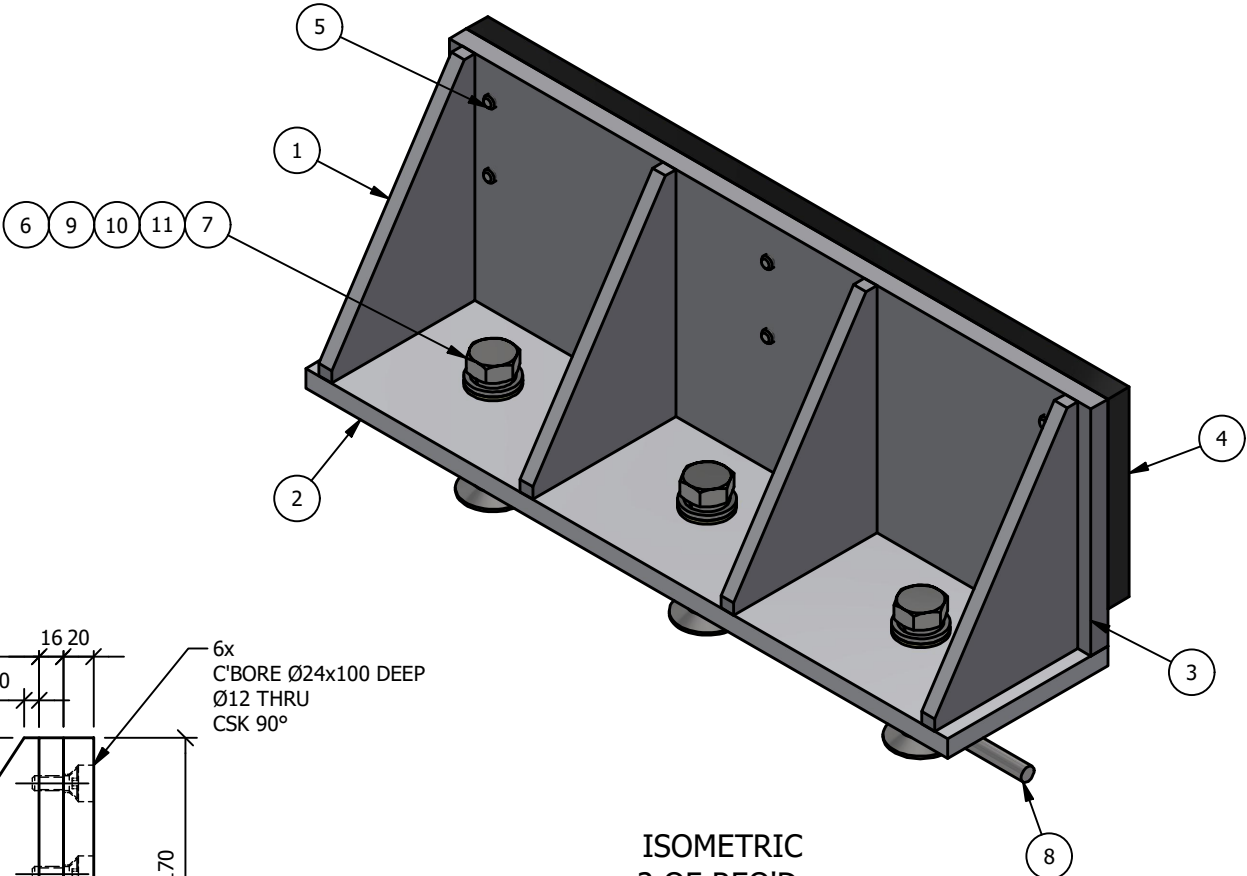
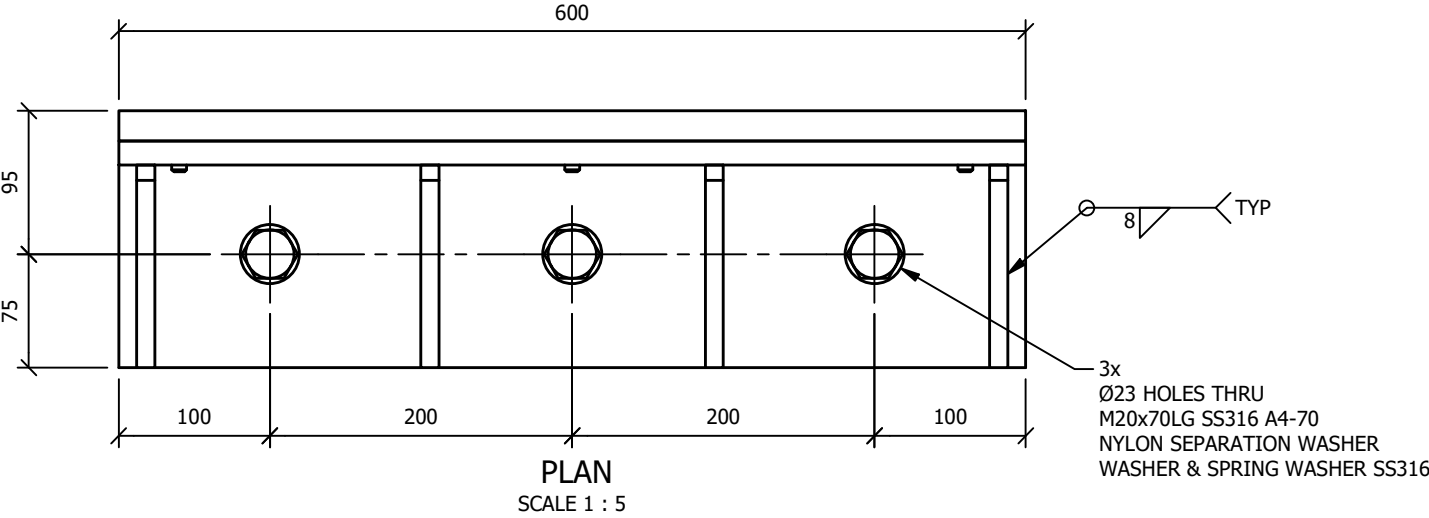
DETAIL E
SCALE: 1 : 10

SCALE 1 : 30

ISSUE FOR CONSTRUCTION

					ProjexPartners PROJECT MANAGEMENT ENGINEERING PLANNING	THE jetty SPECIALIST 18 RON PARKINSON CR BELLS CREEK QLD 4551 ☎ 1300 260 878 www.tjsmarine.com.au 📧 home@tjsmarine.com.au	CLIENT: THE DEPARTMENT OF ENVIRONMENT AND SCIENCE	TITLE: ABUTMENT	SHEET SIZE: A3
0	ISSUE FOR CONSTRUCTION	KJ	10/07/2023	TC			PROJECT: GLADSTONE MARINE BASE PONTOON UPGRADE	DRAWING No: D-TJS-04791-08-01	SHEET 13 OF 15
REV	DESCRIPTION	DRN BY	DATE	APPD	CHKD R.P.E.Q. 06807	DATE 2.08.2023		REV: 0	

PARTS LIST					
ITEM	ITEM QTY	PART NUMBER	DESCRIPTION	MATERIAL	MASS
1	4	04791-GG-P001	PL 12mm GUSSET	ALUMINIUM 5083 H321	0.479 kg
2	1	04791-GG-P002	PL 16mm	ALUMINIUM 5083 H321	3.777 kg
3	1	04791-GG-P003	PL 16mm	ALUMINIUM 5083 H321	5.093 kg
4	1	04791-GG-H001	HDPE 20mm	HDPE	1.905 kg
5	6	CSKM10.30	M10x30 CSK SOCKET HD SCREW SS316	SS 316	0.023 kg
6	3	FF2070S316	M20 THREADED INSERT x 70 LONG SS316	SS 316	0.276 kg
7	3	M20.HB.70.A470	M20 x 70 HEX HD BOLT GR A4-70	A4-70	0.274 kg
8	1	04791-GG-M001	Ø12 316SS BAR - 600LG	SS 316	0.543 kg
9	3	NSW-20	M20 NYLON SEPARATION WASHER	Nylon	0.004 kg
10	3	W-M20-A4-70	M20 WASHERS GRADE A4-70	A4-70	0.027 kg
11	3	SW-M20-SS	M20 SPRING WASHER SS	SS 316	0.015 kg



**Gladstone Ports Corporation**

APPROVED

Name: Trudi Smith

Date: 7:56 am, 12/09/2025

ISSUE FOR CONSTRUCTION

					ProjexPartners PROJECT MANAGEMENT ENGINEERING PLANNING 		THE Jetty SPECIALIST 18 RON PARKINSON CR BELLS CREEK QLD 4551 ☎ 1300 260 878 www.tjsmarine.com.au ✉ home@tjsmarine.com.au		CLIENT: THE DEPARTMENT OF ENVIRONMENT AND SCIENCE		TITLE: GANGWAY GUIDE		SHEET SIZE: A3	
									PROJECT: GLADSTONE MARINE BASE PONTOON UPGRADE		DRAWING No: D-TJS-04791-10-02		SHEET 15 OF 15	
0	ISSUE FOR CONSTRUCTION	KJ	25/07/2023	TC	CHKD	R.P.E.Q. 06807	DATE 2.08.2023			REV: 0				
REV	DESCRIPTION	DRN BY	DATE	APPD										

NARRATION AIDS - MGA Zone 06 (S04S02)						
NAV AID		EASTING	NORTHING	ORIGIN	CHECKED	
A11	buoy	321958	7363349	2/11/2022	MB	-
A12	buoy	322095	7363322	2/11/2022	MB	-
Stbd	Port Ent	321904.5	7363125.8	05/12/19	NB	-
Port	Ent	321862.5	7363020.8	05/12/19	NB	16/08/2023 NB
AR (PEL)		322262.47	7363614.61	28/09/21	MB	-
Rear	Lead	322575.09	7363267.31	63761-06	Ascen	-

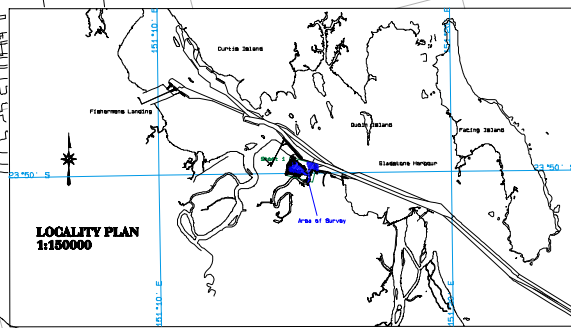
CHURCH LAMPS - MEA 2mm or (4mm)		
POINT	EASTING	NORTHING
AM1	322059	7363321
AM2	321945	7363303
AM3	321829	7363203
AM4	321627	7363082
AM5	320776	7363201
AM6	320821	7363557
AM7	321045	7363483
AM8	321669	7363353
AM9	321685	7363201
AM10	321747	7363143
AM11	321851	7363107
AM12	321903	7363141
AM13	321990	7363369

 **Gladstone Ports Corporation**

APPROVED

Name: Trudi Smith

Date: 7:56 am, 12/09/2025



HYDRAULIC SERVICES

FIRE HYDRANT SERVICES UPGRADE

223 LEO ZUSSINO DRIVE

CALLEMONDAH QLD 4680

LEASE MAL LOT 210 on SP120888 on SP253024

LEASE MAM LOT 210 on SP120888 on SP253024

Gladstone Regional Council

LEGEND

- :

FIRE SERVICES DIAGS
- :

FIRE HYDRANT SERVICE
- :

REDUNDANT SERVICE
- :

HYDRANT HOSE TRAVEL
- :

EXISTING FIRE SERVICE
- :

EXISTING WATER
- :

EXISTING SEWER
- :

EXISTING ELECTRICAL MAIN
- :

EXISTING COMMUNICATION MAIN
- :

OUTLET
- :

DROP
- :

DUAL PILLAR HYDRANT
- :

SINGLE CHECK
- :

DUAL CHECK
- :

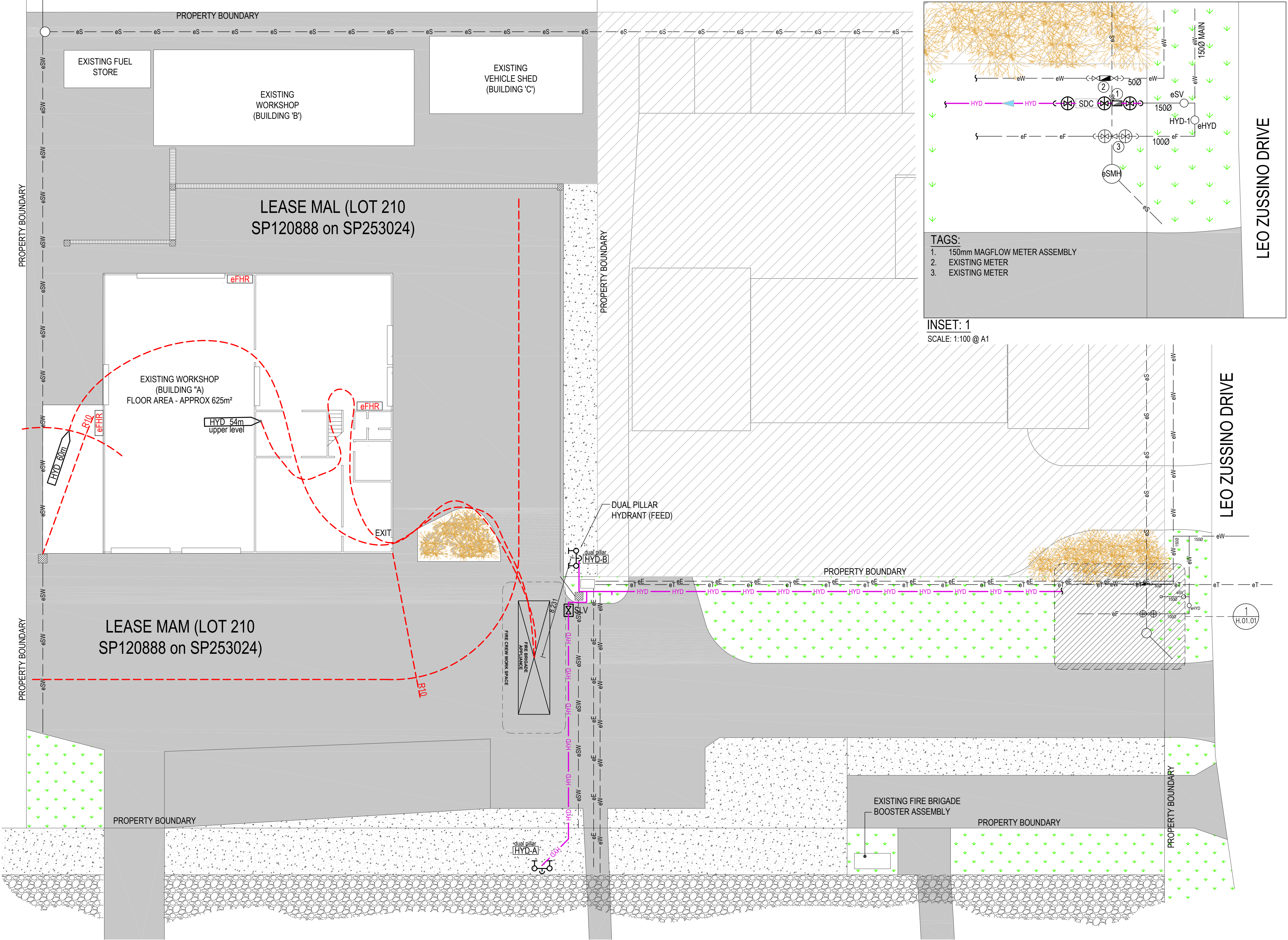
GATE VALVE
- :

LOCKED GATE VALVE
- :

CAPPED END
- :

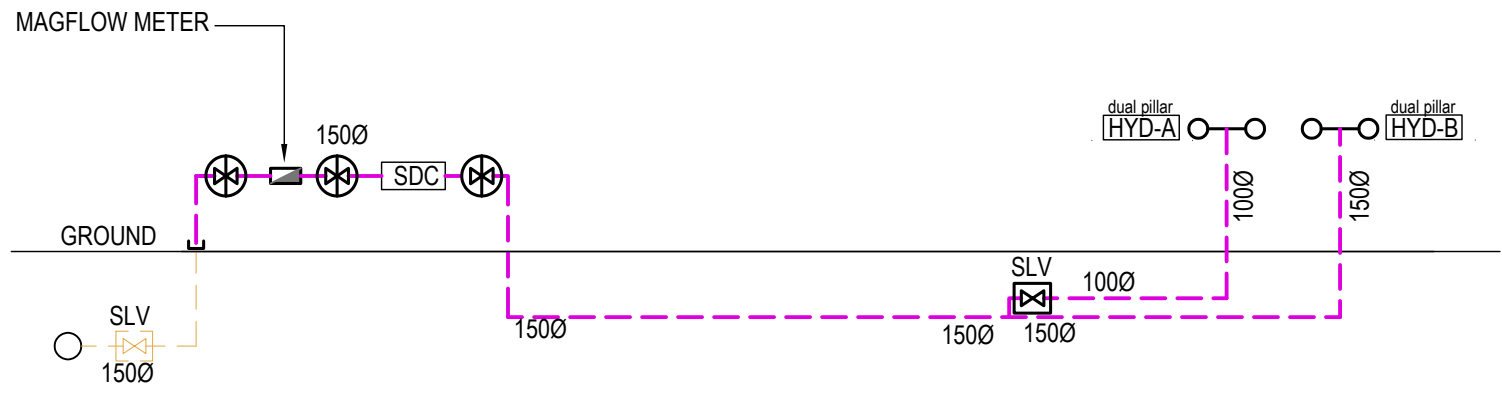
METER
- :

FIRE HOSE LENGTH



- TAGS:
- 1. 150mm MAGFLOW METER ASSEMBLY
 - 2. EXISTING METER
 - 3. EXISTING METER

INSET: 1
SCALE: 1:100 @ A1



FIRE SERVICES DIAGRAMMATIC
NOT TO SCALE



ISSUE:	DATE:	DESCRIPTION:	DRAWN:	PLUMBING CONTRACTORS DETAILS:	CLIENT:	PROJECT:	TITLE:	DATUM:	STATUS:	
AS-1	16.03.2023	ASCONSTRUCTED	RJS	CALLIOPE PLUMBING QBCC LIC # 1254688 Ph: 07 4845 0802		FIRE HYDRANT SYSTEM UPGRADE QPWS DEPOT 223 LEO ZUSSINO DRIVE CALLEMONDAH QLD 4680	HYDRAULIC SERVICES SITE PLAN FIRE SERVICES NOTES	Scale: A1-1:200 (U.N.O.) A3-1:400 (U.N.O.) Project Number:	ASCONSTRUCTED	
								0 2 4 6 8 10		
								Sheet		
								HS-452	H.01.01	AS-1



marine approval
specialists

DETSI Marine Base Pontoon Upgrade

Construction Environmental Management Plan

For: Marine Structures
17 June 2025



**Gladstone Ports
Corporation**

APPROVED

Name: Trudi Smith

Date: 7:57 am, 12/09/2025

Attachment 3 Extract of Appeal Provisions

Schedule 1 Appeals

section 229

1 Appeal rights and parties to appeals

(1) Table 1 states the matters that may be appealed to—

- (a) the P&E court; or
- (b) a tribunal.

Note—

For limitations on appeal rights in relation to a development approval for development requiring social impact assessment, see section 106ZJ.

(2) However, table 1 applies to a tribunal only if the matter involves—

- (a) the refusal, or deemed refusal of a development application, for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
- (b) a provision of a development approval for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
- (c) if a development permit was applied for—the decision to give a preliminary approval for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
- (d) a development condition if—

-
- (i) the development approval is only for a material change of use that involves the use of a building classified under the Building Code as a class 2 building; and
 - (ii) the building is, or is proposed to be, not more than 3 storeys; and
 - (iii) the proposed development is for not more than 60 sole-occupancy units; or
 - (e) a decision for, or a deemed refusal of, an extension application for a development approval that is only for a material change of use of a classified building; or
 - (f) a decision for, or a deemed refusal of, a change application for a development approval that is only for a material change of use of a classified building; or
 - (g) a matter under this Act, to the extent the matter relates to the Building Act, other than a matter under that Act that may or must be decided by the Queensland Building and Construction Commission; or
 - (h) a decision to give an enforcement notice—
 - (i) in relation to a matter under paragraphs (a) to (g); or
 - (ii) under the *Plumbing and Drainage Act 2018*; or
 - (i) an infrastructure charges notice; or
 - (j) the refusal, or deemed refusal, of a conversion application; or
 - (l) a matter prescribed by regulation.
- (3) Also, table 1 does not apply to a tribunal if the matter involves—
- (a) for a matter in subsection (2)(a) to (d)—
 - (i) a development approval for which the development application required impact assessment; and
 - (ii) a development approval in relation to which the assessment manager received a properly made submission for the development application; or

- (b) a provision of a development approval about the identification or inclusion, under a variation approval, of a matter for the development.
- (4) Table 2 states the matters that may be appealed only to the P&E Court.
- (5) Table 3 states the matters that may be appealed only to the tribunal.
- (6) In each table—
 - (a) column 1 states the appellant in the appeal; and
 - (b) column 2 states the respondent in the appeal; and
 - (c) column 3 states the co-respondent (if any) in the appeal; and
 - (d) column 4 states the co-respondents by election (if any) in the appeal.
- (7) If the chief executive receives a notice of appeal under section 230(3)(f), the chief executive may elect to be a co-respondent in the appeal.
- (8) In this section—
storey see the Building Code, part A1.1.

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal
1. Development applications For a development application other than an excluded application, an appeal may be made against— (a) the refusal of all or part of the development application; or (b) the deemed refusal of the development application; or (c) a provision of the development approval; or (d) if a development permit was applied for—the decision to give a preliminary approval.

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant	The assessment manager	If the appeal is about a concurrence agency's referral response—the concurrence agency	1 A concurrence agency that is not a co-respondent 2 If a chosen assessment manager is the respondent—the prescribed assessment manager 3 Any eligible advice agency for the application 4 Any eligible submitter for the application
2. Change applications For a change application other than an excluded application, an appeal may be made against— (a) the responsible entity's decision on the change application; or (b) a deemed refusal of the change application.			

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
1 The applicant 2 If the responsible entity is the assessment manager—an affected entity that gave a pre-request notice or response notice	The responsible entity	If an affected entity starts the appeal—the applicant	1 A concurrence agency for the development application 2 If a chosen assessment manager is the respondent—the prescribed assessment manager 3 A private certifier for the development application 4 Any eligible advice agency for the change application 5 Any eligible submitter for the change application
3. Extension applications For an extension application other than an extension application called in by the Minister or made to the chief executive under section 87A, an appeal may be made against— (a) the assessment manager’s decision on the extension application; or (b) a deemed refusal of the extension application.			

Table 1
Appeals to the P&E Court and, for certain matters, to a tribunal

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
1 The applicant 2 For a matter other than a deemed refusal of an extension application—a concurrence agency, other than the chief executive, for the application	The assessment manager	If a concurrence agency starts the appeal—the applicant	If a chosen assessment manager is the respondent—the prescribed assessment manager

4. Infrastructure charges notices

An appeal may be made against an infrastructure charges notice on 1 or more of the following grounds—

(a) the notice involved an error relating to—

(i) the application of the relevant adopted charge; or

Examples of errors in applying an adopted charge—

- the incorrect application of gross floor area for a non-residential development
- applying an incorrect ‘use category’, under a regulation, to the development

(ii) the working out of extra demand, for section 120; or

(iii) an offset or refund; or

(b) there was no decision about an offset or refund; or

(c) if the infrastructure charges notice states a refund will be given—the timing for giving the refund; or

(d) for an appeal to the P&E Court—the amount of the charge is so unreasonable that no reasonable relevant local government could have imposed the amount.

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the infrastructure charges notice	The local government that gave the infrastructure charges notice	—	—
5. Conversion applications An appeal may be made against— (a) the refusal of a conversion application; or (b) a deemed refusal of a conversion application.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant	The local government to which the conversion application was made	—	—
6. Enforcement notices An appeal may be made against the decision to give an enforcement notice.			

Table 1 Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the enforcement notice	The enforcement authority	—	If the enforcement authority is not the local government for the premises in relation to which the offence is alleged to have happened—the local government
7. Enforcement notices under the <i>Plumbing and Drainage Act 2018</i> An appeal may be made against the decision to give an enforcement notice.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the enforcement notice	The local government that gave the enforcement notice	—	—

Table 2 Appeals to the P&E Court only
1. Appeals from tribunal An appeal may be made against a decision of a tribunal, other than a decision under section 252, on the ground of— (a) an error or mistake in law on the part of the tribunal; or (b) jurisdictional error.

Table 2 Appeals to the P&E Court only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A party to the proceedings for the decision	The other party to the proceedings for the decision	—	—
2. Eligible submitter appeals For a development application or change application other than an excluded application, an appeal may be made against the decision to approve the application, to the extent the decision relates to— (a) any part of the development application or change application that required impact assessment; or (b) a variation request.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
1 For a development application—an eligible submitter for the development application 2 For a change application—an eligible submitter for the change application	1 For a development application—the assessment manager 2 For a change application—the responsible entity	1 The applicant 2 If the appeal is about a concurrence agency's referral response—the concurrence agency	Another eligible submitter for the application

Table 2
Appeals to the P&E Court only

3. Eligible submitter and eligible advice agency appeals

For a development application or change application other than an excluded application, an appeal may be made against a provision of the development approval, or a failure to include a provision in the development approval, to the extent the matter relates to—

- (a) any part of the development application or change application that required impact assessment; or
- (b) a variation request.

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
1 For a development application—an eligible submitter for the development application 2 For a change application—an eligible submitter for the change application 3 An eligible advice agency for the development application or change application	1 For a development application—the assessment manager 2 For a change application—the responsible entity	1 The applicant 2 If the appeal is about a concurrence agency's referral response—the concurrence agency	Another eligible submitter for the application

4. Compensation claims

An appeal may be made against—

- (a) a decision under section 32 about a compensation claim; or
- (b) a decision under section 265 about a claim for compensation; or
- (c) a deemed refusal of a claim under paragraph (a) or (b).

Table 2 Appeals to the P&E Court only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person dissatisfied with the decision	The local government to which the claim was made	—	—
5. Registered premises An appeal may be made against a decision of the Minister under chapter 7, part 4.			

Table 2
Appeals to the P&E Court only

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
1 A person given a decision notice about the decision 2 If the decision is to register premises or renew the registration of premises—an owner or occupier of premises in the affected area for the registered premises who is dissatisfied with the decision 3 If the decision is to amend the registration of premises to include additional land in the affected area for the premises—an owner or occupier of premises within the additional land who is dissatisfied with the decision	The Minister	—	If an owner or occupier starts the appeal—the owner of the registered premises

Table 2 Appeals to the P&E Court only			
6. Local laws An appeal may be made against a decision of a local government, or conditions applied, under a local law about— (a) the use of premises, other than a use that is the natural and ordinary consequence of prohibited development; or (b) the erection of a building or other structure.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who— (a) applied for the decision; and (b) is dissatisfied with the decision or conditions.	The local government	—	—

Table 3 Appeals to a tribunal only
1. Building advisory agency appeals An appeal may be made against giving a development approval for building work to the extent the building work required code assessment against the building assessment provisions.

Table 3
Appeals to a tribunal only

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A building advisory agency for the development application related to the approval	The assessment manager	The applicant	1 A concurrence agency for the development application related to the approval 2 A private certifier for the development application related to the approval
2. Inspection of building work An appeal may be made against a decision of a building certifier or referral agency about the inspection of building work that is the subject of a building development approval under the Building Act.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The applicant for the development approval	The person who made the decision	—	—
3. Certain decisions under the Building Act and the <i>Plumbing and Drainage Act 2018</i> An appeal may be made against— (a) a decision under the Building Act, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under that Act; or (b) a decision under the <i>Plumbing and Drainage Act 2018</i>, other than a decision made by the Queensland Building and Construction Commission, if an information notice about the decision was given or required to be given under that Act.			

Table 3 Appeals to a tribunal only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who received, or was entitled to receive, an information notice about the decision	The entity that made the decision	—	—
4. Failure to decide an application or other matter under the Building Act An appeal may be made against a failure to make a decision under the Building Act within the period required under that Act, other than a failure by the Queensland Building and Construction Commission to make a decision, if an information notice about the decision was required to be given under that Act.			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who was entitled to receive notice of the decision	The entity that failed to make the decision	—	—
5. Failure to decide an application or other matter under the <i>Plumbing and Drainage Act 2018</i> An appeal may be made against a failure to make a decision under the <i>Plumbing and Drainage Act 2018</i> within the period required under that Act, other than a failure by the Queensland Building and Construction Commission to make a decision, if an information notice about the decision was required to be given under that Act.			

Table 3 Appeals to a tribunal only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
A person who was entitled to receive an information notice about the decision	The entity that failed to make the decision	—	—

Attachment 4 Right of Appeal Waiver

Mail to: Gladstone Ports Corporation Limited
Email address: planning@gpcl.com.au
Attention: Planning and Strategy (Planning)

GPC Reference: _____
Property Address: _____
Real Property Description: _____
Proposed Development: _____

This advice is to confirm that I/We have received the above approval and agree to the conditions contained therein. I/We hereby waiver My/Our appeal rights available under the *Planning Act* 2016.

Applicant's Name: _____

Signature: _____

Date: ____/____/____